



City of South Bend PLAN COMMISSION

County-City Building
227 W. Jefferson Blvd. 1400S
South Bend, IN 46601
(574) 235-7627
www.southbendin.gov/zoning

AGENDA

Monday, August 18, 2025 - 4:00 P.M.

County-City Building
Fourth-Floor Council Chambers

<https://tinyurl.com/sbplancommission-2025>

Meeting Recordings – <https://tinyurl.com/Plan-Commission2025>

PUBLIC HEARING:

ELECTION OF VICE PRESIDENT

A. REZONINGS

- 1 **Location:** 54528 WILLIS AVE and 54638 WILLIS AVE and 54606 WILLIS AVE and 54570 WILLIS AVE and 54550 WILLIS AVE and 54528 WILLIS AVE and 54610 WILLIS AVE and 54650 WILLIS AVE PC#0264-25
Petitioner: TREMATERRA FAMILY LAND HOLDINGS INC
Requested Action:
Rezoning: From R to U3 Urban Neighborhood 3
Variance(s): From the 4 story Maximum Building Height to 5 stories (21-03.05(f)); From the Maximum Building Width for a stacked flats building type of 120' to 282' (21-08.02(j)(3))
- 2 **Location:** 1432 SOUTH BEND AVE PC#0263-25
Petitioner: BRENNANS WALK HOLDINGS LLC
Requested Action:
Rezoning: From S1 Suburban Neighborhood 1 and UF Urban Neighborhood Flex to U3 Urban Neighborhood 3
Variance(s): From the maximum allowed height of 4 stories to 5 stories. (21-05.05(f)); From the required 40' setback from a S1 district required for the portion of a primary structure in excess of 40' or 3 stories in height to 5' (21-05.05(f)); From the maximum building width for a Stack Flats building type of 120' to 127' (21-08.02(j)(3))
- 3 **Location:** 431 DUNDEE ST PC#0265-25
Petitioner: STEPHEN BORYSIK
Requested Action:
Rezoning: From U1 Urban Neighborhood 1 to U2 Urban Neighborhood 2
Special Use: Dwelling, Multi-unit (21-06.01(j)(5))

B. MAJOR SUBDIVISIONS

- 4 **Name:** The Cottages on Arthur Major Subdivision PC#0267-25
Location: S/W Corner of Sorin and Arthur
Petitioner: COORSMITH PROPERTIES LLC
Requested Action:
Variance(s): from the 30' minimum allowed lot width in U1 to 27'(21-03.03(d))-#0267-25



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C. RESOLUTIONS

RESOLUTION OF THE SOUTH BEND PLAN COMMISSION
APPROVING A RESOLUTION OF THE SOUTH BEND REDEVELOPMENT
COMMISSION APPROVING AMENDMENTS TO THE DECLARATORY
RESOLUTION AND THE DEVELOPMENT PLAN FOR THE RIVER WEST
DEVELOPMENT AREA FOR THE PURPOSE OF ESTABLISHING A
RESIDENTIAL HOUSING DEVELOPMENT PROGRAM AND RELATED MATTER

ITEMS NOT REQUIRING A PUBLIC HEARING:

A. MINOR SUBDIVISIONS

- | | | | |
|---|------------------|---|------------|
| 5 | Name: | Market on Western Minor | PC#0266-25 |
| | Location: | N/W Corner of W Western Ave & S Olive St | |
| 6 | Name: | Intend Indiana Blaine Avenue First Minor | PC#0268-25 |
| | Location: | 505, 507, 511, 513, 517, 519, 521 N BLAINE AVE | |
| 7 | Name: | Inspire Me Minor Subdivision | PC#0269-25 |
| | Location: | 520 & 526 E COLFAX AVE & 125 & 127 HILL ST | |
| 8 | Name: | Sherman Avenue & Lindsey Street First Minor Subdivision | PC#0272-25 |
| | Location: | N/E Corner of Sherman Ave & Lindsey St | |
| 9 | Name: | Cleveland Avenue & Van Buren Street First Minor Subdivision | PC#0274-25 |
| | Location: | S/E Corner of N Cleveland Ave & Van Buren St | |

B. FINDINGS OF FACT - None for consideration

C. UPDATES FROM STAFF

D. MINUTES – July 21, 2025

E. ADJOURNMENT

Commissioner	Appointing Agency	Term Start	Term End
Dr. Oliver Davis	Council Appointee		Until appointed
John Martinez	Venues, Parks and Arts Appointee		Until reappointed
Sarah Barber	City Engineer Appointee		Until reappointed
Scott Ford	Bureau of Public Works Appointee		Until reappointed
Francisco Fotia	Mayoral Appointee	1/1/2022	1/1/2026
Caitlin Stevens	Mayoral Appointee	1/1/2024	12/31/2027
Tyler Gilleen	Mayoral Appointee (Non-Democratic)	1/1/2024	12/31/2027

NOTICE FOR HEARING AND SIGN IMPAIRED PERSONS

Auxiliary Aid or other services may be available upon request at no charge. Please give reasonable advance request when possible.

Property Information

Location: 54528 WILLIS AVE and 54638 WILLIS AVE and 54606 WILLIS AVE and 54570 WILLIS AVE and 54550 WILLIS AVE and 54528 WILLIS AVE and 54610 WILLIS AVE and 54650 WILLIS AVE
 Owner: TREMATERRA FAMILY LAND HOLDINGS INC

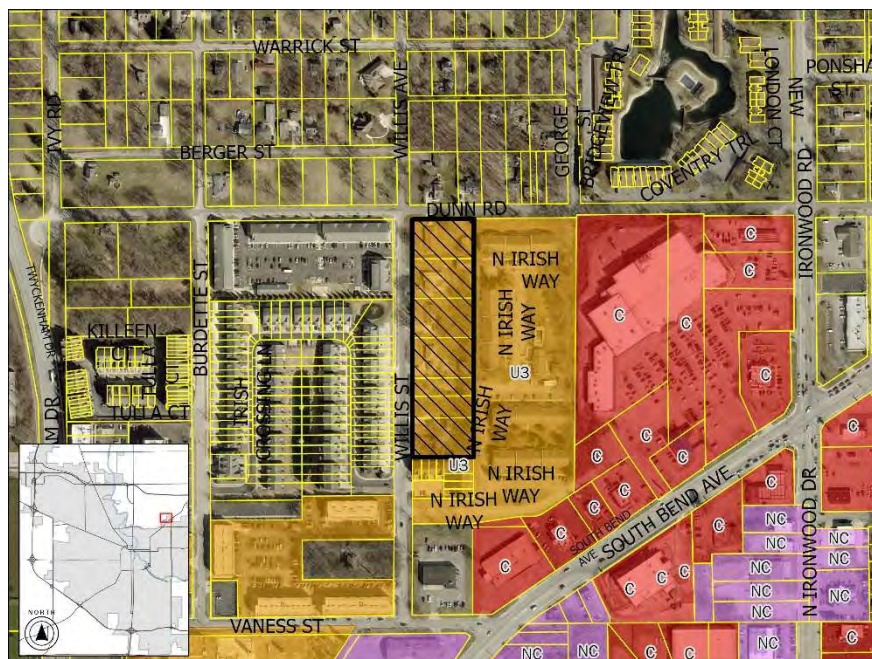
Requested Action

Rezone from R Single Family District (County) to U3 Urban Neighborhood 3
 Variance(s): From the 4 story Maximum Building Height to 5 stories (21-03.05(f))
 From the Maximum Building Width for a stacked flats building type of 120' to 282' (21-08.02(j)(3))

Project Summary

The Petitioners are requesting to annex and rezone the property to develop multi-story buildings having a maximum height of five stories. Access to the site would be from Dunn Road and Willis Avenue and the proposed buildings would face both public streets. The project will have a streetscape with trees and landscaped buildings along with public sidewalks and interior pedestrian walks and landscaped grounds. A fifth floor common area on each building would take advantage of views towards the Notre Dame campus.

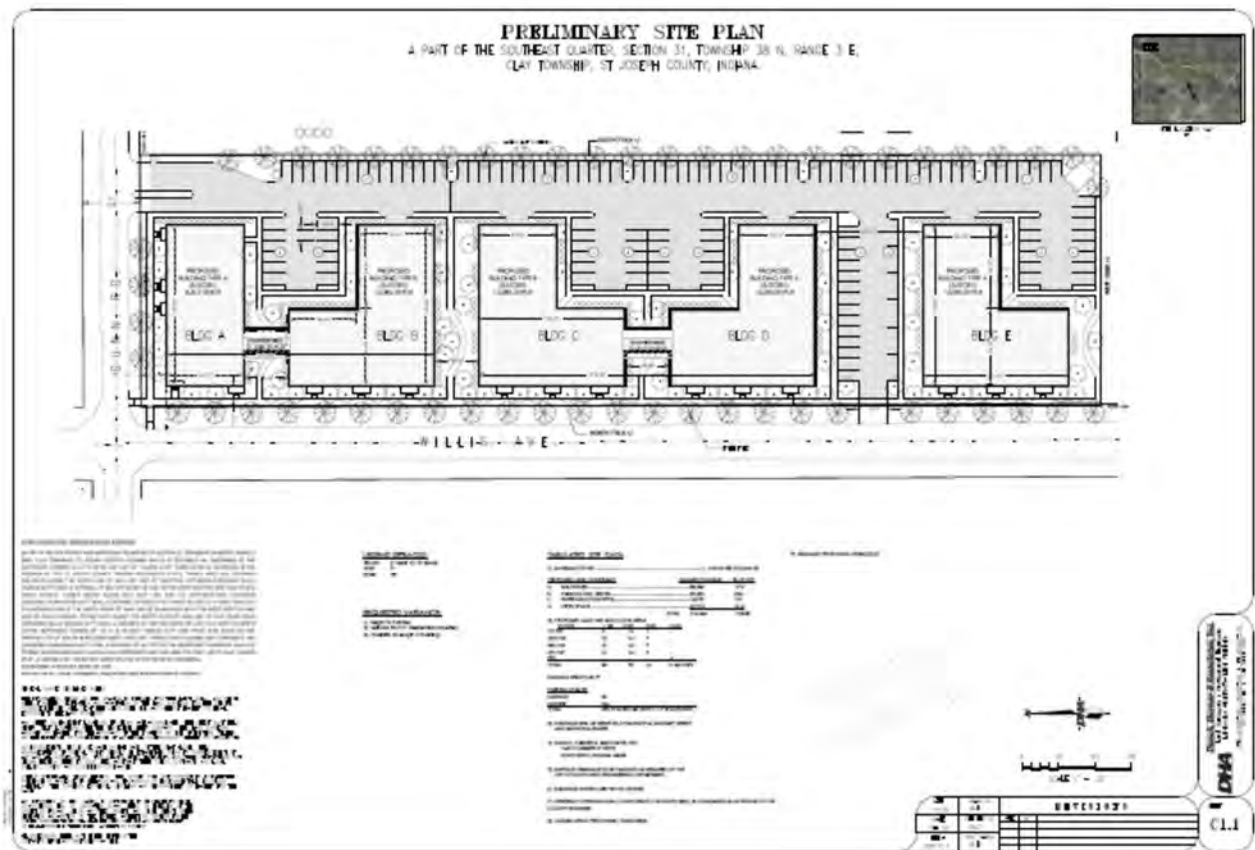
Location Map



Recommendation

Staff Recommendation: Based on information available prior to the public hearing, the staff recommends the Plan Commission approve the variances and send the annexation/rezoning petition to the Common Council with a favorable recommendation.

Proposed Site Plan



Site & Context

Land Uses and Zoning:

On site: 5 Single family homes
 North: 2 Single family residential homes in R Single Family District (County)
 East: Multifamily apartments in Urban Neighborhood 3 (U3)
 South: Multifamily Townhomes in Urban Neighborhood 3 (U3)
 West: Multifamily Townhomes in R-2 Multi-Family District (County) and Planned Unit Development(County)

District Intent:

The U3 District is established to provide for, promote, and maintain the development of a full range of housing types located near neighborhood centers and along major streets in core and outlying areas of the City.

Site Plan Description:

The site will feature 3 stacked flats facing Willis Avenue with a parking lot in the rear.

Zoning and Land Use History and Trends:

Vacant lots until the 1960's then became the single family homes that exist now. Surrounding trends have seen similar multifamily development going up around this parcel over the past 20 years.

Traffic and Transportation Considerations:

At this site, Willis Street is about 22' wide with one lane of traffic in either direction. There is no sidewalk on the development side of the street, but there is a sidewalk across the street at the townhome development. Dunn Road is about 20' wide with one lane of traffic in either direction. It has no sidewalks.

Agency Comments

Agency Comments:

The street will need to be brought up to current City Standards, including curb, sidewalk, and storm sewer. Stormwater from the street will need to go into the on site stormwater storage system since there is no City storm network nearby to connect into. Sanitary sewer will need to be extended. The sanitary pump stations currently do not have the capacity to take on more flow. The developer will need to cover the cost of pump station upgrades. The water main may need to be upsized. It is currently only 6". The current City Standard for water main is a minimum of 8". The developer will need to evaluate the capacity of the existing 6" main to determine whether or not it is adequate to take on the additional demand from the development.

Staff Comments:

No additional comments at this time

Criteria for Decision Making

Rezoning

Per State Law, the Plan Commission and Common Council shall pay reasonable regard to:

1. Comprehensive Plan:

Policy Plan:

The petition is consistent with the City Plan:

Objective LU 6.1 Promote orderly and planned growth that expands outward from current city limits.

Objective LU 7.2 Require the annexation of contiguous property being serviced with City utilities, where legally feasible, to provide for future uses as identified in the Future Land Use Map.

Land Use Plan:

The comprehensive plan's future land use map identifies this area for low- to medium-density residential use.

Plan Implementation/Other Plans:

None.

2. Current Conditions and Character:

The surrounding area is mostly single family homes, townhomes, and multiunit stacked flats.

There are auto-oriented commercial uses along SR23 to the east and Notre Dame is to the west.

3. Most Desirable Use:

The most desirable use is medium-density residential.

4. Conservation of Property Values:

Developing a new residential project on property that is single family homes near the University of Notre Dame will contribute to the growth and value of the surrounding properties.

5. Responsible Development and Growth:

It is responsible to allow multi-unit development near the University of Notre Dame where there is high housing demand.

Variance(s)

The petitioner is seeking the following variance(s):

From the 4 story maximum building height to 5 stories (21-03.05(f))

From the maximum building width for a stacked flats building type of 120' to 282' (21-08.02(j)(3))

State statutes and the Zoning Ordinance require that certain standards must be met before a variance can be approved. The standards and their justifications are as follows:

(1) The approval will not be injurious to the public health, safety, morals and general welfare of the community.

The approval of these variances will not be injurious to the public health, safety, morals, and general welfare of the community. The height of the building is still limited to 55' and the building width should have not impact on the welfare of the community.

(2) The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

The use and value of the area adjacent to the property included in the variance should not be affected in a substantially adverse manner. The height and building width should not have these negative impacts on the adjacent properties

(3) The strict application of the terms of this Chapter would result in practical difficulties in the use of the property.

A strict application the ordinance would not allow for the building in its current design, although the buildings receiving the variance reads as two separate and zoning compliant structures and meets the intent of the ordinance.

(4) The variance granted is the minimum necessary.

The variance granted is the minimum necessary. The height of the building is still restricted at 55', meeting the intent of the ordinance to not extend beyond the physical height of the building and the current design for the buildings reads as five separate buildings.

(5) The variance granted does not correct a hardship caused by a former or current owner of the property.

The variance granted does not correct a hardship caused by a former or current owner of the property. The existing property is single family structures and would resemble similar development within the area.

Analysis & Recommendation

Commitments: None proposed.

Analysis: Annexing and zoning this property U3 will permit the further activation of this area where there is high demand for housing.

Recommendation: Based on information available prior to the public hearing, the staff recommends the Plan Commission approve the variances and send the annexation/rezoning petition to the Common Council with a favorable recommendation.

Property Information

Location: 1432 SOUTH BEND AVE
Owner: BRENNANS WALK HOLDINGS LLC

Requested Action

Rezone from S1 Suburban Neighborhood 1 and UF Urban Neighborhood Flex to U3 Urban Neighborhood 3

Variance(s):

- From the maximum allowed height of 4 stories to 5 stories. (21-03.05(f))
- (*withdrawn*) From the required 40' setback from a S1 district required for the portion of a primary structure in excess of 40' or 3 stories in height to 5' (21-03.05(f))
- From the maximum building width for a Stacked Flats building type of 120' to 127' (21-08.02(j)(3))

Project Summary

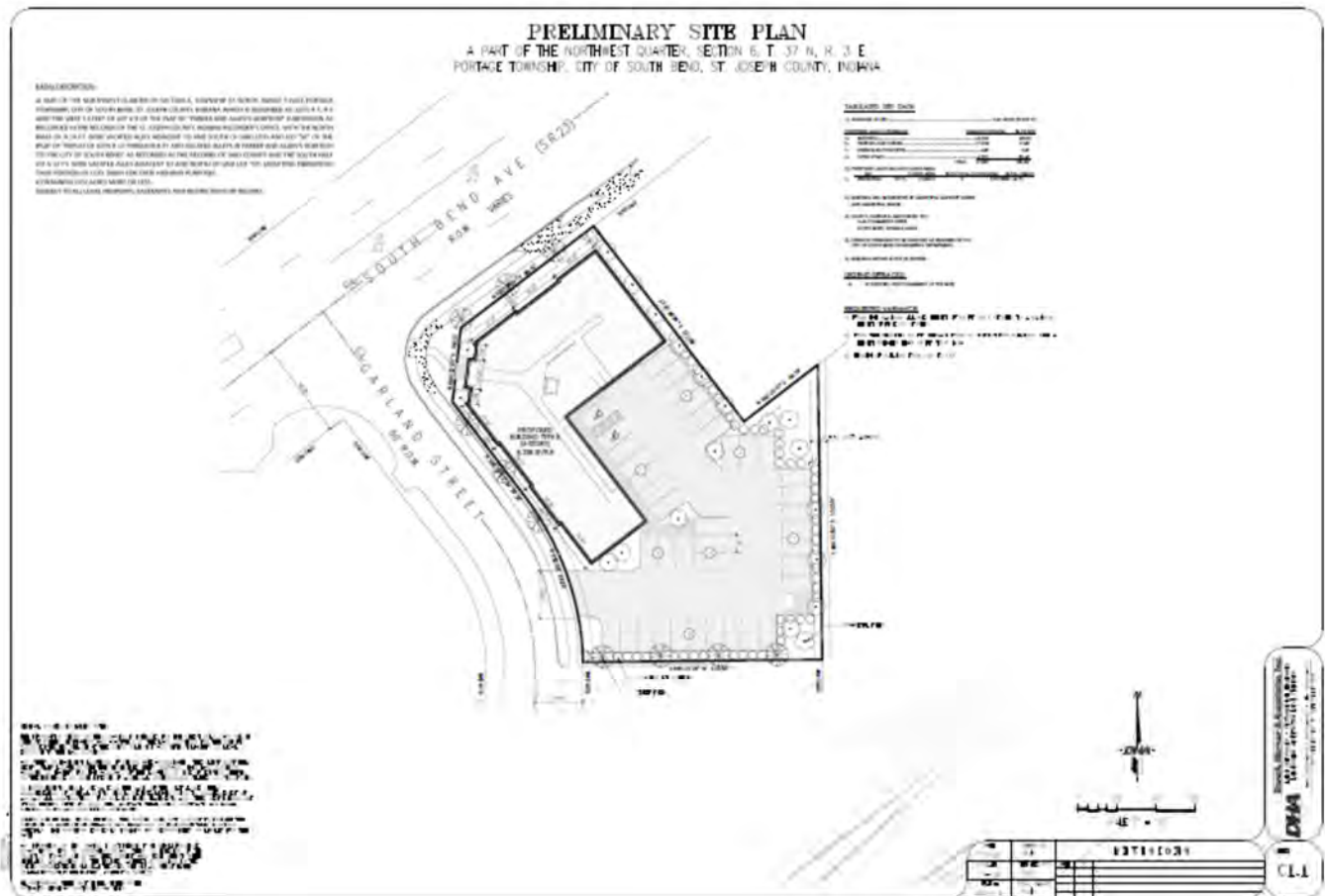
The purpose of the rezoning is to create a cohesive zoning district for both parcels to allow for future multifamily development.

Location Map

Recommendation

Staff Recommendation: Based on information available prior to the public hearing, the staff recommends the Plan Commission approve the variances and send the rezoning petition to the Common Council with a favorable recommendation.

Proposed Site Plan



Site & Context

Land Uses and Zoning:

- On site: The site is currently zoned as Urban Neighborhood Flex (UF) and is a vacant lot.
- North: The site is currently zoned as University (U) and contains part of the Innovation Park parking lot, as well as some undeveloped land.
- East: The site is currently zoned as Urban Neighborhood Flex (UF) and contains a single family home.
- South: The site is currently zoned as Suburban Neighborhood 1 (S1) and contains a single family home.
- West: The site is currently zoned as Urban Neighborhood Flex (UF) and contains a single family home.

District Intent:

The U3 District is established to provide for, promote, and maintain the development of a full range of housing types located near neighborhood centers and along major streets in urban neighborhood in core and outlying areas of the City.

Site Plan Description:

The petitioner wishes to rezone these two parcels to U3 so that they can build a multi-unit dwelling spanning both parcels.

Zoning and Land Use History and Trends:

There was a single family home on this lot going back to at least 2007 that was demolished sometime between 2022 and 2025. However, the lot was previously owned by two independent educational organizations for almost 28 years from 1994 to 2022, suggesting that the home's use may not have been purely residential.

Traffic and Transportation Considerations:

Allowing for this multi-unit building as a result of the rezoning will not be likely to cause any major traffic or transportation complications on South Bend Avenue, which is already a busy multilane state road.

Agency Comments

Agency Comments:

Engineering does not have any comments on the rezoning or variances. Site, utility, and drainage plans will be reviewed when this is submitted to commercial plan review.

Staff Comments:

No additional comments at this time.

Criteria for Decision Making

Rezoning

Per State Law, the Plan Commission and Common Council shall pay reasonable regard to:

1. Comprehensive Plan:

Policy Plan:

In the city's comprehensive plan, Objective H 1 calls upon the city to "ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of households now and in the future".

Land Use Plan:

These two parcels fall within the Northeast neighborhood. In the 2022 neighborhood plan, the future zoning map shows these parcels as U3.

Plan Implementation/Other Plans:

Strategy 3 in the 2022 Northeast Neighborhood Plan outlines a desire to "develop and preserve housing in the neighborhood," with action item 3.5 specifically saying to "support the production of a range of housing types including new construction and rehabilitation of market rate and affordable rental housing."

2. Current Conditions and Character:

The surrounding structures are mostly one and two story houses.

3. Most Desirable Use:

The most desirable use for this property would be to convert it to a high-density residential use.

4. Conservation of Property Values:

Allowing for this multi-unit dwelling through a rezoning will help to increase the value of this specific property, as well as surrounding property.

5. Responsible Development and Growth:

Rezoning this parcel would allow for additional higher-density housing on a currently vacant lot that already has utility and transportation access.

Variance(s)

The petitioner is seeking the following variance(s):

- From the maximum allowed height of 4 stories to 5 stories. (21-03.05(f))
- (*withdrawn*) From the required 40' setback from a S1 district required for the portion of a primary structure in excess of 40' or 3 stories in height to 5' (21-03.05(f))
- From the maximum building width for a Stacked Flats building type of 120' to 127' (21-08.02(j)(3))

State statutes and the Zoning Ordinance require that certain standards must be met before a variance can be approved. The standards and their justifications are as follows:

(1) The approval will not be injurious to the public health, safety, morals and general welfare of the community.

The approval of the variances should not be injurious to the general welfare of the community. The rooftop space will have either a street, parking lot, or some other buffer on all sides from neighboring properties, including residential ones, limiting its impact on those surrounding properties. The building width variance will allow for an angled facade at an intersection that responds to the streetscape, provides architectural intrigue, and allows there to be one centralized entrance to the building along South Bend Avenue.

(2) The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

The use and value of the adjacent properties should not be adversely affected. The rooftop space will be sufficiently distanced from neighboring properties in such a way that will limit any impact on surrounding uses and property values. The building width variance will allow for an angled facade at an intersection that responds to the streetscape, provides architectural intrigue, and allows there to be one centralized entrance to the building along South Bend Ave.

(3) The strict application of the terms of this Chapter would result in practical difficulties in the use of the property.

This parcel is located along a major thoroughfare at the edge of the Notre Dame campus and supports a higher density project. A strict application of the ordinance would not allow for the

building's current width, although the facade is angled in such a way that it meets the intent of the ordinance to prevent long, unbroken stretches of wall along the street. Meanwhile, the intent of building height maximums is primarily to limit the construction of entire floors above a certain height and not things like rooftop decks, which are permitted in the ordinance and do not look or function the same as full floors.

(4) The variance granted is the minimum necessary.

The variances granted are the minimum necessary. The limited footprint of the rooftop space will not have an impact on the perceived massing of the building from the street, and the building width will allow for a centralized entrance to both wings of the building from South Bend Ave.

(5) The variance granted does not correct a hardship caused by a former or current owner of the property.

The width variance responds to a unique situation in which an angled portion of a facade at a corner is included in the same width calculation as a facade along an adjacent street, making it exceed the maximum permitted width despite it meeting the intent of the ordinance. The first variance would allow for a rooftop amenity space that is generally permitted by the ordinance and will not function in the same way as a full building floor, which maximum building heights are generally intended to discourage.

Analysis & Recommendation

Commitments: No commitments at this time.

Analysis: Rezoning these parcels to U3 would align with the future zoning map from the Northeast neighborhood plan, while also fulfilling goals from both that plan and the city's comprehensive plan to develop housing within the neighborhood, including rental housing.

Recommendation: Based on information available prior to the public hearing, the staff recommends the Plan Commission approve the variances and send the rezoning petition to the Common Council with a favorable recommendation.

Property Information

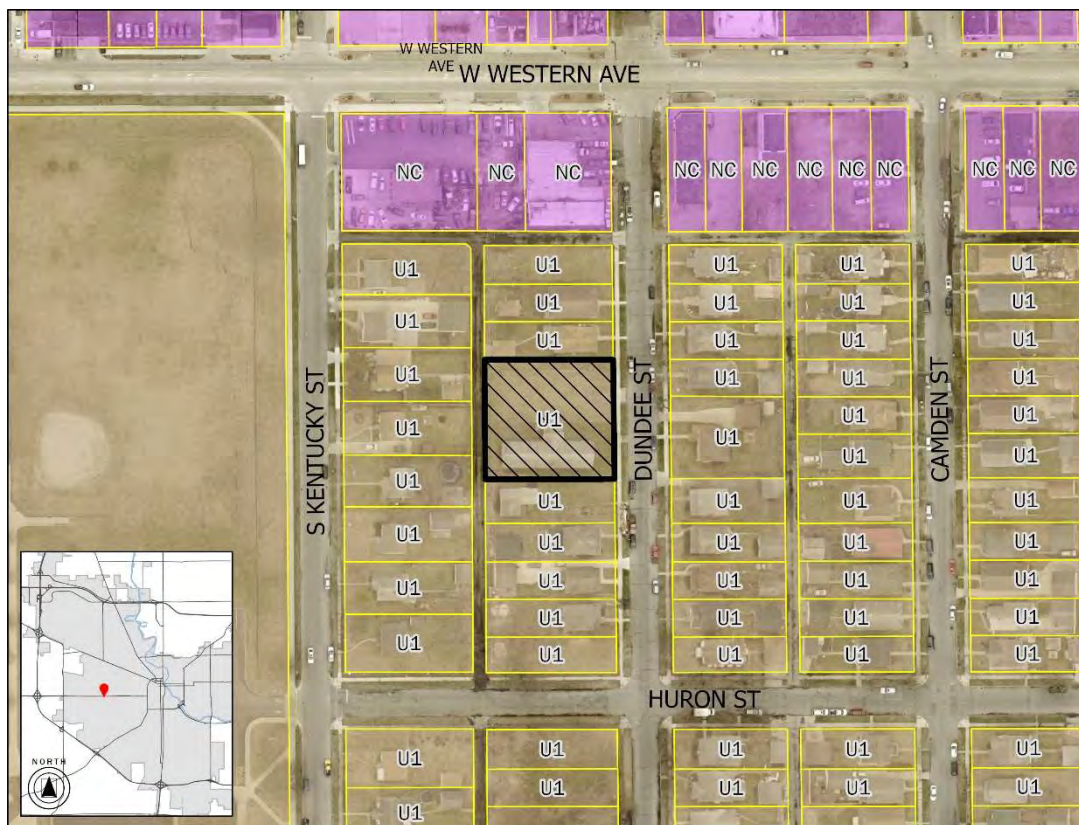
Location: 431 DUNDEE ST
Owner: STEPHEN BORYSIK

Requested Action

Rezone from U1 Urban Neighborhood 1 to U2 Urban Neighborhood 2
Special Exception: Dwelling, Multi-unit (21-06.01(j)(5))

Project Summary

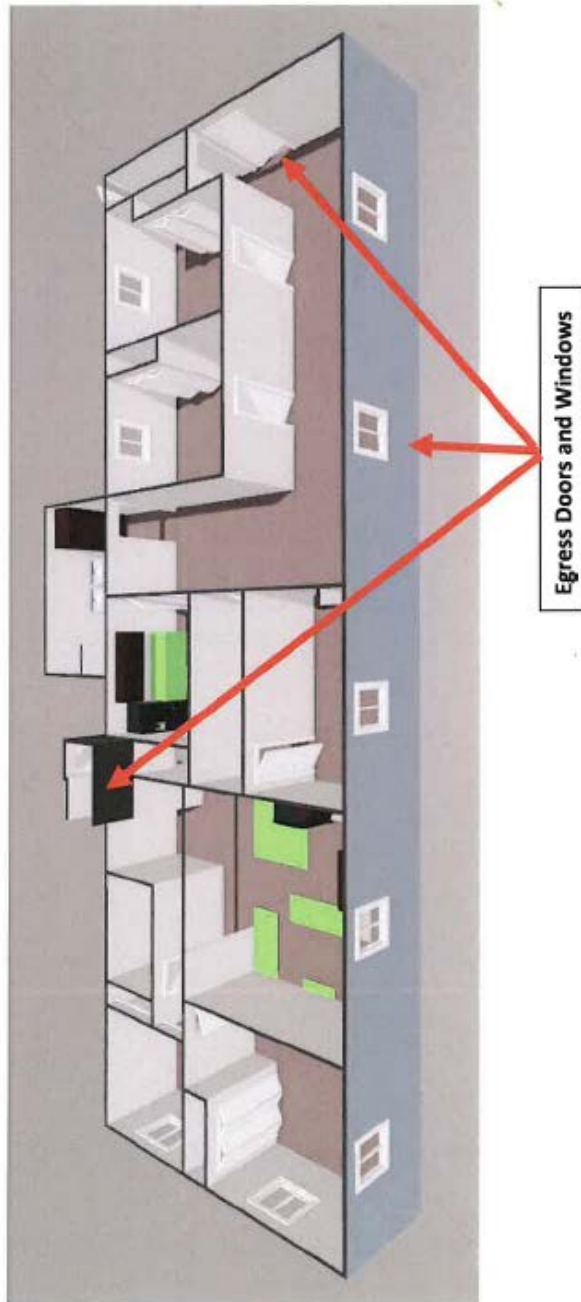
Renovating the existing structure to permit a 4 unit multifamily development.

Location Map

Recommendation

Staff Recommendation: Based on information available prior to the public hearing, the staff recommends the Plan Commission send the rezoning and special exception petitions to the Common Council with a favorable recommendation.

Proposed Site Plan – pending



Site & Context

Land Uses and Zoning:

On site: Convert an existing vacant building into a fourplex residential unit.

North: A single-unit dwelling zoned U1

East: Single-unit dwellings zoned U1

South: A single-unit dwelling zoned U1

West: Single-unit dwellings zoned U1

District Intent:

The U2 District is established to provide for, promote, and maintain the development of diverse housing types in urban neighborhoods located near neighborhood centers in core and outlying areas of the City.

Site Plan Description:

Conversion to fourplex. Half the lot was used as a parking lot stemming from past use as a church.

Zoning and Land Use History and Trends:

Parcel used as a place of worship dating back to 1945. Western Avenue is a half-block north and Harrison Elementary School is a block to the west.

Traffic and Transportation Considerations:

To the east is Dundee Street, two-way street with on street parking. A public alley is to the west of property.

Agency Comments

Agency Comments:

No additional comments at this time

Staff Comments:

Half the lot was previously used as a parking lot when the building was used for ministry. The curb cut should be removed. Any parking should be on a hard surface and be accessed from the alley.

Criteria for Decision Making

Rezoning

Per State Law, the Plan Commission and Common Council shall pay reasonable regard to:

1. Comprehensive Plan:

Policy Plan:

This application is consistent with the South Bend City Plan (2006) Objective ED 1.2 Encourage reuse of abandoned and underutilized land and structures.

Land Use Plan:

The Future Land Use Plan identifies this area for Medium Density Residential, which would allow for a range of neighborhood-scaled residential housing types.

Plan Implementation/Other Plans:

There are no other plans for this area.

2. Current Conditions and Character:

Dundee Street is made up of detached homes within the U1 District. This project would be similar in use and scale.

3. Most Desirable Use:

The most desirable use for this property within the current zone is low to medium density residential housing that will fit the established character of the neighborhood.

4. Conservation of Property Values:

Revitalizing this currently vacant duplex to a renovated fourplex should contribute to the growth and value of the surrounding properties.

5. Responsible Development and Growth:

Responsible development of this property would be the continuity of housing with densities permitted in U2.

Special Exception

The petitioner is seeking a Special Use to allow:

Dwelling, Multi-unit (21-06.01(j)(5))

A Special Use may only be granted upon making a written determination, based upon the evidence presented at a public hearing, that:

(1) The proposed use will not be injurious to the public health, safety, comfort, community moral standards, convenience or general welfare; The proposed use should not be injurious to the public health, safety, morals or general welfare of the community. The general welfare and stability of the community could benefit from the increased variety of housing types. Approval of the Special Exception should not affect the general welfare of the community, as the residence would add rental housing units to the neighborhood and use a building that had sat vacant for several years.

(2) The proposed use will not injure or adversely affect the use of the adjacent area or property values therein; Allowing conversion of the existing single unit residential dwelling should not injure or adversely affect the use or value of the adjacent area or property values, provided the current residential character is maintained.

(3) The proposed use will be consistent with the character of the district in which it is located and the land uses authorized therein; This four unit dwelling will be consistent with the character of the district and neighborhood in both use and style of construction.

(4) The proposed use is compatible with the recommendations of the Comprehensive Plan. The petition is consistent with the City Plan, South Bend Comprehensive Plan (2006) Objective H1.1: Encourage residential developments to contain a mix of housing types, densities, price ranges, and amenities.

Analysis & Recommendation

Commitments: No commitments as this time.

Analysis: Rezoning this property from U1 to U2 is supported by the City Plan's encouragement of a diversity of housing types. Additional housing density near the Western Avenue corridor is appropriate. The footprint of the building will be largely unchanged; however, renovations will bring the structure into compliance with building, landscape, and parking standards.

Recommendation: Based on information available prior to the public hearing, the staff recommends the Plan Commission send the rezoning and special exception petitions to the Common Council with a favorable recommendation.

Property Information

Subdivision Name: **The Cottages on Arthur Major Subdivision**

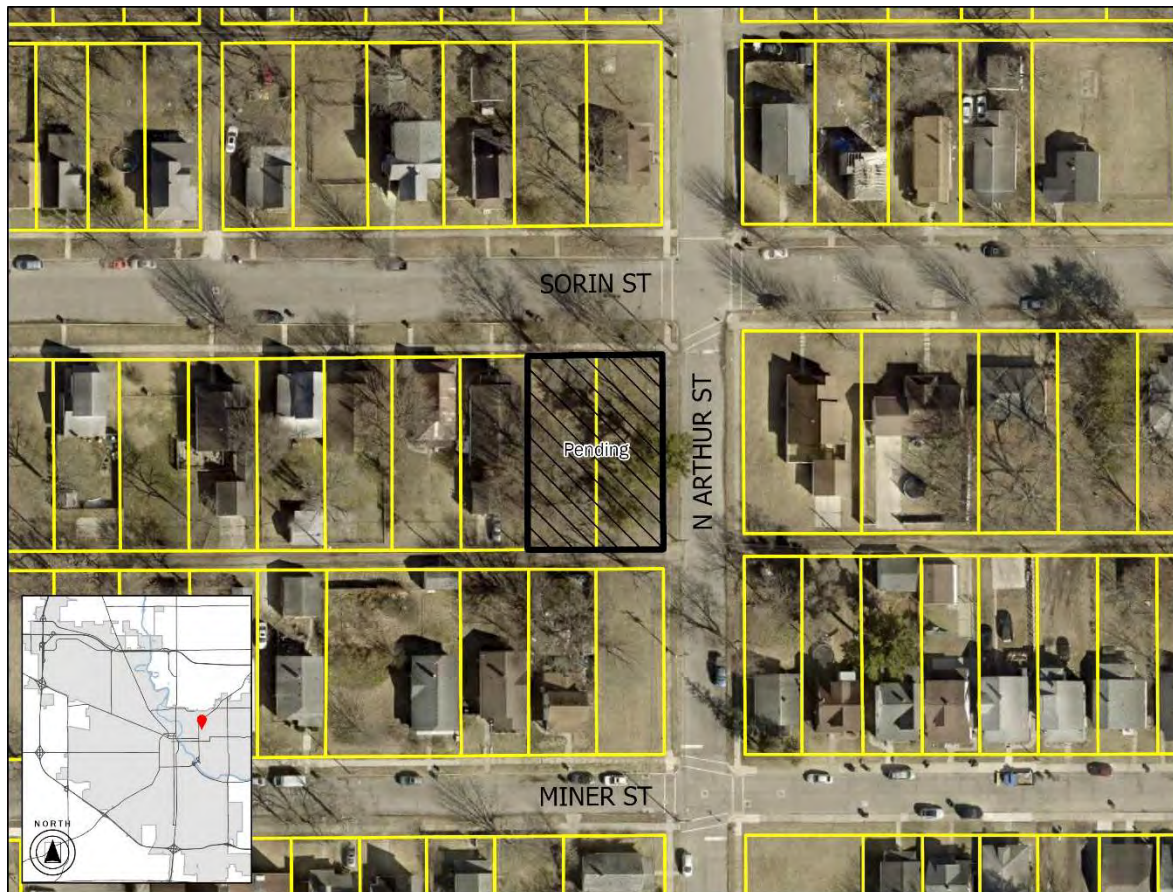
Location: S/W Corner of Sorin and Arthur

Requested Action

The total area of the subdivision is .23 acres and will consist of 4 building lots.

Variance(s): from the 30' minimum allowed lot width in U1 to 27'(21-03.03(d))

Location Map

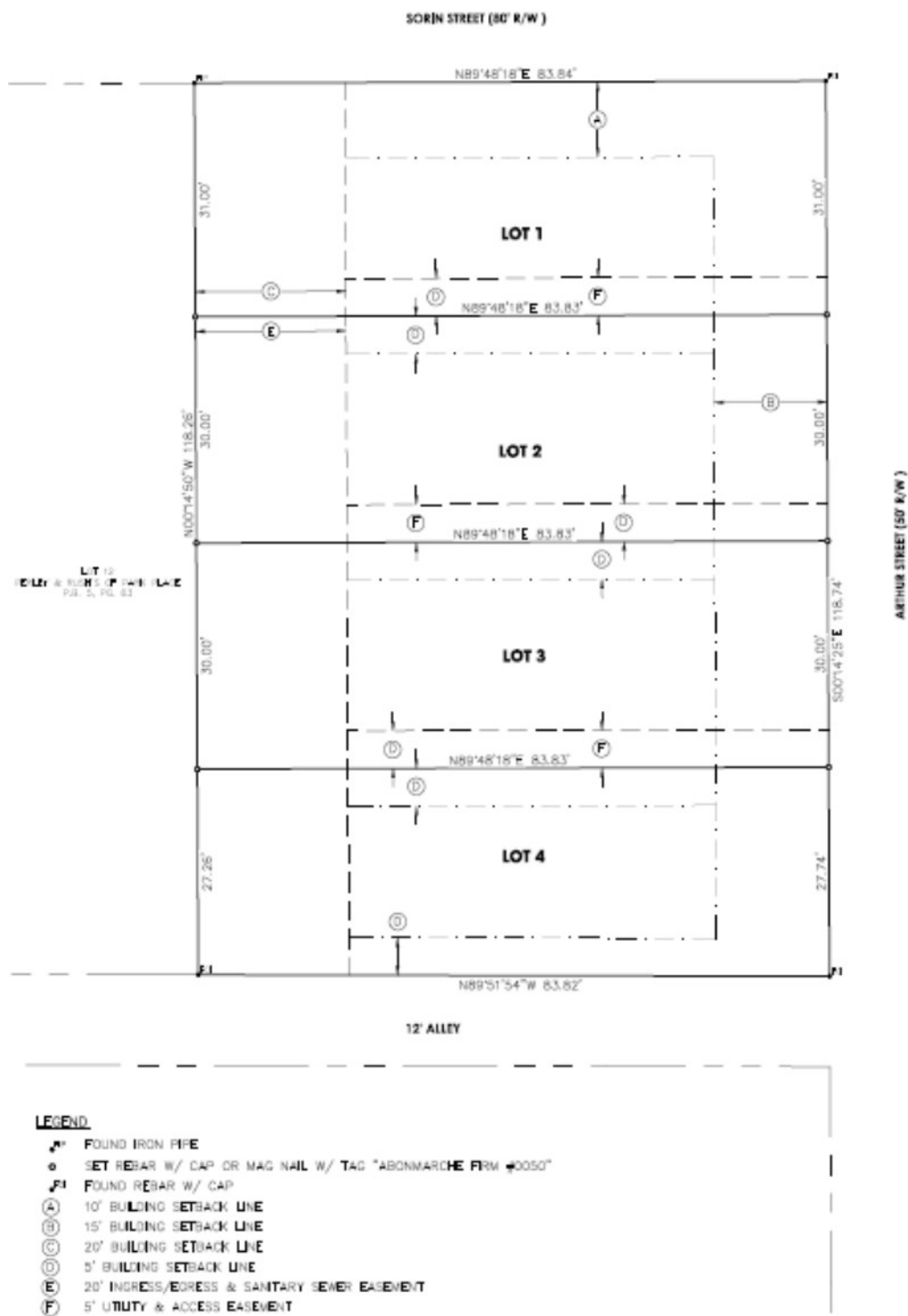


Recommendation

Staff Recommendation: With the grant of the lot width variance, the Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval, conditional on: setbacks being removed from the lots on the plat drawing; the deed of dedication reading "the Subdivision Control Ordinance of the City of South Bend, Indiana"; the plat notes indicating that the property is within the airport noise sensitive zone; "Property owners/Subdividers" being changed to "Subdividers" for both the plat drawing and support document; the Sanitary Sewer Easement being labeled as an "Exclusive Municipal Sanitary Sewer Main Easement" on both the plat and support document; and easement

descriptions being added to define who each easement is for and related maintenance responsibilities.

Proposed Plat



Project Details

Environmental Data:	A check of the Agency's maps indicates that no environmental hazard areas or wetlands are present.
Drainage:	No comments.
Rights-Of-Way:	The rights-of-way are correct as shown.
Utilities:	The site will be served by Municipal Water and Municipal Sewer.
Agency Comments:	Engineering - Sanitary Sewer Easement should be "Exclusive Municipal Sanitary Sewer Main Easement" on both plat and support document; Add easement descriptions defining who each easement is for and clearly define maintenance responsibilities. Alley approach will need to be replaced; the alley may need to be cleared and graded. A sewer extension and sewer extension agreement are required.

Criteria for Decision Making

Variance(s)**The petitioner is seeking the following variance(s):**

From the 30' minimum allowed lot width in U1 to 27'(21-03.03(d))

State statutes and the Zoning Ordinance require that certain standards must be met before a variance can be approved. The standards and their justifications are as follows:

(1) The approval will not be injurious to the public health, safety, morals and general welfare of the community.

The approval will not be injurious to the public health, safety, morals, and general welfare of the community. These are detached homes being built on a vacant parcel adjacent to other detached homes.

(2) The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner. These are detached homes going into a neighborhood of detached homes of varying sizes.

(3) The strict application of the terms of this Chapter would result in practical difficulties in the use of the property.

The strict application of the terms of this chapter would result in practical difficulties in the use of the property. For this 4 lot subdivision, 3 of 4 subdivided lots have a width that is compliant in the U1 zoning district, with one lot being wider than the

standard required lot width due to the additional setback requirements required for a corner lot. Given these constraints, it is difficult to make the fourth lot compliant in terms of width, although said lot is important for meeting the need for new affordable housing options in the city.

(4) The variance granted is the minimum necessary.

The variance granted is the minimum necessary. The applicant is requesting the variance to reflect the spirit of the statute. The lot in question still would meet all building development standards, including minimum setbacks. Adjusting the lot width criteria would permit the property owners to utilize the lot for a small detached home.

(5) The variance granted does not correct a hardship caused by a former or current owner of the property.

The variance does not correct a hardship caused by the property owner.

Commitments: No commitments at this time.

Analysis & Recommendation

Analysis: Granting this variance encourages the construction of new affordable housing options on a vacant lot. The proposed plan meets the intent of the ordinance by complying with all required setbacks, including a corner setback in the northernmost parcel that requires said parcel to be wider than the rest. Meeting these requirements makes it difficult for the petitioner to make all of the proposed parcels compliant in terms of lot width while still being able to add new affordable units to the city's housing stock, necessitating this variance.

Recommendation

Staff Comments: Plat - Remove setbacks from the lots. Use "the Subdivision Control Ordinance of the City of South Bend, Indiana" in the deed of dedication." Indicate that the property is within the airport noise sensitive zone in the notes. Remove "Property owners" from "Property owners/Subdividers."

Support document - Remove "Property owners" from "Property owners/Subdividers."

Staff Recommendation: With the grant of the lot width variance, the Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval, conditional on: setbacks being removed from the lots on the plat drawing; the deed of dedication reading "the Subdivision Control Ordinance of the City of South Bend, Indiana"; the plat notes indicating that the property is within the airport noise sensitive zone; "Property owners/Subdividers" being changed to "Subdividers" for both the plat drawing and support document; the Sanitary Sewer Easement being labeled as an "Exclusive Municipal Sanitary Sewer Main Easement" on both the plat and support document; and easement descriptions being added to define who each easement is for

and related maintenance responsibilities.

Staff Report – Resolution# 3644

Requested Action

RESOLUTION OF THE SOUTH BEND PLAN COMMISSION
APPROVING A RESOLUTION OF THE SOUTH BEND REDEVELOPMENT
COMMISSION APPROVING AMENDMENTS TO THE DECLARATORY
RESOLUTION AND THE DEVELOPMENT PLAN FOR THE RIVER WEST
DEVELOPMENT AREA FOR THE PURPOSE OF ESTABLISHING A RESIDENTIAL
HOUSING DEVELOPMENT PROGRAM AND RELATED MATTER

Project Summary

On July 24, 2025, the South Bend Redevelopment Commission approved and adopted its Resolution No. 3644 entitled “Resolution of the South Bend Redevelopment Commission Approving Amendments to the Declaratory Resolution and the Development Plan for the River West Development Area for the Purpose of Establishing a Residential Housing Development Program and Related Matters.” This resolution would create the Lincoln and Kennedy Park Residential Housing Development Program Allocation Area, helping to establish a residential housing development program that will provide for the construction of new residential housing, or the renovation of existing residential housing, in the Lincoln and Kennedy Park neighborhoods.

The purpose of the River West Development Area Plan is as follows:

- To provide a broad vision and strategy for the economic and physical revitalization of the River West Development Area, and
- To establish a framework for ongoing collaborative planning efforts involving residents and other property owners, business owners, civic associations, institutional partners, and local government.

Recommendation

Staff Recommendation: Based on the information available prior to the public hearing, the staff recommends the Plan Commission approve the resolution.

Property Information

Subdivision Name: **Market on Western Minor**

Location: N/W Corner

Requested Action

The total area of the subdivision is 4.86 acres and will consist of 2 building lots.

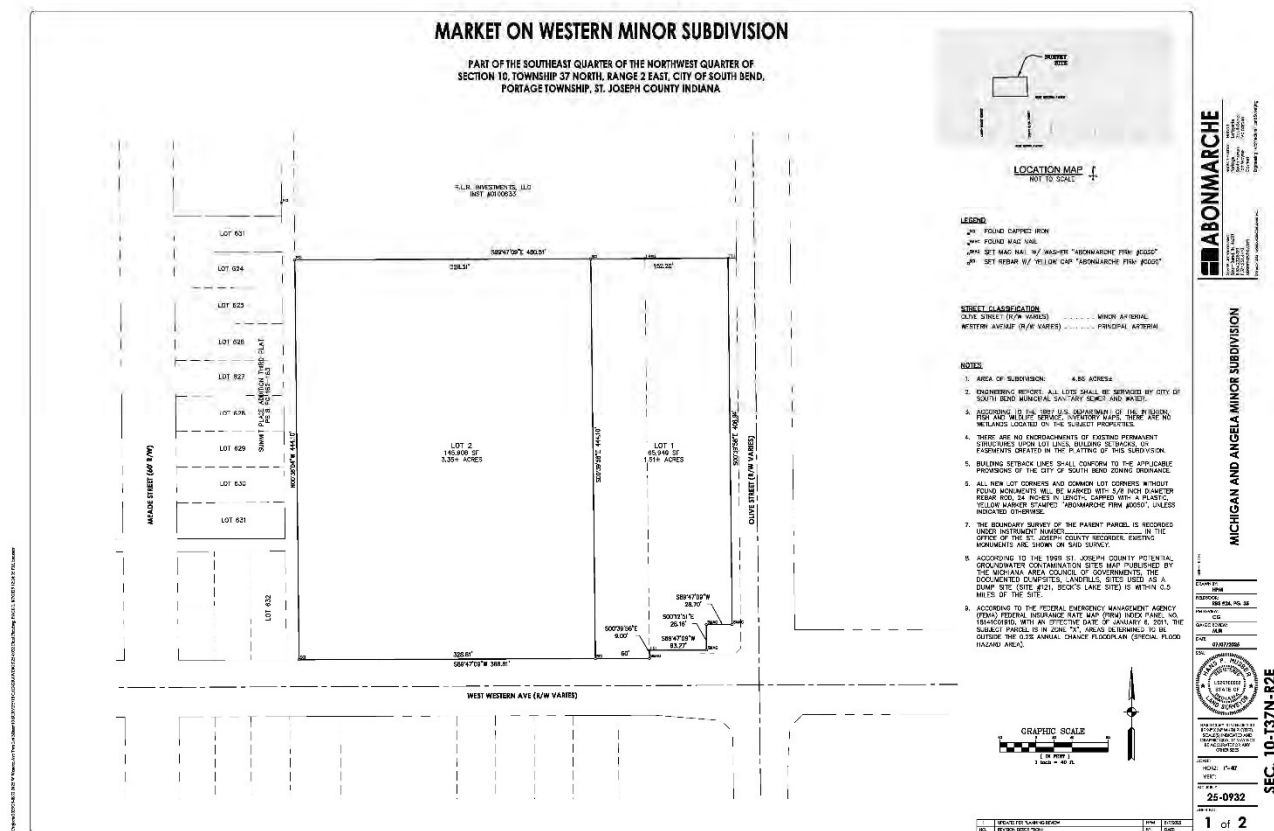
Location Map



Recommendation

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval.

Proposed Plat



Project Details

Environmental Data:	A check of the Agency's maps indicates that no environmental hazard areas or wetlands are present.
Drainage:	An updated drainage plan will be required for the expansion.
Rights-Of-Way:	The rights-of-way are correct as shown.
Utilities:	The site will be served by Municipal Water and Municipal Sewer.
Agency Comments:	Engineering - An updated access site plan will be required for the expansion.

Recommendation

Staff Comments: None.

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval.

Property Information

Subdivision Name: **Intend Indiana Blaine Avenue First Minor**

Location: 505 to 521 N BLAINE AVE

Requested Action

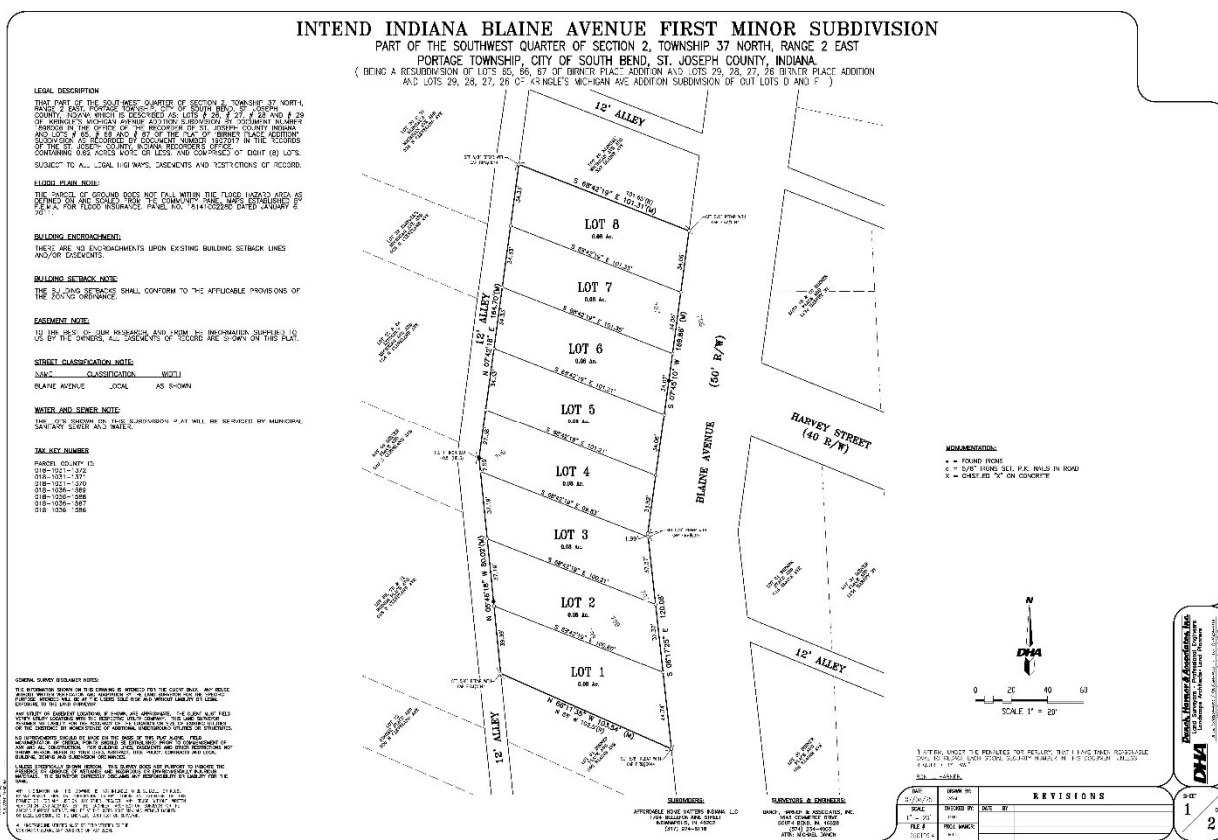
The total area of the subdivision is .62 acres and will consist of 8 building lots.

Location Map

Recommendation

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval.

Proposed Plat



Project Details

Environmental Data:

A check of the Agency's maps indicates that no environmental hazard areas or wetlands are present.

Drainage:

No comments.

Rights-Of-Way:

The rights-of-way are correct as shown.

Utilities:

The site will be served by Municipal Water and Municipal Sewer.

Agency Comments:

Engineering – Upon development, the developer shall replace the curb and the sidewalk and clear and grade the alley.

Recommendation

Staff Comments: None.

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval.

Property Information

Subdivision Name: **Inspire Me Minor Subdivision**

Location: 520 & 526 E COLFAX AVE & 125 & 127 HILL ST

Requested Action

The total area of the subdivision is 0.33 acres and will consist of 3 building lots.

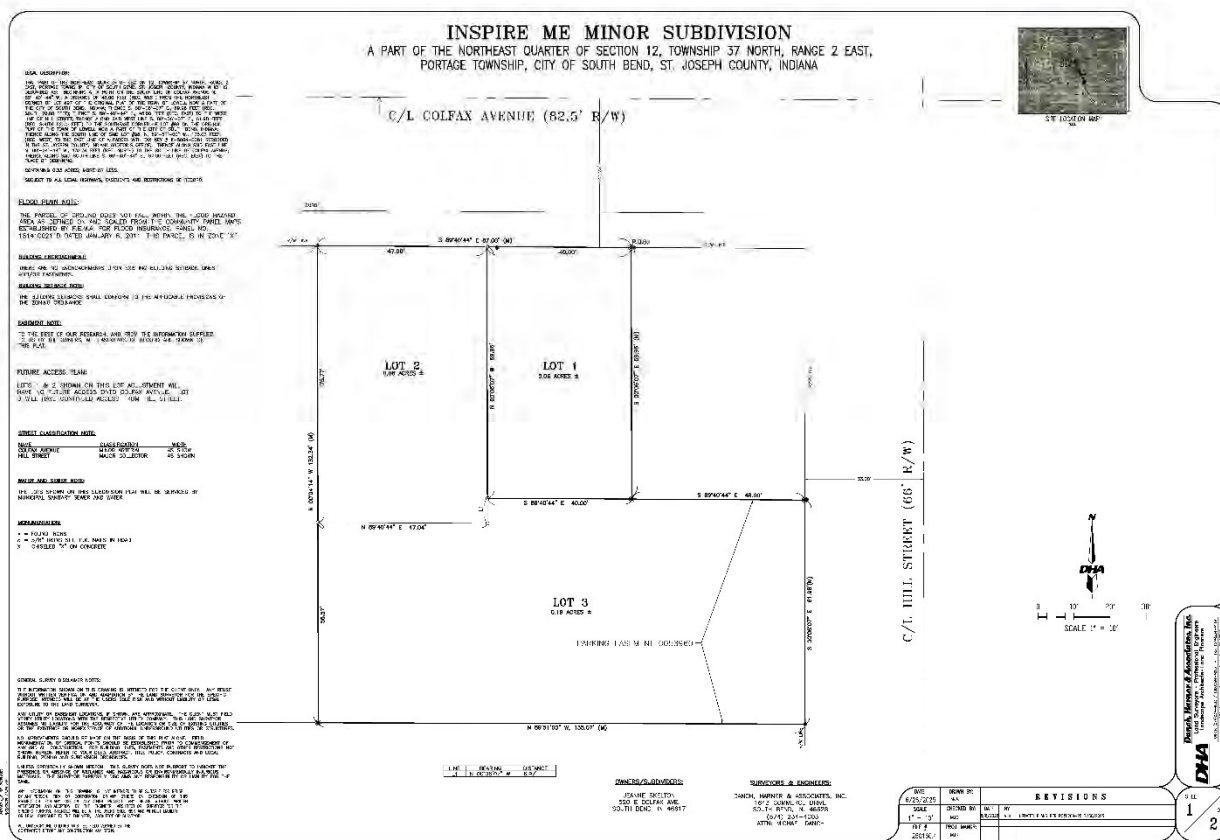
Location Map



Recommendation

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval.

Proposed Plat



Project Details

Environmental Data:

A check of the Agency's maps indicates that no environmental hazard areas or wetlands are present.

Drainage:

If the site is redeveloped, a drainage plan will be required at that time.

Rights-Of-Way:

The rights-of-way are correct as shown.

Utilities:

The site will be served by Municipal Water and Municipal Sewer.

Agency Comments:

Engineering - If changes are made to the existing access plan, those will need to be reviewed.

Recommendation

Staff Comments: None.

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval.

Property Information

Subdivision Name: **Sherman Avenue & Lindsey Street First Minor Subdivision**

Location: N/E Corner of Sherman Ave & Lindsey St

Requested Action

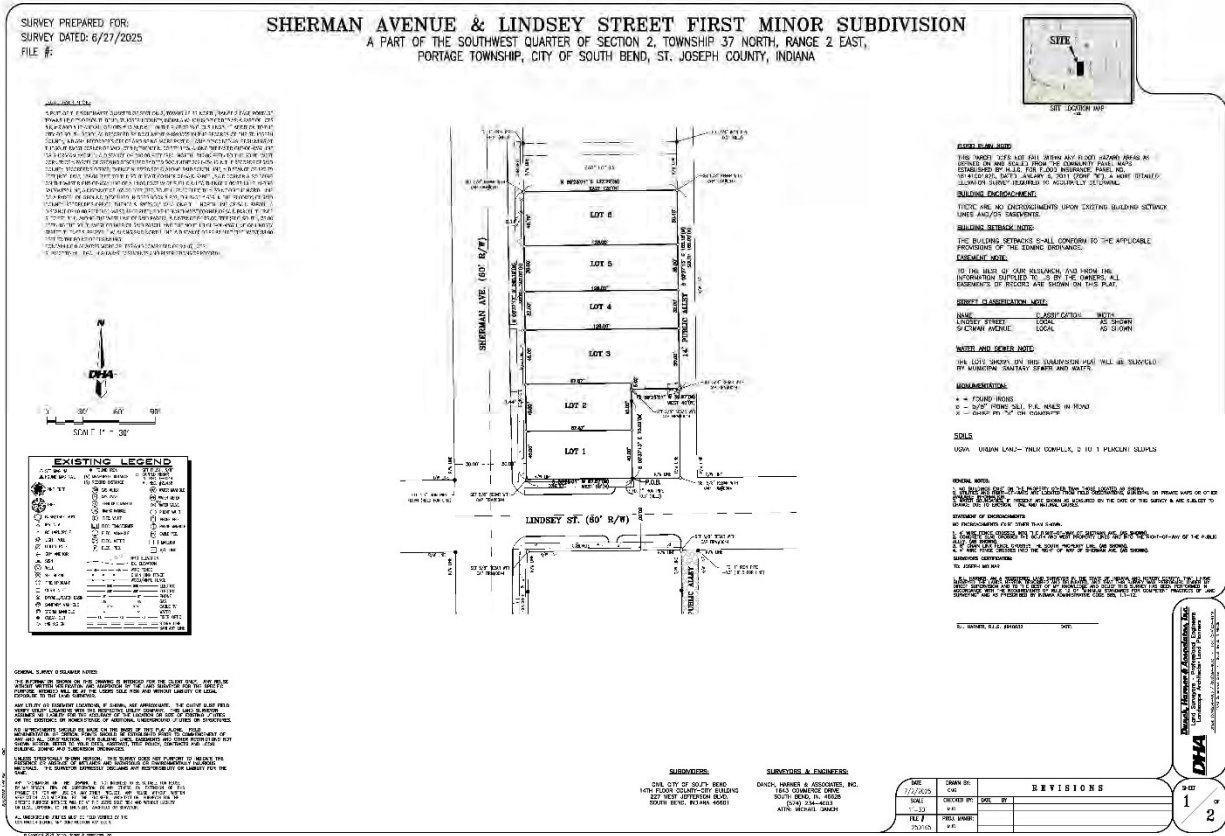
The total area of the subdivision is 0.64 acres and will consist of 6 building lots.

Location Map

Recommendation

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted Approval, conditional on the flood plain note on both the plat and support drawing referring to FEMA maps instead of HUD maps; the Certificate of Approval referring to the correct subdivision; and the support document providing details for a future access plan.

Proposed Plat



Project Details

Environmental Data:

A check of the Agency's maps indicates that no environmental hazard areas or wetlands are present.

Drainage:

None

Rights-Of-Way:	The rights-of-way are correct as shown.
Utilities:	The site will be served by Municipal Water and Municipal Sewer.
Agency Comments:	Engineering - Lots 3-6 shall access from the alley in the back with no curb cuts to the street; lot 1 shall use the existing curb cut off Lindsey, which can be replaced in the same location if needed; and lot 2 shall access off Sherman with a curb cut as far north as possible (minimum of 50 ft from the intersection). The curb and sidewalk need to be replaced on both streets, with the exception of the ADA curb ramps at the corner. If the curb ramps are damaged during construction, they will need to be replaced. Provide a site plan for review prior to construction to confirm the vehicular access plan, water and sewer tap locations, and sidewalk replacement. The contractor will need to obtain permits for all work in the public ROW.

Recommendation

Staff Comments: Subdivision shall refer to FEMA floodplain maps in the flood plain note on both the plat and support drawing, as opposed to HUD maps. In the Certificate of Approval, correct subdivision name needs to appear. Details for a future access plan shall be provided in the support document.

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval, conditional on the flood plain note on both the plat and support drawing referring to FEMA maps instead of HUD maps; the Certificate of Approval referring to the correct subdivision; and the support document providing details for a future access plan.

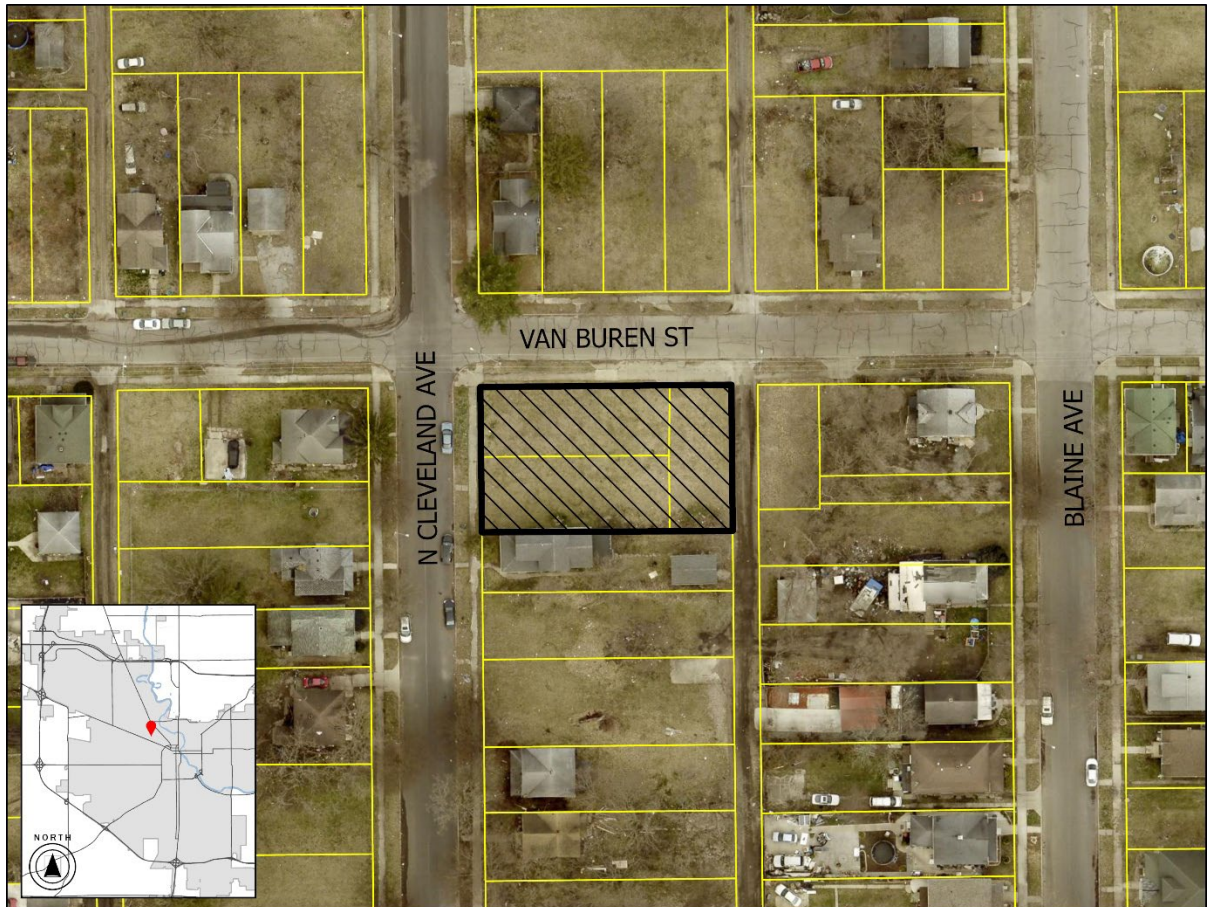
Property Information

Subdivision Name: **Cleveland Avenue & Van Buren Street First Minor Subdivision**

Location: S/E Corner of N Cleveland Ave & Van Buren St

Requested Action

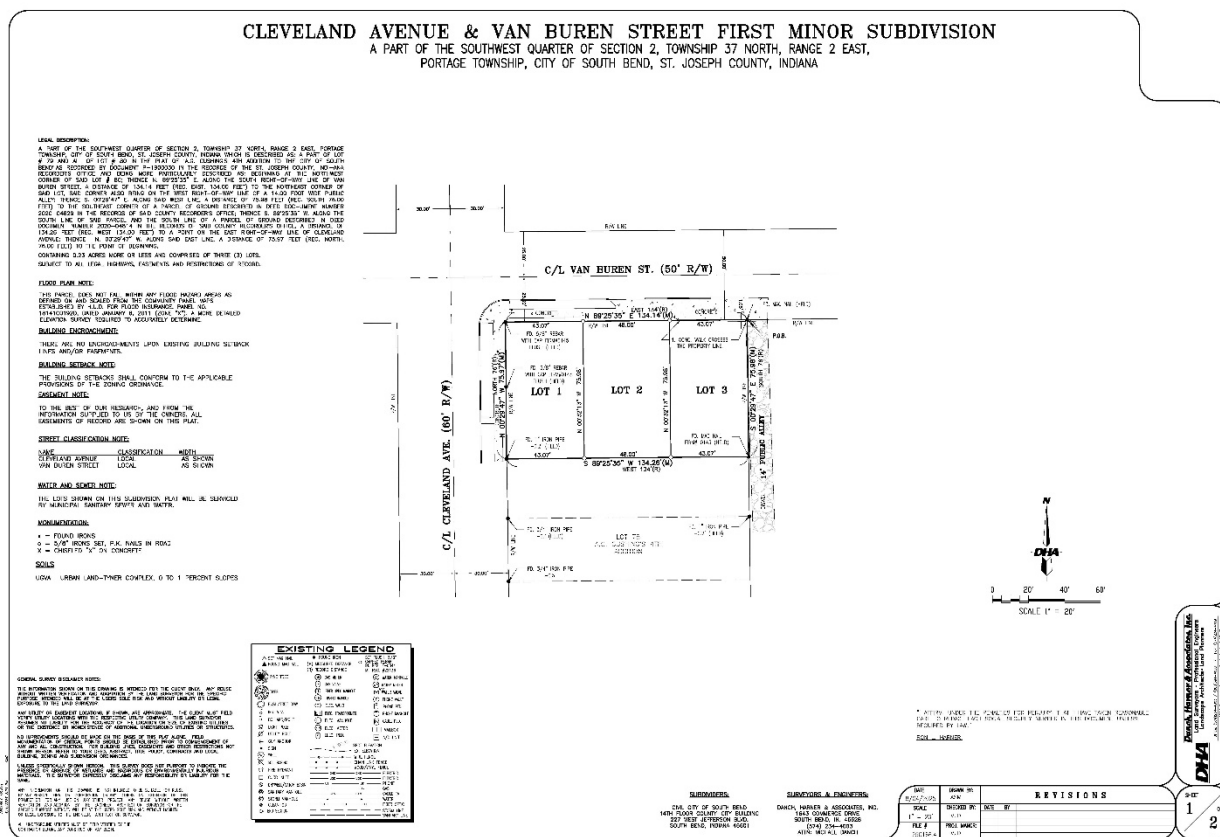
The total area of the subdivision is 0.23 acres and will consist of 3 building lots.

Location Map

Recommendation

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval, conditional on the floodplain note on both the plat and support drawing referring to FEMA maps instead of HUD maps; the Certificate of Approval referring to the correct subdivision; and the support document providing details for a future access plan.

Proposed Plat



Project Details

Environmental Data:

A check of the Agency's maps indicates that no environmental hazard areas or wetlands are present.

Drainage:	None
Rights-Of-Way:	The rights-of-way are correct as shown.
Utilities:	The site will be served by Municipal Water and Municipal Sewer.
Agency Comments:	Engineering - Lot 3 shall access from the alley with no curb cut to the street; lot 2 shall access from Van Buren as far east as possible (minimum 50 ft from the intersection); lot 1 shall access from Cleveland as far south as possible. The large existing curb cut on Van Buren shall be removed, the tree lawn shall be restored, and the curb shall be replaced. The curb ramps at the corner need to be replaced. Any additional curb or sidewalk damaged during construction needs to be replaced. Provide a site plan for review prior to construction to confirm the vehicular access plan, water and sewer tap locations, and sidewalk replacement. The contractor will need to obtain permits for all work in the public ROW.

Recommendation

Staff Comments: Subdivision shall refer to FEMA floodplain maps in the flood plain note on both the plat and support drawing, as opposed to HUD maps. In the Certificate of Approval, correct subdivision name needs to appear. Details for a future access plan shall be provided in the support document.

Staff Recommendation: The Staff has reviewed this subdivision and finds it complies with the requirements for approval as specified by the South Bend Subdivision Control Ordinance. The Staff therefore recommends that this subdivision be granted approval, conditional on the floodplain note on both the plat and support drawing referring to FEMA maps instead of HUD maps; the Certificate of Approval referring to the correct subdivision; and the support document providing details for a future access plan.

Staff Report – Resolution# 3644

Requested Action

RESOLUTION OF THE SOUTH BEND PLAN COMMISSION
APPROVING A RESOLUTION OF THE SOUTH BEND REDEVELOPMENT
COMMISSION APPROVING AMENDMENTS TO THE DECLARATORY
RESOLUTION AND THE DEVELOPMENT PLAN FOR THE RIVER WEST
DEVELOPMENT AREA FOR THE PURPOSE OF ESTABLISHING A RESIDENTIAL
HOUSING DEVELOPMENT PROGRAM AND RELATED MATTER

Project Summary

On July 24, 2025, the South Bend Redevelopment Commission approved and adopted its Resolution No. 3644 entitled “Resolution of the South Bend Redevelopment Commission Approving Amendments to the Declaratory Resolution and the Development Plan for the River West Development Area for the Purpose of Establishing a Residential Housing Development Program and Related Matters.” This resolution would create the Lincoln and Kennedy Park Residential Housing Development Program Allocation Area, helping to establish a residential housing development program that will provide for the construction of new residential housing, or the renovation of existing residential housing, in the Lincoln and Kennedy Park neighborhoods.

The purpose of the River West Development Area Plan is as follows:

- To provide a broad vision and strategy for the economic and physical revitalization of the River West Development Area, and
- To establish a framework for ongoing collaborative planning efforts involving residents and other property owners, business owners, civic associations, institutional partners, and local government.

Recommendation

Staff Recommendation: Based on the information available prior to the public hearing, the staff recommends the Plan Commission approve the resolution.

WHEREAS, the Plan Commission desires to approve the Amending Declaratory Resolution and the Residential Amendments; and

WHEREAS, the Commission has submitted the Amending Declaratory Resolution to the Plan Commission for approval pursuant to the provisions of the Act, which Amending Declaratory Resolution is attached hereto as Exhibit A and made a part hereof; and

WHEREAS, the Plan Commission has reviewed the Amending Declaratory Resolution and the Residential Amendments described in the Amending Declaratory Resolution and has determined that they conform to the plan of development for the City, and now desires to approve the Amending Declaratory Resolution and the Residential Amendments described therein and, pursuant to Section 16 of the Act, the Plan Commission desires to issue its written order approving the Amending Declaratory Resolution and the Residential Amendments described therein;

NOW, THEREFORE BE IT RESOLVED by the South Bend Plan Commission, as follows:

1. Pursuant to Section 16 of the Act, the Plan Commission hereby finds and determines that the Amending Declaratory Resolution and the Residential Amendments described in the Amending Declaratory Resolution conform to the plan of the development of the City.

2. The Amending Declaratory Resolution and the Residential Amendments described in the Amending Declaratory Resolution are in all respects approved, ratified and confirmed.

3. This Resolution hereby constitutes the written order of the Plan Commission approving the Amending Declaratory Resolution and the Residential Amendments described in the Amending Declaratory Resolution pursuant to Section 16 of the Act.

4. The Secretary of the Plan Commission is hereby directed to file copies of the Amending Declaratory Resolution with the minutes of this public meeting.

5. This Resolution shall be in full force and effect after its adoption by the Plan Commission.

PASSED, ISSUED AND APPROVED by the South Bend Plan Commission this 18th day of August, 2025.

SOUTH BEND PLAN COMMISSION

President

ATTEST:

Secretary

EXHIBIT A

AMENDING DECLARATORY RESOLUTION

(See Attached)

RESOLUTION NO. 3644

RESOLUTION OF THE SOUTH BEND REDEVELOPMENT COMMISSION APPROVING AMENDMENTS TO THE DECLARATORY RESOLUTION AND THE DEVELOPMENT PLAN FOR THE RIVER WEST DEVELOPMENT AREA FOR THE PURPOSE OF ESTABLISHING A RESIDENTIAL HOUSING DEVELOPMENT PROGRAM AND RELATED MATTERS

WHEREAS, the South Bend Redevelopment Commission (the “Commission”), the governing body of the City of South Bend, Indiana, Department of Redevelopment (the “Department”) and the Redevelopment District of the City of South Bend, Indiana (the “District”), exists and operates under the provisions of the Redevelopment of Cities and Towns Act of 1953 which has been codified in Indiana Code 36-7-14, as amended from time to time (the “Act”); and

WHEREAS, the Commission has heretofore adopted a declaratory resolution (as subsequently confirmed and amended from time to time, the “Declaratory Resolution”) designating an area known as the River West Development Area (the “Area”) as an economic development area pursuant to the Act, designating portions of the Area as allocation areas pursuant to Section 39 of the Act (collectively, the “Allocation Area”), and approving and subsequently amending from time to time a development plan for the Area (collectively, the “Original Plan”); and

WHEREAS, pursuant to Section 53 of the Act, the Commission desires to establish a residential housing development program to provide for the construction of new residential housing or the renovation of existing residential housing in certain portions of the Area and additional territory to be included in the Area as described herein and as such desires to (i) include certain additional territory (the “Lincoln and Kennedy Park Residential Program Expansion Area”) in the Area which is described at Exhibit A attached hereto and incorporated herein and (ii) designate the Lincoln and Kennedy Park Residential Program Expansion Area, together with a redesignated portion of the existing Allocation Area which is described at Exhibit B attached hereto and incorporated herein (the “Redesignated Area” and together with the Lincoln and Kennedy Park Residential Program Expansion Area, the “Lincoln and Kennedy Park Residential Housing Development Program Area”); and

WHEREAS, the Commission has thoroughly studied the Lincoln and Kennedy Park Residential Housing Development Program Area and, pursuant to Sections 15 through 17.5 of the Act, the Commission seeks to amend the Declaratory Resolution and the Original Plan by (i) redesignating an existing portion of, and amending the boundaries of, the Area to include the Lincoln and Kennedy Park Residential Housing Development Program Area, (ii) designating the Lincoln and Kennedy Park Residential Housing Development Program Area as an allocation area

pursuant to Sections 39 and 56 of the Act to be known as the “Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area”; (iii) amending and restating the Original Plan as set forth on Exhibit C attached hereto (the Original Plan, as amended and restated herein, the “Plan”); and (iv) further amending the Plan to incorporate the residential housing program for the Lincoln and Kennedy Park Residential Housing Development Program Area (the “Residential Program”) as a component of the Plan as set forth on Exhibit D attached hereto (clauses (i) through and including (iv), collectively, the “Residential Amendments”); and

WHEREAS, prior to the submission of the Residential Program to the Commission, the Commission solicited input through a public meeting and other means as required by Section 53(d) of the Act; and

WHEREAS, the Commission has caused to be prepared maps and plats showing the boundaries of the Area, as amended herein, as set forth and described at Exhibit E attached hereto and incorporated herein, the Lincoln and Kennedy Park Residential Housing Development Program Area and the location of various parcels of property, streets, alleys, and other features affecting the replatting, replanning, rezoning, redevelopment or economic development of the Area, the Lincoln and Kennedy Park Residential Housing Development Program Area and the parts of the Area and the Lincoln and Kennedy Park Residential Housing Development Program Area that are to be devoted to public ways, sewerage and other public purposes under the Plan, as amended by the Residential Amendments; and

WHEREAS, Sections 41 and 43 of the Act have been created to permit the creation of “economic development areas” and to provide that all of the rights, powers, privileges and immunities that may be exercised by this Commission in a redevelopment area or urban renewal area may be exercised in an economic development area, subject to the conditions set forth in the Act; and

WHEREAS, the Commission has determined it appropriate and advisable to apply the provisions of said Sections 39, 41, 43, 53, 54, 55, and 56 of the Act to the Lincoln and Kennedy Park Residential Housing Development Program Area; and

WHEREAS, the Commission has caused to be prepared a list of the parcels of property located in the Lincoln and Kennedy Park Residential Housing Development Program Area and the owners thereof; and

WHEREAS, the proposed Residential Amendments and supporting data were reviewed and considered at this public meeting; and

WHEREAS, the Commission now desires to approve the Residential Amendments.

NOW, THEREFORE, BE IT RESOLVED by the South Bend Redevelopment Commission as follows:

1. The Commission hereby finds and determines that the Residential Amendments promote significant opportunities for the (i) gainful employment of the citizens of the City of South Bend, Indiana (the “City”), (ii) attraction of major new business enterprises to the City, and (iii) retention and expansion of significant business enterprises existing in the boundaries of the City

and meets other purposes of Sections 2.5, 41, 43 and 55 of the Act, including without limitation benefiting public health, safety, and welfare, increasing the economic well-being of the City and the State of Indiana (the “State”), providing adequate residential housing in the City, and serving to protect and increase property values in the City and the State.

2. The Plan and the Residential Amendments cannot be achieved by regulatory processes or by the ordinary operation of private enterprise without resort to the powers allowed under Sections 2.5, 41 and 43 of the Act because of lack of local public improvements, existence of conditions that lower the value of the land below that of nearby land, multiple ownership of land, and other similar conditions.

3. The public health and welfare will be benefited by accomplishment of the Plan, as amended and restated herein, and the Residential Amendments.

4. It will be of public utility and benefit to further amend the Declaratory Resolution and the Plan, as amended and restated herein, for the Area as provided in the Residential Amendments and to continue to develop the Area, including the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area, as provided under the Act.

5. Accomplishment of the Plan for the Area, as amended and restated herein, and the Residential Amendments will be a public utility and benefit as measured by the provision of adequate housing, the attraction or retention of permanent jobs, an increase in the property tax base, improved diversity of the economic base and other similar public benefits.

6. The Lincoln and Kennedy Park Residential Program Expansion Area is hereby added to the Area and is designated as an “economic development area” under Section 41 of the Act.

7. The Lincoln and Kennedy Park Residential Housing Development Program Area is hereby designated as an “Allocation Area” pursuant to Sections 39 and 56 of the Act to be known as the “Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area,” for purposes of the allocation and distribution of property taxes on real property in said allocation area for the purposes and in the manner provided by said Section, with the related allocation fund for said allocation area to be known as the “Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area Allocation Fund.” The base assessment date for the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area shall be January 1, 2025. The Commission hereby specifically finds and determines, based upon its review of the proposed Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area and its reasonable expectations relating to expected growth of assessed value in the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area following the completion of local public improvements as set forth in the Plan as amended by the Residential Amendments, that the adoption of the allocation provision as provided herein will result in new property taxes in the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area that would not have been generated but for the adoption of the allocation provision. Any property taxes subsequently levied by or for the benefit of any public body entitled to a distribution of property taxes on taxable

property in said Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area shall be allocated and distributed as follows:

Except as otherwise provided in said Sections 39 and 56, the proceeds of taxes attributable to the lesser of the assessed value of the property for the assessment date with respect to which the allocation and distribution is made for the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area, or the base assessed value, shall be allocated to and when collected paid into the funds of the respective taxing units. Except as otherwise provided in said Sections 39 and 56, property tax proceeds in excess of those described in the previous sentence shall be allocated to the District and when collected paid into the allocation fund for said Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area that may be used by the District to do one (1) or more of the things specified in Section 56(c) of the Act, as the same may be amended from time to time. Said allocation funds may not be used for operating expenses of the Commission. This allocation provision shall expire with respect to the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area on the later of twenty (20) years from the date of issuance of debt secured by the allocated property taxes from the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area, or at such time as no bonds payable from allocated property taxes are outstanding. Except as otherwise provided in the Act, before June 15 of each year, the Commission shall take the actions set forth in Section 56(d) of the Act with respect to the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area.

8. The Commission hereby finds that the further amendments of the Declaratory Resolution and the Plan, as amended and restated herein, including to designate the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area, conforms to the comprehensive plan for the City.

9. The map and plat of the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area showing its boundaries, the location of the various parcels of property, streets and alleys, and other features affecting the acquisition, clearance, replatting, replanning, rezoning, redevelopment or economic development of the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area, and the parts of the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area that are to be devoted to public ways, levees, sewerage, parks, playgrounds and other public purposes under the Plan, are hereby approved and adopted as the map and plat for the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area.

10. The Residential Amendments are reasonable and appropriate when considered in relation to the Declaratory Resolution and the Plan, as amended and restated herein, and the purposes of the Act.

11. The findings and determinations set forth in the Declaratory Resolution and the Plan, as amended and restated herein, are hereby reaffirmed.

12. The Commission does not at this time propose to acquire any specific parcels of land or interests in land within the boundaries of the Lincoln and Kennedy Park Residential Housing Development Program Area Allocation Area. If at any time the Commission proposes to acquire specific parcels of land, the required procedures for amending the Plan, as amended and restated herein, under the Act will be followed, including notice by publication to affected property owners and a public hearing.

13. The Commission finds that no residents of the Area will be displaced by any project resulting from the Residential Amendments and therefore finds that it does not need to give consideration to transitional and permanent provision for adequate housing for the residents.

14. The Residential Amendments are hereby in all respects approved.

15. Any member of the Commission is hereby authorized to take such actions as are necessary to implement the purposes of this resolution, and any such action taken prior to the date hereof is hereby ratified and approved.

16. This Resolution, together with any supporting data, shall be submitted to the City of South Bend Plan Commission (the "Plan Commission") and the Common Council of the City (the "Common Council") as provided in the Act, and if approved by the Plan Commission and the Common Council shall be submitted to a public hearing and remonstrance as provided by the Act, after public notice as required by the Act.

17. This Resolution shall take effect immediately upon its adoption by the Commission.

ADOPTED AND APPROVED at a meeting of the South Bend Redevelopment Commission held on the 24th day of July, 2025.

SOUTH BEND
REDEVELOPMENT COMMISSION



President

ATTEST:

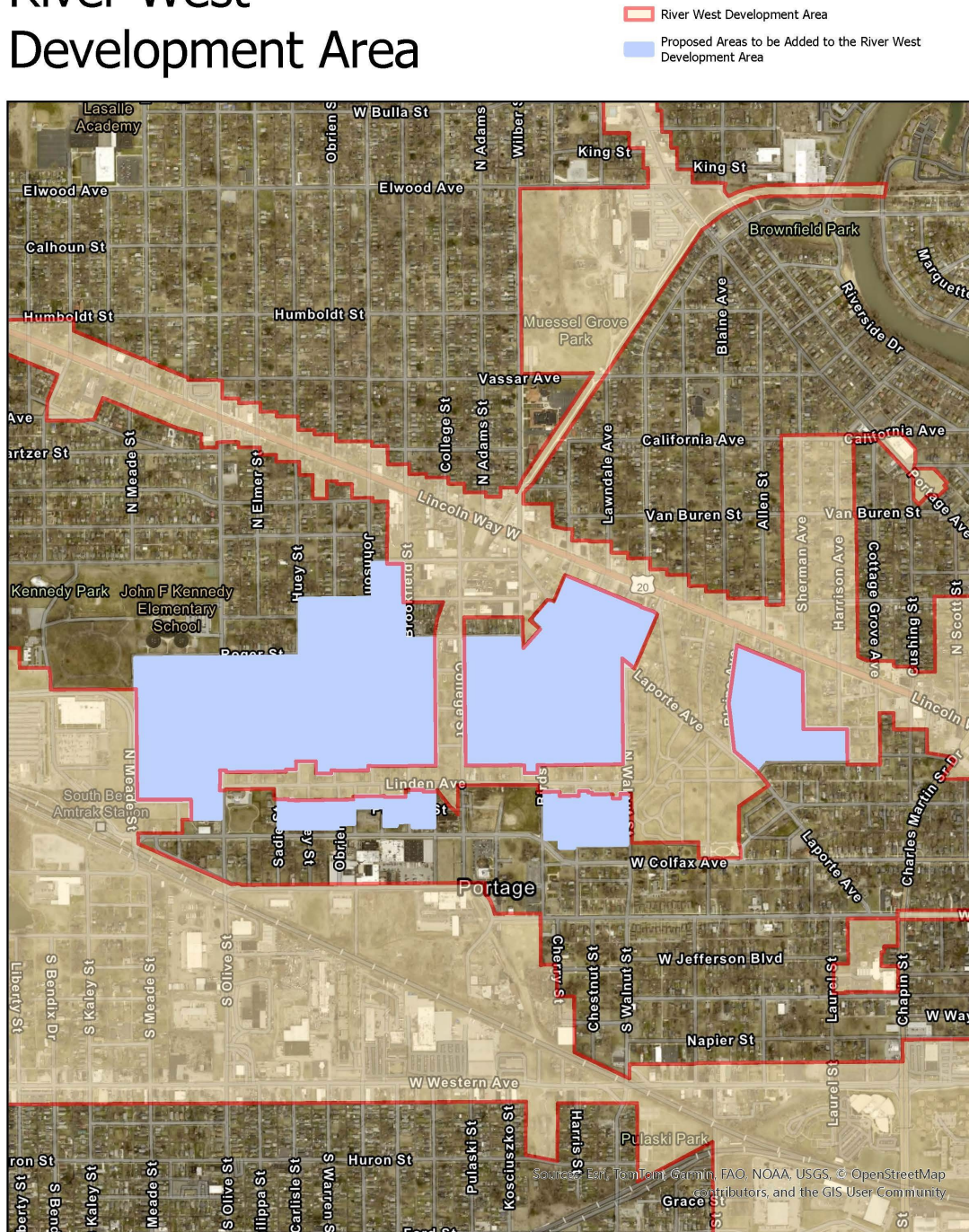


Secretary

EXHIBIT A

Description of the Lincoln and Kennedy Park Residential Program Expansion Area

River West Development Area



5-19-25 LEGAL DESCRIPTION FOR PARCEL #1 ADDED TO RWDA:

BEGINNING AT THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF MEADE STREET WITH THE NORTH RIGHT-OF-WAY LINE OF BERTRAND STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF ROGERS STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION OF SAID SOUTH LINE WITH THE EAST RIGHT-OF-WAY LINE OF HUEY STREET; THENCE NORTH ALONG SAID EAST LINE OF HUEY STREET TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF WERWINSKI STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF JOHNSON STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF RUPEL STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF BROOKFIELD STREET; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF LONGLEY AVENUE; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF THE NOW ABANDONED PENN CENTRAL RAILROAD SPUR; THENCE SOUTH ALONG SAID WESTERLY LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF THE FIRST EAST-WEST 14 FOOT WIDE PUBLIC ALLEY SOUTH OF FLORENCE STREET; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING JOHNSON STREET 60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF JOHNSON STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 25 IN THE PLAT OF "WERWINSKI 2ND SUBDIVISION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 10 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING O'BRIEN STREET 66 FT. WIDE) TO THE NORTHEAST CORNER OF LOT # 10 IN SAID PLAT, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF O'BRIEN STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 9 IN SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT TO THE NORTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT # 12 IN SAID PLAT; THENCE WEST (CROSSING SAID 14 FOOT WIDE NORTH-SOUTH ALLEY) TO THE NORTHEAST CORNER OF LOT # 18 IN THE PLAT OF "WHEELER'S SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST ALONG THE NORTH LINE OF SAID LOT AND ITS' WESTERLY EXTENSION (CROSSING HUEY STREET 52 FT. WIDE) TO THE NORTHEAST CORNER OF LOT # 3 IN THE PLAT OF "HOLLOWELL & SMITH'S SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF HUEY STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 4 IN SAID PLAT; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF A 12 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE AND THE WEST LINE OF LOT # 5 IN SAID PLAT 6.5 FEET MORE OR LESS TO A POINT WHICH IS DIRECTLY EAST OF THE SOUTHEAST CORNER OF LOT # 35 IN SAID PLAT; THENCE WEST 12 FEET TO SAID CORNER, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING OLIVE STREET 50 FT. WIDE) TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF OLIVE STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 13 IN THE PLAT OF "WEST END SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHEAST CORNER OF LOT # 35 IN SAID PLAT; THENCE NORTH ALONG THE EAST LINE OF SAID LOT AND ITS' NORTHERLY EXTENSION (CROSSING LAWTON STREET 42 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF SAID LAWTON STREET; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF LOT # 68 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF MEADE STREET; THENCE NORTH ALONG SAID EAST LINE TO THE POINT OF BEGINNING.

CONTAINING 78.3 ACRES MORE OR LESS.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #2 ADDED TO RWDA:

BEGINNING AT THE SOUTHWEST CORNER OF LOT # 55 IN THE PLAT OF "LINDEN PLACE ADDITION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF COLLEGE STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF LONGLEY AVENUE; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF WILBUR STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 268 IN SAID PLAT; THENCE NORTHEASTERLY CROSSING WILBUR STREET TO A POINT ON THE WEST LINE OF LOT # 162 IN THE PLAT OF "SWYGART'S 2ND ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID

POINT BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF WILBUR STREET WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF A 14 FOOT WIDE PUBLIC ALLEY; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE AND ITS' NORTHEASTERLY EXTENSION (CROSSING BIRDSSELL STREET 66 FT. WIDE) TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID STREET; THENCE NORTHWESTERLY ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID BIRDSSELL STREET TO A POINT OF INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF SANCOME AVENUE; THENCE NORTHEASTERLY ALONG SAID EASTERLY LINE TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF LA PORTE AVENUE; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE TO THE NORTHWEST CORNER OF LOT # 159 IN THE PLAT OF SAID "SWYGART'S 2ND ADDITION" THENCE NORTHWESTERLY (CROSSING SAID LA PORTE AVENUE 40 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF SAID LA PORTE AVENUE AND THE EASTERLY RIGHT-OF-WAY OF SAID SANCOME AVENUE; THENCE NORTHEASTERLY ALONG SAID EASTERLY LINE TO THE NORTHWESTERLY CORNER OF LOT # 27 IN THE PLAT OF "PLEASANT HOME ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTHERLY LINE OF A 12 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY PUBLIC ALLEY; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE TO THE NORTHEASTERLY CORNER OF LOT # 45 IN THE PLAT OF "ORCHARD HEIGHTS ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF WALNUT AVENUE; THENCE SOUTHWESTERLY ALONG SAID WESTERLY LINE TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF LA PORTE AVENUE; THENCE NORTHWESTERLY ALONG SAID NORTHERLY LINE TO A POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF THE WEST RIGHT-OF-WAY LINE OF WALNUT STREET; THENCE SOUTH ALONG SAID NORTHERLY EXTENSION AND ALONG THE WEST RIGHT-OF-WAY LINE OF SAID WALNUT STREET TO THE SOUTHEAST CORNER OF LOT # 52 IN THE PLAT OF SAID "SWYGART'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF LOT # 27 IN SAID PLAT; THENCE WEST (CROSSING BIRDSSELL STREET 66 FT. WIDE) TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID BIRDSSELL STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 2 IN SAID PLAT; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF WILBUR STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT DIRECTLY EAST OF THE SOUTHEAST CORNER OF LOT # 68 IN THE PLAT OF "LINDEN PLACE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST (CROSSING WILBUR STREET) TO SAID SOUTHEAST LOT CORNER, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.
CONTAINING 44.2 ACRES MORE LESS.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #3 ADDED TO RWDA:

BEGINNING AT THE SOUTHEAST CORNER OF LOT # 12 OF THE PLAT OF "FUERBRINGER'S 2ND ADDITION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF OAK STREET; THENCE WEST AND SOUTHWEST ALONG SAID NORTH LINE (CROSSING SHERMAN AVENUE 40 FT. WIDE AND ALLEN STREET 50 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF LA PORTE AVENUE; THENCE NORTHWESTERLY ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID LA PORTE AVENUE TO A POINT OF INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF BLAINE AVENUE; THENCE IN A NORTHWESTERLY AND NORTHEASTERLY DIRECTION ALONG SAID EASTERLY LINE TO THE NORTHWEST CORNER OF LOT # 27 IN THE PLAT OF "LEDERER'S SUBDIVISION OF OUTLOT "A"" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID LOT CORNER ALSO BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF A 12 FOOT WIDE SOUTHEASTERLY-NORTHWESTERLY PUBLIC ALLEY; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE TO THE NORTHEAST CORNER OF LOT # 22 IN THE PLAT OF "WITHERILL'S 2ND ADDITION" SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF SHERMAN AVENUE; THENCE SOUTH ALONG SAID WEST LINE TO POINT WHICH IS DIRECTLY WEST OF THE SOUTH RIGHT-OF-WAY LINE OF FUERBRINGER STREET; THENCE EAST (CROSSING SHERMAN AVENUE 40 FT. WIDE) AND CONTINUING ALONG SAID SOUTH LINE OF FUERBRINGER STREET TO THE NORTHEAST CORNER OF LOT # 22 OF SAID "FUERBRINGER'S 2ND ADDITION" SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE TO THE POINT OF BEGINNING.
CONTAINING 15.1 ACRES MORE OR LESS.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #4 ADDED TO RWDA:

BEGINNING AT THE SOUTHEAST CORNER OF LOT # 78 OF THE PLAT OF "ARNOLD & PAGIN'S SUBDIVISION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID LOT CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF HINE STREET; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING PAGIN STREET 50 FOOT WIDE AND STUDEBAKER STREET 50 FOOT WIDE) TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID STUDEBAKER STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 27 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 16.5 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-O-F WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT # 28 IN SAID PLAT; THENCE WEST (CROSSING SAID 14 FOOT WIDE ALLEY) TO THE NORTHEAST CORNER OF LOT # 25 IN SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT TO THE NORTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF BIRDSSELL STREET; THENCE NORTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 14 IN SAID PLAT; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT TO THE SOUTHEAST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE 40 FEET MORE OR LESS TO A POINT WHICH IS DIRECTLY WEST OF THE SOUTHWEST CORNER OF LOT # 38 IN SAID PLAT; THENCE EAST (CROSSING A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY) TO SAID SOUTHWEST LOT CORNER; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT AND ITS' EASTERLY EXTENSION (CROSSING STUDEBAKER STREET 50 FOOT WIDE) TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID STUDEBAKER STREET; THENCE NORTH ALONG SAID EAST LINE 30 FEET MORE OR LESS; TO A POINT ON THE NORTH LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 018-1047-1966 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S, OFFICE; THENCE ALONG SAID NORTH LINE FOR THE NEXT THREE (3) COURSES, EAST 81 FEET MORE OR LESS; SOUTH 15 FEET MORE OR LESS AND EAST 37 FEET MORE OR LESS TO THE WEST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH -SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE 15 FEET TO THE SOUTHEAST CORNER OF LOT # 41 IN SAID PLAT; THENCE EAST (CROSSING A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY) TO THE NORTHWEST CORNER OF LOT # 63 IN SAID PLAT; THENCE EAST ALONG THE NORTH LINE OF SAID LOT AND ITS' EASTERLY EXTENSION (CROSSING PAGIN STREET 50 FOOT WIDE) TO THE EAST RIGHT-OF-WAY LINE OF PAGIN STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 68 IN SAID PLAT; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT 59 FEET MORE OR LESS; THENCE NORTH 40 FEET MORE OR LESS TO THE NORTH LINE OF SAID LOT; THENCE EAST ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF SAID LOT # 68, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF WALNUT STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE POINT OF BEGINNING. CONTAINING 7.11 ACRES MORE OR LESS.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #5 ADDED TO RWDA:

BEGINNING AT THE SOUTHWEST CORNER OF LOT # 56 OF THE PLAT OF "ARNOLD'S 2ND ADDITION" AS RECORDED IN THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE; THENCE NORTH ALONG THE EAST RIGHT-OF-WAY LINE OF SADIE STREET TO THE SOUTHWEST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-1023-0682 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE EAST ALONG THE SOUTH LINE OF SAID PARCEL 80 FEET MORE OR LESS TO THE WEST LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-1023-0684 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE SOUTH ALONG SAID WEST LINE 8 FEET MORE OR LESS TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE EAST ALONG THE SOUTH LINE OF SAID PARCEL TO THE SOUTHEAST CORNER OF SAID PARCEL, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF A 12 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE TO A POINT WHICH IS DIRECTLY WEST OF THE NORTHWEST CORNER OF LOT # 41 OF THE PLAT OF "OAK GROVE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, THENCE EAST (CROSSING SAID 12 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY) TO SAID NORTHWEST LOT CORNER, SAID LOT CORNER ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 8 IN SAID PLAT, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF GRANT STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT WHICH IS DIRECTLY WEST OF THE NORTHWEST CORNER OF LOT # 7 OF THE PLAT OF "COLLEGE GROVE" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE EAST (CROSSING GRANT STREET 33 FOOT WIDE) TO THE NORTHWEST CORNER OF SAID LOT; THENCE ALONG THE NORTH LINE OF SAID LOT AND ITS' EASTERLY EXTENSION (CROSSING JOHNSON STREET 66 FOOT WIDE) TO THE EAST RIGHT-OF-WAY LINE OF SAID JOHNSON STREET AND THE NORTHWEST CORNER OF LOT # 8 IN SAID PLAT; THENCE ALONG THE NORTH LINE OF SAID LOT TO THE NORTHEAST CORNER OF SAID LOT, SAID LOT CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF BROOKFIELD STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT WHICH IS DIRECTLY WEST OF THE SOUTHWEST CORNER A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-0062 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE EAST (CROSSING

BROOKFIELD STREET 66 FOOT WIDE) TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE EAST ALONG THE SOUTH LINE OF SAID PARCEL AND ITS' EASTERLY EXTENSION (CROSSING A 10 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY) TO A POINT ON THE EAST LINE OF SAID ALLEY; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE TO THE SOUTHWEST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-006202 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE EAST ALONG THE SOUTH LINE OF SAID PARCEL TO THE SOUTHEAST CORNER OF SAID PARCEL, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF JACKSON STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-006701 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL AND THE SOUTH LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-0067 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF BROOKFIELD STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT DIRECTLY EAST OF THE NORTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006105 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST (CROSSING BROOKFIELD STREET 66 FOOT WIDE) TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE ALONG THE NORTH LINE OF SAID PARCEL AND THE NORTH LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006104 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO THE NORTHWEST CORNER OF SAID PARCEL WITH TAX KEY NUMBER 18-2006-006104; THENCE SOUTH ALONG THE WEST LINE OF SAID PARCEL TO THE NORTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006103 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST ALONG THE NORTH OF SAID PARCEL AND THE NORTH LINE OF PARCELS OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006102 AND 18-2006-006101 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF JOHNSON STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF PARALLEL STREET; THENCE WEST (CROSSING JOHNSON STREET 66 FOOT WIDE) AND CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ITS' WESTERLY EXTENSION (CROSSING GRANT STREET 33 FOOT WIDE) TO THE WEST RIGHT-OF-WAY LINE OF SAID GRANT STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 3 OF THE PLAT OF SAID "OAK GROVE ADDITION"; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT AND ITS' WESTERLY EXTENSION (CROSSING O'BRIEN STREET 40 FOOT WIDE) TO THE WEST RIGHT-OF-WAY LINE OF SAID O'BRIEN STREET; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF ORANGE STREET; THENCE WEST ALONG SAID NORTH LINE TO THE POINT OF BEGINNING. CONTAINING 7.49 ACRES MORE OR LESS.

EXHIBIT B

Description of Redesignated Area

Housing Parcel 1:

Beginning at the Southeast corner of Lot # 6 of "Fuerbringer 2nd Addition" Subdivision as recorded in the records of the St. Joseph County, Indiana Recorder's Office; thence West along the North right-of-way line of Oak Street to the Southeast corner of Lot # 13 in said Plat; said corner also being on the East right-of-way line of a North-South Public Alley; thence North along said East line and its Northerly extension (Crossing Fuerbringer Street 40 Foot Wide) to a point on the North right-of-way line of said Street; thence West along said North line (Crossing Harrison Avenue 60 Foot Wide) to a point of intersection with the East right-of-way line of Sherman Avenue; thence North along said East line, to the Northwest corner of Lot # 21 in the Plat of "Witherill's 2nd Addition" Subdivision as recorded in the Records of said County, said corner also being on the Southerly right-of-way line of a Northwesterly-Southeasterly Public Alley; thence in a Northwesterly direction (Crossing Sherman Avenue 40.26 Foot Wide) to the Northeasterly corner of Lot # 22 in said Plat; said corner also being on the Southerly right-of-way of a Northwesterly-Southeasterly Public Alley; thence Northwesterly along said Southerly line to a point of intersection with the East right-of-way line of Allen Street; thence North along said East line to a point of intersection with the Southerly right-of-way line of Lincolnway West; thence Southeasterly along said Southerly line to the Northeasterly corner of a Parcel of Ground having a Tax Key Identification Number of 018-1034-1466 as shown in the records of the St. Joseph County, Indiana Auditor's Office; thence South along the East line of said Parcel to the North line of Lot # 24 in the Plat of "Witherill's 2nd Addition" Subdivision as recorded in the Records of said County; thence Southeasterly along the North line of said Lot and (Crossing Sherman Avenue 40.26 Foot Wide) to the Northwesterly corner of Lot # 23 in said Plat; thence Southerly along the North line of said Lot and its' Southeasterly extension to a point on the West line of Lot # 1 of the Plat of "Rockstroh & Nickol's 1st Addition" Subdivision as recorded in the records of said County; thence North along said West line to a point of intersection with the Southerly right-of-way line of said Lincolnway West; thence Southeasterly along said Southerly line to a point of intersection with the West right-of-way line of Harrison Avenue; thence South along said West line to the Southeast corner of Lot # 6 in said Plat of "Rockstroh & Nickol's 1st Addition" Subdivision; thence in a Northeasterly direction (Crossing Harrison Avenue 60 Foot Wide) to the Southwesterly corner of Lot # 1 of the Plat of "Colfax Cultural Minor Subdivision" as shown in the Records of said County, said corner also being on the Northerly right-of-way line of a 14 Foot Wide Northeasterly-Southwesterly Public Alley; thence Northeasterly along said Northerly line to a point of intersection with the West right-of-way line of Cottage Grove Avenue; thence South along said West Line to the point of beginning.

Containing 6.96 Acres more or less.

Housing Parcel 2:

Beginning at the intersection of the Westerly right-of-way line of Blaine Avenue with the Northerly right-of-way line of LaPorte Avenue; thence Northwesterly along said Northerly line to the Southwesterly corner of Lot # 29 in the Plat of "Orchard Heights Addition" Subdivision as recorded in the Records of the St. Joseph County, Indiana Recorder's Office; thence in a Westerly direction (Crossing La Porte Avenue 40 Foot Wide) to the Northeast corner of Lot # 101 in the Plat of "Swygart's 2nd Addition" Subdivision as recorded in the Records of said County; thence West along the North line of said Lot to the Northwest corner of said Lot, said corner also being on the East right-of-way line of Walnut Street; thence North along said East line to the Northwest corner of Lot # 102 in said Plat, said corner also being on the South right-of-way line of Fassnacht Avenue; thence East along said South line to the Northeast corner of said Lot # 102; thence Northeasterly (Crossing La Porte Avenue 40 Foot Wide) to the Southwest corner of Lot # 33 in said Plat of "Orchard Heights Addition", said corner also being on the Easterly right-of-way line of Walnut Avenue; thence Northeasterly along said Easterly line to the Northwest Corner of Lot # 46 in said Plat; thence East along the North line of said Lot and its' Easterly extension (Crossing Euclid Avenue 40 Foot Wide) to a point on the East right-of-way line of said Euclid Avenue; thence in a Northerly and Northeasterly direction along said East line to the Southerly Right of Way Line of Lincolnway West; thence Southeasterly along said

Southerly line (Crossing Cleveland Avenue 50 Foot Wide) to a point of intersection with the West right-of-way line of Blaine Avenue; thence Southwesterly and Southeasterly along said West line to the point of Beginning.
Containing 14.71 Acres more or less.

Housing Parcel 3:

Beginning at the Northwestern corner of Lot # 45 in the Plat of "Pleasant Home Addition" Subdivision, said corner also being on the Southerly right-of-way line of Lincolnway West; thence Southeasterly along said Southerly line (Crossing Sancome Avenue 40 Foot Wide) to the Northeasterly corner of Lot # 24 in said Plat; thence Southwesterly along said East line to the Southeasterly corner of said Lot, said corner also being on the Northerly right-of-way line of a 12 Foot Wide Public Alley; thence Northwesterly along said Northerly line (Crossing Sancome Avenue 40 Foot Wide) to the Southeasterly corner of Lot # 42 in said Plat, said corner also being on the Westerly right-of-way line of Sancome Avenue; thence Southwesterly along said Westerly line to the Southeasterly corner of Lot # 40 in said Plat, said corner also being on the Northerly right-of-way line of a 10 Foot Wide Northwesterly-Southeasterly Public Alley; thence Northwesterly along said Northerly line and its Northwesterly extension to the Southwesterly corner of Lot # 45 in said Plat; thence Northeasterly along the West line of said Lot to the point of Beginning.
Containing 1.14 Acres More or less.

Housing Parcel 4:

Beginning at the Southwesterly corner of a Parcel of Ground having a Tax Key Identification Number of 018-1053-2282 as shown in the Records of the St. Joseph County, Indiana Auditor's Office; said corner also being on the East right-of-way line of Wilbur Street; thence North along said East line to the Northwestern corner of a Parcel of Ground having a Tax Key Identification Number of 018-1053-2275 in the Records of said Auditor's Office; thence Southeasterly along the Northerly line of said Parcel to a point of intersection with the Westerly right-of-way line of Sancome Avenue; thence in a Southwesterly and Southeasterly direction along said Westerly line to a point of intersection with the Northerly right-of-way line of a 14 Foot Wide Northeasterly-Southwesterly Public Alley; thence Southwesterly along said Northerly line to the point of Beginning.
Containing 0.06 Acres More or less.

Housing Parcel 5:

Beginning at the Southwest corner of Lot # 21 of the Plat of " Hollowell & Smith's Subdivision" as recorded in the Records of the St. Joseph County, Indiana Recorder's Office, said corner also being the point of intersection of the North right-of-way line of Linden Street with the East right-of-way line of Olive Street; thence North along said East line to the Northwest corner of said Lot, said corner also being on the South right-of-way line of a 12 Foot Wide East-West Public Alley; thence East along the South line of said Alley and its' Easterly extension to a point on the West line of Lot # 5 in said Plat; thence North to the Northwest corner of said Lot; thence East along the North line of said Lot to the Northeast corner of said Lot, said corner also being on the West right-of-way line of Huey Street; thence North along said West line to the Northeast corner of Lot # 3 in said Plat; thence East (Crossing Huey Street 52 Foot Wide) to the Northwest corner of Lot # 18 in the Plat of "Wheeler's Subdivision" as recorded in the Records of said County; thence East along the North line of said Lot and its' Easterly extension to a point on the West line of the Plat of "Werwinski's 2nd Subdivision" as recorded in the Records of said County, said line also being the East right-of-way line of a 14 Foot Wide North-South Public Alley; thence South along said East line to the Southwest corner of Lot # 10 in said Plat; thence East along the South line of said Lot to the Southeast corner of said Lot, said corner also being on the West right-of-way line of O'Brien Street; thence North along said West line to the Northeast corner of said Lot # 10; thence East (Crossing O'Brien Street 66 Foot Wide) to the Southwest corner of Lot # 18 in said Plat, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence East along said North line to the Southeast corner of Lot # 25

in said Plat, said corner also being on the West right-of-way line of Johnson Street; thence East (Crossing Johnson Street 60 Foot Wide) to the Southwest corner of Lot # 35 in the Plat of "Linden Place Addition" Subdivision as recorded in the Records of said County, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence East along said North line (Crossing Brookfield Street 66 Foot Wide and the now abandoned Penn Central Railroad Spur Line 66 Foot Wide) to the East right-of-way line of said abandoned Penn Central Railroad Spur Line; thence North and Northeasterly along said East line (Crossing Florence Street 60 Foot Wide, Sibley Street 60 Foot Wide and Fassnacht Street 60 Foot Wide) to a point of intersection with the South right-of-way line of Longley Avenue; thence East along said South line to a point of intersection with the West right-of-way line of College Street; thence South along said West line (Crossing Fassnacht Street 60 Foot Wide, Sibley Street 60 Foot Wide and Florence Street 60 Foot Wide) to the Southeast corner of Lot # 54 in said "Linden Place Addition" Subdivision; thence East (Crossing College Street 66 Foot Wide) to the Southwest corner of Lot # 55 in said Plat, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence East along said North line (Crossing Wilbur Street) to a point on the East right-of-way line of said Wilbur Street; thence South along said East line to the Southwest corner of Lot # 2 of the Plat of "Swygart's Addition" Subdivision, as recorded in the Records of said County; thence East along said South line to the Southeast corner of said Lot, said corner also being on the West right-of-way line of Birdsell Street; thence North along said West line to the Northeast corner of Lot # 3 in said Plat; thence East (Crossing Birdsell Street 66 Foot Wide) to the Southwest corner of Lot # 27 in said Plat, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence East along said North line (Crossing Studebaker Street 60 Foot Wide) to the Southeast corner of Lot # 52 in said Plat, said corner also being on the West right-of-way line of Walnut Street; thence South along said West line (Crossing Linden Street 60 Foot Wide) to the Northeast corner of Lot # 68 in the Plat of "Arnold & Pagin's Subdivision" as recorded in the Records of said County; thence West along the North line of said Lot 50 feet; thence South 40 feet to the South line of said Lot; thence West along said South line 68 feet to the Southwest corner of said Lot and the East right-of-way line of Pagin Street; thence North along said East line 40 feet to the Northwest corner of said Lot; thence West (Crossing Pagin Street 50 Foot Wide) to the Northeast corner of Lot # 63 in said Plat; thence West along the North line of said Lot and its' Westerly extension (Crossing a 13 Foot Wide North-South Public Alley to the Northeast corner of Lot # 42 in said Plat; said corner also being on the West right-of-way line of said Public Alley; thence North along said West line 15 Feet to the Northeast corner of a Parcel of Ground having Tax Key Identification Number 018-1046-1966 as shown in the Records of the St. Joseph County, Indiana Auditor's Office; thence along the North line of said Parcel to the Northwest corner of said Parcel, said corner being on the East right-of-way line of Studebaker Street; thence West (Crossing Studebaker Street 50 Foot Wide) to the Northeast corner of Lot # 37 in said Plat; thence West along the North line of said Lot and its' Westerly extension (Crossing a 14 Foot Wide North-South Public Alley to the Southeast corner of Lot # 15 in said Plat, said corner also being on the West right-of-way line of said Public Alley; thence North along said West line to the Northeast corner of said Lot; thence West along the North line of said Lot # 15 to the Northwest corner of said Lot, said corner also being on the East right-of-way line of Birdsell Street; thence North along said East line and its' Northerly extension (Crossing Linden Street 60 Feet Wide) to a point of intersection with the North right-of-way line of said Linden Street and the East right-of-way line of Birdsell Street; thence West (Crossing Birdsell Street 66 Foot Wide, Wilbur Street 38.86 Foot Wide and College Street 66 Foot Wide); thence South along the Southerly extension of the West line of said College Street (Crossing Linden Street 60 Foot Wide) to a point of intersection with the Southerly right-of-way line of the now abandoned Penn Central Railroad Spur Line; thence Northwesterly along said Southerly line to a point of intersection with the East right-of-way line of Jackson Street; thence Southwesterly (Crossing Jackson Street 33 Foot Wide) to the Southwest corner of a Parcel of Ground having Tax Key Identification Number 018-2007-0062.02 as shown in the Records of said County Auditor's Office; thence along the South line of said Parcel to the Southwest corner of said Parcel, said corner also being on the East right-of-way line of a 10 Foot Wide North-South Public Alley; thence North along said East line to a point directly East of the Southwest corner of a Parcel of Ground having Tax Key Identification Number 018-2007-0062 as shown in the Records of said County Auditor's Office; thence West (Crossing said Public Alley to said Southeast Parcel corner; thence West along the South line of said Parcel and its' Westerly extension (Crossing Brookfield Street 66 Foot Wide) to the West right-of-way line of said Brookfield Street; thence South along said West line to the Southeast corner of Lot # 5 in the Plat of "College Grove" Subdivision as shown in the Records of said County; thence West along the South Line of said Lot and its' Westerly extension (Crossing Johnson Street 66 Foot Wide) to the Southeast corner of Lot # 6 in

said Plat; thence West along the South line of said Lot and its' Westerly extension (Crossing Grant Street 33 Foot Wide); thence South along said West line to the Southeast corner of Lot # 9 in the Plat of "College Grove Addition" Subdivision as recorded in the Records of said County, said corner also being on the North right-of-way line of a 12 Foot Wide East-West Public Alley; thence West along said North line and its' Westerly extension (Crossing a 12 Foot Wide North-South Public Alley) to the West right-of-way line of said Public Alley; thence North along said West line to the Northeast corner of Lot # 63 in the Plat of "Arnold's 2nd Addition" Subdivision as shown in the Records of said County; thence West along said North line 52 feet; thence North 8 feet along the East line of a Parcel of Ground having a Tax Key Identification Number 018-2023-0683.01 as shown in the records of said Auditor's Office to the Northeast corner of said parcel; thence West along the North line of said Parcel to the Northwest corner of said Parcel, said corner also being on the East right-of-way line of Sadie Street; thence North along said East line and its' Northerly extension (Crossing Linden Street 60 Foot Wide) to a point on the North right-of-way line of said Linden Street; thence West along said North line to the point of Beginning.
Containing 20.96 Acres More or less.

Housing Parcel 6:

Beginning at the Southwest corner of Lot # 52 in the Plat of "West End Subdivision" as recorded in the Records of the St. Joseph County, Indiana Recorder's Office, said corner also being the intersection of the North right-of-way line of Orange Street with the East right-of-way line of Meade Street; thence North along said East line to a point of intersection with the South right-of-way line of Lawton Street; thence East along said South line (Crossing Freemont Street 60 Foot Wide) to the Northeast corner of Lot # 38 in the Plat of said "West End Subdivision"; thence South along the East line of said Lot to the Southeast corner of said Lot, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence West along said North line and its' Westerly extension (Crossing Freemont Street 60 Foot Wide) to a point of intersection with the West right-of-way line of said Freemont Street; thence South along said West line to a point of intersection with the North right-of-way line of Orange Street; thence West along said North line to the point of Beginning.
Containing 2.62 Acres more or less.

EXHIBIT C

Amended and Restated Development Plan
River West Development Area

(See Attached.)



RIVER WEST DEVELOPMENT AREA PLAN



CITY OF SOUTH BEND
AMENDED AND RESTATED 2025

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Purpose

The purpose of the River West Development Area Plan is as follows:

- To provide a broad vision and strategy for the economic and physical revitalization of the River West Development Area, and
- To establish a framework for ongoing collaborative planning efforts involving residents and other property owners, business owners, civic associations, institutional partners, and local government.
- To promote high quality, impactful projects consistent with best practice planning principles.

History of River West Development Area

The South Bend Redevelopment Commission designated the Central Downtown Urban Renewal Area in 1968 [Declaratory Resolution No.215 and Confirming Resolution No.233]. The Central Downtown Urban Renewal Area was merged with the Northeast Development Area and the Monroe Sample Development Area in 1985 to create the South Bend Central Development Area. [Declaratory Resolution No.737 and Confirming Resolution No.739] The South Bend Central Development Area West of the River was merged with the Airport Economic Development Area in 2014 to form the River West Development Area. [Declaratory Resolution No.3229 and Confirming Resolution No.3256]. The River West Development Area was further expanded to add certain territory in 2019 [Declaratory Resolution No. 3478 and Confirming Resolution No. 3485] and again in 2024 [Declaratory Resolution No. 3611 and Confirming Resolution No. 3622]. In XXXX of 2025, the River West Development Area was amended to create a new allocation area, the Riverwalk Allocation Area [Declaratory Resolution No. 3627, Confirmatory Resolution No. 3629].

Location of River West Development Area

The River West Development Area includes downtown South Bend, the Southwest, Far Westside and Airport Area. The development area boundary is more specifically represented by the boundary map in Appendix A and in the legal description found in Appendix B.

Development Area Activities

The goals and objectives for the River West Development Area will be accomplished through a combination of public and private actions. Public actions may be any redevelopment activities permitted by state law, including, but not limited to, the following:

1. Provision for public works improvements to infrastructure, such as streets and roads, sidewalks, curbs, water mains, storm drains, sewers and other utilities, lighting, traffic controls, and landscaping of public spaces and rights-of-way;
2. Vacation and dedication of public rights-of-way;

3. Provision for other public facilities and improvements such as: fire stations, public safety, public educational facilities, and parks;
4. Property acquisition and the assemblage of properties for the siting of new development;
5. Relocation of individuals, households, or businesses;
6. Disposition of assembled sites, rehabilitated structures, and other properties;
7. Rehabilitation or demolition of built structures;
8. Environmental study and remediation of properties;
9. Pre-development activities, such as engineering, architectural work, planning, professional services; traffic analysis, market area analysis, marketing, program development, title, survey, appraisal, and legal work; or
10. Any other activity pertaining to planning and implementing the River West Development Plan.

Activities, as well as goals and objectives, may be further detailed in adopted neighborhood and master plans for areas within the River West Development Area. These plan documents are listed in Appendix D.

The following are the goals and objectives for the River West Development Area:

Goals / Objectives/List of Potential Projects

1. *Land Use and Growth*: Encourage sustainable growth that preserves and enhances the character of the City of South Bend (the “City”) and ensures compatibility of land uses in the community.
 - a. Support the use and redevelopment of land in accordance with established plans.
 - b. Prioritize development in established areas over development at the edge of the city.
 - c. Promote high quality neighborhoods, especially those that offer neighborhood-scale commercial services, employment opportunities, and community spaces.
 - d. Foster urban density, including among residential uses.
 - e. Support mixed-use development, especially when concentrated downtown or in neighborhood centers.
 - f. Facilitate the creation of development sites.
 - g. Promote projects that best maximize the assessed value of the property.
2. *Transportation*: Provide a transportation system that is integrated locally and regionally and employs Complete Streets principles.
 - a. Design a transportation network for all users that supports access, mobility, and health by providing streets that are safe, convenient, accessible, and attractive.
 - b. Provide a transportation system that improves mobility, especially by connecting residents to centers of commerce, employment, and recreation.
 - c. Partner with businesses, private developers, institutions, and other governmental agencies to develop transportation facilities that provide better access within and beyond the City’s borders connecting to other regional metropolitan areas.

3. *Public Infrastructure and Facilities:* Provide efficient and progressive public infrastructure and facilities that accommodate future growth and meet the community's changing needs.
 - a. Construct and plan for the long-term maintenance of street, streetscape, parking, utility, and other basic infrastructure improvements that stimulate private development, especially in already established areas of the City.
 - b. Support the development of conventional and emerging technology-based infrastructure, particularly in ways that maximize aesthetics and mitigate negative impacts.
 - c. Provide well maintained parks, trails, and other recreational and cultural facilities that are easily accessible to the community.
 - d. Provide municipal buildings and facilities necessary to serve the community.
4. *Housing:* Achieve a thriving housing market within the City that offers appealing neighborhoods with diverse housing choices.
 - a. Encourage housing options for all household types, abilities, age groups, and income levels.
 - b. Facilitate a full range of housing types, varying in size, arrangement, style, and amenity.
 - c. Support the renovation of existing housing stock to meet the community's housing needs.
 - d. Promote the development of workforce housing.
5. *Economic Development:* Promote a healthy and diversified and inclusive economy that fosters a competitive business environment and offers opportunities for employment and entrepreneurship.
 - a. Stimulate the creation, retention, and expansion of business, particularly in expanding and export industries.
 - b. Market the City to businesses and developers through a deliberate strategy.
 - c. Encourage economic opportunities in geographies across the City.
 - d. Encourage the use of arts and culture as an economic generator.
 - e. Protect and increase the personal and real property tax base of the area.
 - f. Further evolution as a center of warehousing and distribution
 - g. Seek connections to technology
6. *Sustainability and Environmental Management:* Promote sustainable environmental management that enhances the quality of air, water, and land resources, and preserves the St. Joseph River as an irreplaceable resource.
 - a. Utilize principles of sustainable design, development, and practice.
 - b. Facilitate the productive reuse of brownfield properties.
 - c. Expand the role of the St. Joseph River and other waterways as centers for recreation and natural habitat.
 - d. Encourage the preservation and expansion of the urban tree canopy.

- e. Support the development of projects that promote the health of city residents.
7. *Placemaking and the Built Environment*: Promote an attractive public realm that preserves and enhances the City's history and built environment.
 - a. Support walkable urban development.
 - b. Encourage urban design that creates or enhances a sense of place, provides vibrancy, incorporates arts and culture, and fosters safety.
 - c. Integrate parks and trails into the city using urban design principles.
 - d. Prioritize projects that preserve and rehabilitate existing buildings over ones of new construction.
 - e. Support development that is context sensitive and conserves the historical, architectural, and social fabric of the City.
 8. *Education & Training*: Provide educational and training opportunities that support people of all ages to participate successfully in the economy.
 - a. Ensure a strong match between job skills among the population and present and future needs of employers.
 - b. Partner with organizations and institutions to enhance educational opportunities for youth from early childhood, pre-K to Grade 12, post-secondary and higher education.
 - c. Partner with organizations that offer internships, co-ops, apprenticeships, continuing education, lifelong learning, and other job training programs.
 9. All other projects and purposes permitted by law.

Tax Increment Financing ("TIF") District

The South Bend Redevelopment Commission may implement the use of TIF within a redevelopment area or economic development area pursuant to state law (I.C. 36-7-14).

TIF allocation areas target areas needing redevelopment and economic development areas in order to transform them into viable areas making the community more appealing and attractive for economic development, which creates a better quality of life for the districts' residents. TIF allocation areas are powerful and effective tools that may provide financing for infrastructure improvements within redevelopment projects which may, in turn, entice market dollars back into economic development areas and areas needing redevelopment, including abandoned and dilapidated areas. The lifespan of a TIF allocation area varies based upon the time of its creation.

TIF creates revenues for improvements without raising taxes, offers incentives for businesses and developers, and builds communities. TIF works by capturing additional property tax revenue due to the revitalization of a designated area. The base assessed value of the year in which the TIF allocation area is established is used as the base year, and tax revenues generated due to the increase in assessed value over the base year assessment of properties within the TIF allocation

area are set aside to use for improvements that are located in that TIF allocation area. Thus, no new taxes or increases in tax rates occur, rather TIF funds are generated when property values improve due to the overall improvement of the TIF allocation area.

Statutory Findings

The River West Development Area Plan meets the following required findings by the Redevelopment Commission pursuant to state law (36-7-14-15(a)):

1. The River West Development Area is an area in the territory under its jurisdiction and is an area needing redevelopment;
2. The conditions described in state law (I.C. 36-7-1-3) cannot be corrected in the River West Development Area by regulatory processes or the ordinary operations of private enterprise without resorting to state law (I.C. 36-7-14);
3. The public health and welfare will be benefitted by the amendment of the resolution or plan, or both, for the River West Development Area; and
4. The amendment is reasonable and appropriate when considered in relation to the original resolution or plan for the River West Development Area and the purposes of state law (I.C. 36-7-14); and
5. The resolution or plan, with the proposed amendment, conforms to the comprehensive plan for the City.

Acquisition of Real Property in the River West Development Area

In connection with the accomplishment of this River West Development Plan, the South Bend Redevelopment Commission shall include all parcels with the boundaries set forth above on the acquisition list attached as Appendix C and shall follow the procedures set forth in state law (I.C. 36-7-14-19 or I. C. 36-7-14-19.5).

Estimated Costs of Acquisition and Economic Development to the River West Development Area

Because the Commission does not intend to acquire any property for the potential projects, the Commission will not incur any costs of acquisition. However, the Commission will incur certain costs in connection with the development of the potential projects. The estimated cost of the potential projects is not to exceed an amount that can be raised based on the amount of the tax increment revenues generated in the Allocation Area.

Procedure for Amendment of the River West Development Area Plan

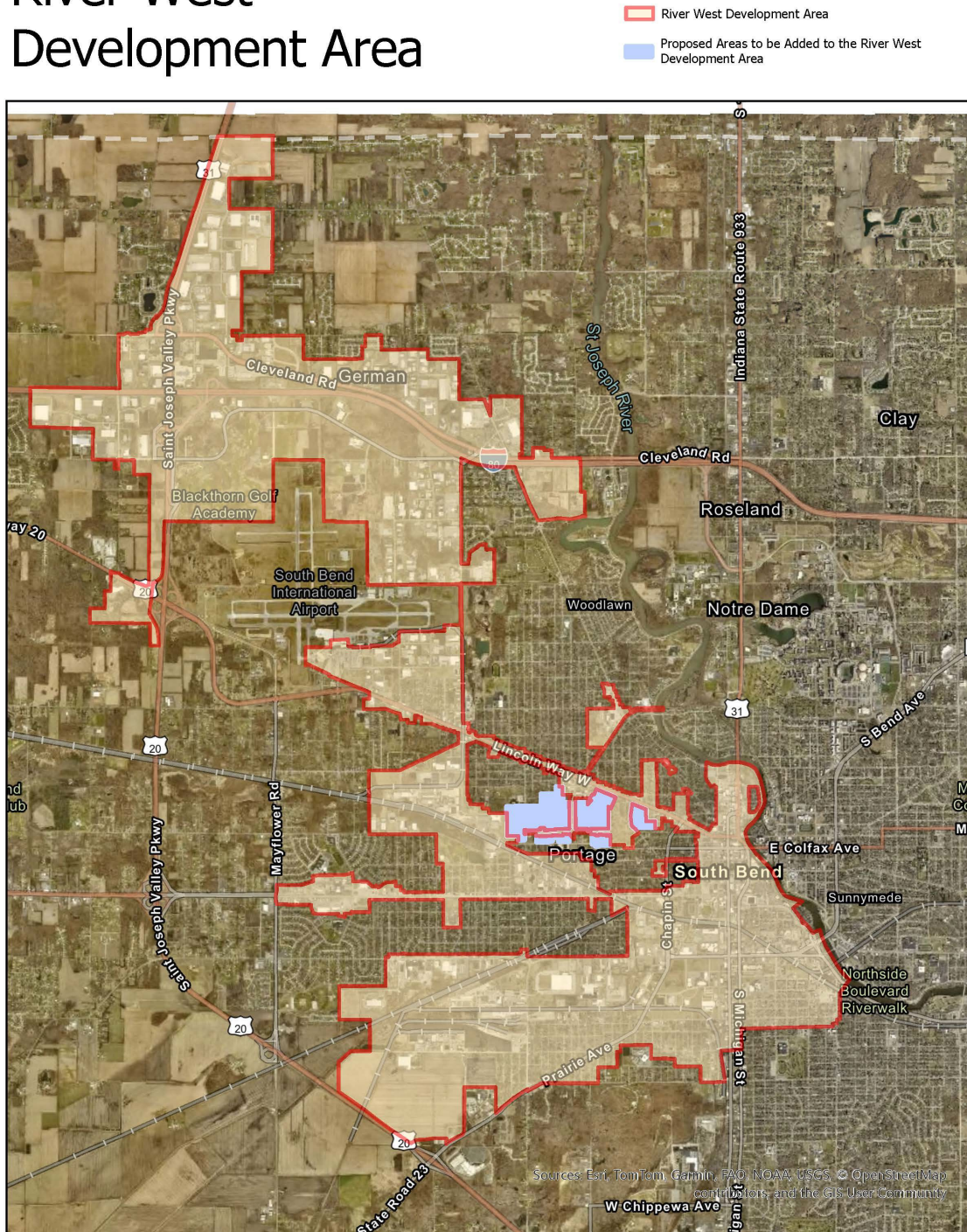
The River West Development Area Plan may be amended by resolution of the South Bend Redevelopment Commission in accordance with state law (I.C. 36-7-14-17.5).), which currently has requirements for Council and public input and comment Any change affecting any property or contractual right may be made only in accordance with applicable state and local laws.

APPENDIX

Appendix A – MAP OF DEVELOPMENT AREA BOUNDARY

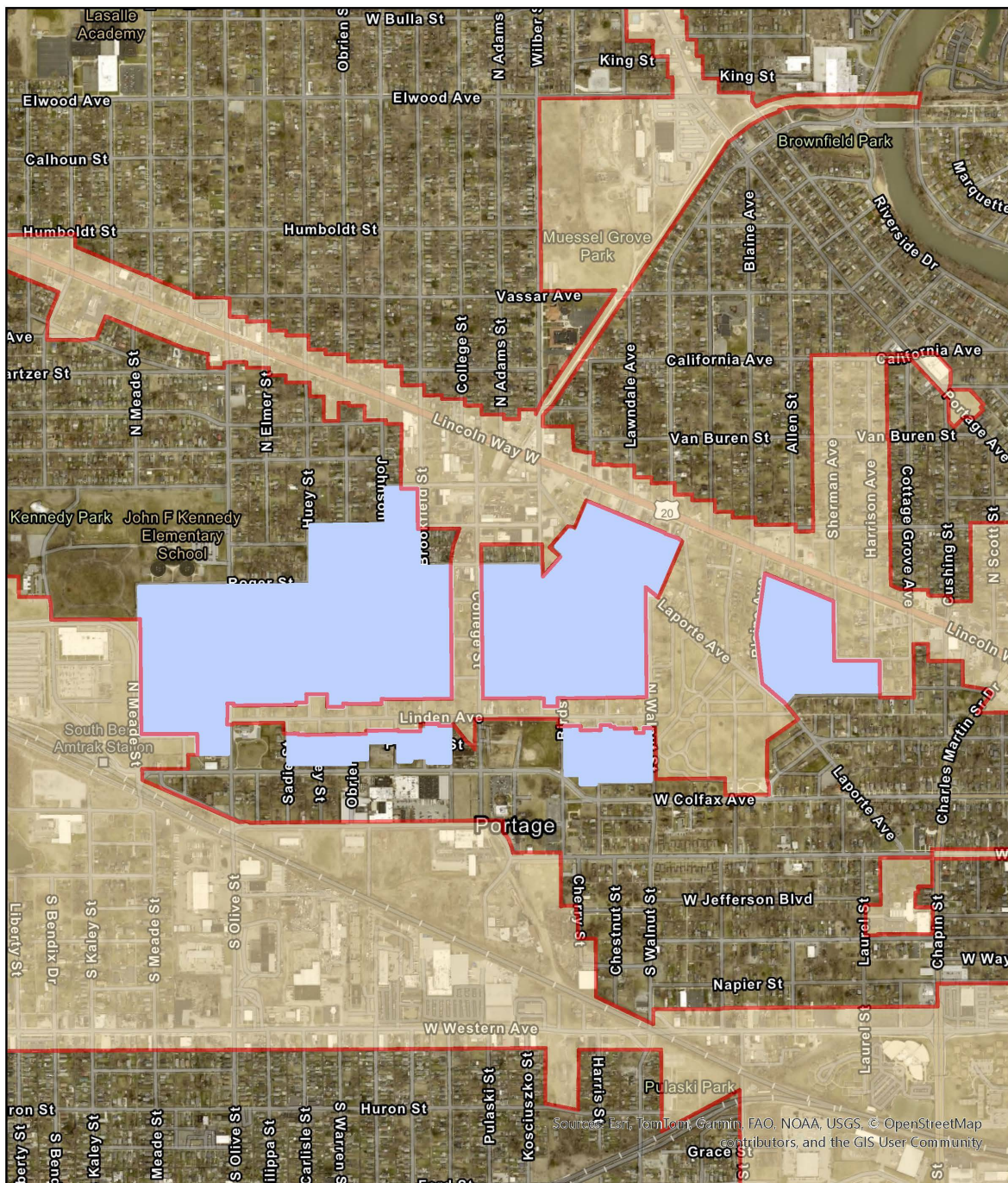
Provides boundary, streets, public improvements per IC 36-7-14-15(b)(1)

River West Development Area



River West Development Area

- River West Development Area
- Proposed Areas to be Added to the River West Development Area



Appendix B – LEGAL DESCRIPTION

LEGAL DESCRIPTION OF THE AIRPORT ECONOMIC DEVELOPMENT AREA AFTER ADDITION AND CONTRACTIONS

REVISED AIRPORT TIF DISTRICT 06-30-25

A PART OF SECTION 24 IN TOWNSHIP 38 NORTH, RANGE 1 EAST, AND SECTIONS 7,8,17, 18, 19, 20, 21, 22, 27, 28, 29, 30, 31, 32, 33, AND 34 IN TOWNSHIP 38 NORTH, RANGE 2 EAST, AND SECTIONS 1,2,3, 4, 9, 10, 11, 12, 13, 14, 15, 16, 21, 22, 23 AND 24 IN TOWNSHIP 37 NORTH, RANGE 2 EAST, AND SECTION 18, TOWNSHIP 37 NORTH, RANGE 3 EAST, IN GERMAN AND PORTAGE TOWNSHIPS, ST. JOSEPH COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT OF THE INTERSECTION OF THE NORTHERN RIGHT-OF-WAY LINE OF LINCOLN WAY WEST AND THE EASTERLY RIGHT-OF-WAY LINE OF BENDIX DRIVE, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT 233 IN LINCOLN TERRACE ADDITION RECORDED IN PLAT BOOK 13, PAGES 82-83 IN THE OFFICE OF RECORDER OF ST. JOSEPH COUNTY, INDIANA; THENCE SOUTHEASTERLY ALONG NORTH RIGHT-OF-WAY LINE OF LINCOLN WAY WEST, A DISTANCE OF 572.5 FEET TO THE SOUTHEAST CORNER OF LOT 215 IN SAID LINCOLN TERRACE ADDITION; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 125.5 FEET (ASSUMED) TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF ARMORE TRAIL PROJECTED EASTERLY 31.5 FEET (ASSUMED) FROM THE NORTHEAST CORNER OF LOT 1 OF LINCOLN MANOR 2ND ADDITION AS RECORDED IN PLAT BOOK 11, PAGE 143 IN THE OFFICE OF SAID RECORDER; THENCE SOUTH 69 DEGREES 30 MINUTES WEST PARALLEL WITH THE CENTERLINE OF SAID ARDMORE TRAIL (PREVIOUSLY CRUMSTOWN AVENUE), A DISTANCE OF 381.5 (ASSUMED) TO THE NORTHWEST CORNER OF LOT 8 IN SAID LINCOLN MANOR 2ND ADDITION; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID NORTHWEST QUARTER AND THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, A DISTANCE OF 1958.36 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF WESTMORE STREET; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE OF WESTMORE STREET, A DISTANCE OF 9 FEET TO THE NORTHEAST CORNER OF LOT 9 IN LINCOLN MANOR 3RD ADDITION AS RECORDED IN PLAT BOOK 12, PAGES 86-87 IN THE OFFICE OF SAID RECORDER; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 332.7 FEET TO THE SOUTHWEST CORNER OF LOT 17 IN SAID LINCOLN MANOR 3RD ADDITION; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 42 FEET TO THE SOUTHWEST CORNER OF LOT 18 IN SAID LINCOLN MANOR 3RD ADDITION; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 214 FEET TO THE SOUTHWEST CORNER OF LOT 31 IN SAID LINCOLN MANOR 3RD ADDITION; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 84 FEET TO THE SOUTHWEST CORNER OF LOT 29 IN SAID LINCOLN MANOR 3RD ADDITION; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 168 FEET TO THE SOUTHWEST CORNER OF LOT 44 IN SAID LINCOLN MANOR 3RD ADDITION; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 279.29 FEET TO THE EAST RIGHT-OF-WAY LINE OF GOODLAND AVENUE; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE OF GOODLAND AVENUE, A DISTANCE OF 19.05 FEET TO A POINT 362.95 FEET NORTH OF THE NORTHERLY RIGHT-OF-WAY LINE OF BENDIX DRIVE; THENCE SOUTH 89 DEGREES 46 MINUTES 27 SECONDS EAST, A DISTANCE OF 239.50 FEET; THENCE SOUTH 0 DEGREES 29 MINUTES 11 SECONDS EAST, A DISTANCE OF 176.78 FEET; THENCE SOUTH 89 DEGREES 07 MINUTES 43 SECONDS EAST, A DISTANCE OF 227.04 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF ECLIPSE STREET; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 957.29 FEET AND A CENTRAL ANGLE OF 3 DEGREES 26 MINUTES 41 SECONDS AND LIMITED IN LENGTH BY A CHORD WHICH BEARS SOUTH 17 DEGREES 02 MINUTES 58 SECONDS EAST, A DISTANCE OF 57.54 FEET; THENCE CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE OF ECLIPSE STREET, A DISTANCE OF 127.60 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF BENDIX DRIVE; THENCE EAST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO THE EASTERLY RIGHT-OF-WAY LINE OF MEADE STREET; THENCE SOUTH 978 FEET TO THE SOUTHWEST CORNER OF LOT 68 AS SHOWN ON THE RECORDED PLAT OF WEST END SUBDIVISION, WITHIN AND PART OF THE CITY OF SOUTH BEND, RECORDED ON AUGUST 20, 1901 IN PLAT BOOK 8, PAGE 46; THENCE EAST ALONG THE NORTHERLY RIGHT-OF-WAY OF LAWTON STREET A DISTANCE OF 476 FEET TO THE SOUTHEAST CORNER OF LOT 40 IN SAID SUBDIVISION; THENCE SOUTH 194 FEET TO THE NORTHEAST CORNER OF LOT 30 IN SAID SUBDIVISION, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO THE EAST RIGHT-OF-WAY LINE OF FREEMONT STREET; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE TO A POINT

OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF ORANGE STREET; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF MEADE STREET; THENCE SOUTH ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF SAID MEADE STREET, A DISTANCE OF 103.3 FEET TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF VACATED MERRY AVENUE; THENCE SOUTHEASTERLY ALONG THE NORTHEAST LINE OF VACATED MERRY AVENUE RIGHT-OF-WAY, A DISTANCE OF 814 FEET (ASSUMED) TO THE NORTHWEST CORNER OF WASHINGTON STREET AND OLIVE STREET; THENCE SOUTHEASTERLY, A DISTANCE OF 58 FEET (ASSUMED) TO THE SOUTHWEST CORNER OF LOT 114 IN OAK GROVE 1ST ADDITION AS RECORDED IN PLAT BOOK 7, PAGE 4 IN THE OFFICE OF RECORDER OF SAID COUNTY; THENCE EAST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 10, ALONG THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET, A DISTANCE OF 313.9 FEET TO THE SOUTHWEST CORNER OF LOT 88 IN ARNOLD'S 2ND ADDITION AS RECORDED IN PLAT BOOK 6, PAGE 63 IN THE OFFICE OF SAID RECORDER; THENCE CONTINUING EAST PARALLEL TO SAID NORTH LINE OF SAID NORTHEAST QUARTER ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 297 FEET TO THE SOUTHWEST CORNER OF LOT 53 IN SAID OAK GROVE 1ST ADDITION; THENCE CONTINUING EAST ALONG SAID NORTH LINE AND SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 568.30 FEET TO THE SOUTHWEST CORNER OF LOT 48 IN COLLEGE GROVE AS RECORDED IN PLAT BOOK 2, PAGE 11 IN THE OFFICE OF SAID RECORDER; THENCE CONTINUING EAST ALONG SAID NORTH LINE AND SAID NORTH RIGHT-OF-WAY LINE AND THE NORTH RIGHT-OF-WAY LINE OF LISTON STREET, A DISTANCE OF 1151.85 FEET (ASSUMED) TO A POINT ON THE SOUTH LINE OF LOT 39, BEING 66 FEET NORTH OF A PROJECTED WEST LINE OF A PARCEL DESCRIBED IN A QUIT CLAIM DEED AS RECORDED UNDER INSTRUMENT NUMBER 9544366 IN THE OFFICE OF SAID RECORDER; THENCE SOUTH ALONG SAID PROJECTED WEST LINE, A DISTANCE OF 66 FEET TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHEASTERLY AND NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET TO THE SOUTHWEST CORNER OF LOT 4 IN THE PLAT OF ALFRED BROTHER'S LAND (UNRECORDED) AS DESCRIBED IN PARCEL III IN A QUIT CLAIM DEED RECORDED UNDER INSTRUMENT NUMBER 0261005 IN THE OFFICE OF SAID RECORDER; THENCE EASTERLY ALONG THE NORTH LINE OF WASHINGTON STREET AND THE SOUTH LINE OF SAID PARCEL III AND PARCEL II IN SAID INSTRUMENT NUMBER 0261005 IN THE OFFICE OF SAID RECORDER, A DISTANCE OF 200 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 10; THENCE CONTINUING EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 147 FEET TO THE PROJECTED NORTH-SOUTH CENTERLINE OF A 14 FOOT WIDE ALLEY, PERPENDICULAR BY MEASURE, LYING BETWEEN LOTS 4 AND 5 IN HARLIN'S SUBDIVISION OF BANK OUTLOT 82 AS RECORDED IN PLAT BOOK 8, PAGE 161 IN THE OFFICE OF SAID RECORDER; THENCE SOUTH PARALLEL WITH SAID EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 10 ALONG SAID PROJECTED NORTH-SOUTH CENTERLINE, A DISTANCE OF 197.5 FEET TO A POINT LYING 7 FEET WEST OF THE SOUTHWEST CORNER OF SAID LOT 4; THENCE EAST PARALLEL WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID WASHINGTON STREET, A DISTANCE OF 7 FEET TO SAID SOUTHWEST CORNER OF SAID LOT 4; THENCE SOUTH PARALLEL WITH SAID EAST LINE, A DISTANCE OF 262 FEET TO THE SOUTHWEST CORNER OF LOT 15 IN SAID HARLIN'S SUBDIVISION OF BANK OUTLOT 82; THENCE EAST PARALLEL WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID WASHINGTON STREET, A DISTANCE OF 115 FEET TO THE SOUTHEAST CORNER OF SAID LOT 15; THENCE SOUTH PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 66 FEET ALONG THE EAST LINE OF PARCEL II DESCRIBED IN A QUIT CLAIM DEED RECORDED UNDER INSTRUMENT NUMBER 9208193 IN THE OFFICE OF SAID RECORDER; THENCE THE NEXT TWO (2) COURSES ALONG AN EAST AND NORTH LINE OF SAID PARCEL II: (1) EAST PARALLEL WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID WASHINGTON STREET ALONG THE SOUTH RIGHT-OF-WAY LINE OF JEFFERSON BOULEVARD, A DISTANCE OF 14.5 FEET; (2) THENCE SOUTH PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 212 FEET; THENCE EAST ALONG THE SOUTH LINE OF A 14 FOOT ALLEY, NORTH SOUTH BY MEASURE, PARALLEL WITH SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 152 FEET TO THE NORTHEAST CORNER OF LOT 29 IN KIRBY'S SUBDIVISION OF PART OF BANK OUTLOT 83; THENCE SOUTH PARALLEL WITH THE EAST LINE SAID NORTHEAST QUARTER, A DISTANCE OF 484 FEET (ASSUMED) TO THE NORTHEAST RIGHT-OF-WAY LINE OF THE PENN CENTRAL RAILROAD; THENCE SOUTHEASTERLY ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF PENN CENTRAL RAILROAD (FORMERLY THE LAKE SHORE & MICHIGAN SOUTHERN RAILROAD AND THE NEW YORK CENTRAL RAILROAD COMPANY), ALSO BEING ALONG THE SOUTHWEST BOUNDARY OF SAID KIRBY'S SUBDIVISION OF PART OF BANK OUTLOT 83, KNOBLOCK SUBDIVISION OF PART OF BANK OUTLOT 84 AS RECORDED IN PLAT BOOK 2, PAGE 63, COMMISSIONER'S SUBDIVISION OF PART OF BANK OUTLOT 85 AND 86 AS RECORDED IN PLAT BOOK 3, PAGE 40, ALL RECORDED IN THE OFFICE OF SAID RECORDER, THENCE ALONG SAID NORTHEAST RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF WALNUT STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT WHICH IS 48 FOOT WEST OF THE SOUTHWEST CORNER OF LOT # 68 IN THE PLAT OF "COMMISSIONER'S SUBDIVISION OF THE SOUTH PART OF BANK OUTLOT NOS. 85 AND 86" AS RECORDED IN THE RECORDS OF ST. JOSEPH COUNTY, INDIANA; THENCE EAST TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A

POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF CHAPIN STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH LINE OF NAPIER STREET; THENCE SOUTHEASTERLY TO THE SOUTHWEST CORNER OF LOT # 1 OF THE PLAT OF "CHAPIN & NAPIER MINOR SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF NAPIER STREET; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF THE FIRST 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY EAST OF CHAPIN STREET, EXTENDED NORTH; THENCE EAST ALONG SAID NORTH LINE TO THE WEST RIGHT-OF-WAY OF SCOTT STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF WAYNE STREET; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF TAYLOR STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE CENTERLINE OF THE FIRST VACATED 14 FOOT WIDE EAST-WEST PUBLIC ALLEY SOUTH OF WESTERN AVENUE; THENCE EAST ALONG THE SAID CENTERLINE TO A POINT ON THE SAID CENTERLINE THAT IS 93.00 FEET WEST OF THE EAST RIGHT-OF-WAY LINE OF WILLIAMS STREET; THENCE SOUTH PARALLEL WITH THE WEST RIGHT-OF-WAY LINE OF WILLIAMS STREET, 114.00 FEET; THENCE EAST 93.00 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WILLIAMS STREET, SAID POINT BEING 8.00 FEET SOUTH OF THE SOUTHWEST CORNER OF LOT 14, BLOCK 8, OF SAID VAIL'S SOUTHWEST ADDITION AND THE BEGINNING OF THE VACATED WILLIAMS STREET TO THE SOUTH; THENCE NORTH 8.00 FEET ALONG THE EAST LINE OF WILLIAMS STREET TO THE SAID SOUTHWEST CORNER OF LOT 14, BLOCK 8; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT 14, BLOCK 8, TO THE SOUTHWEST CORNER OF LOT 6, BLOCK 8; THENCE SOUTHEASTERLY TO A POINT ON THE EAST LINE OF LOT 31 OF SAID VAIL'S SOUTHWEST ADDITION, SAID POINT BEING 25.00 FEET NORTH OF THE SOUTHEAST CORNER OF SAID LOT 31; THENCE SOUTH ALONG THE EAST LINE OF LOT 31 TO THE NORTH RIGHT-OF-WAY LINE OF VACATED MONROE STREET; THENCE EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID VACATED MONROE STREET TO ITS INTERSECTION WITH THE SOUTHERLY PROJECTION OF THE CENTERLINE OF THE FIRST 14 FOOT ALLEY LYING WEST OF LAFAYETTE BOULEVARD; THENCE NORTH ALONG SAID PROJECTION AND THE CENTERLINE OF SAID 14 FOOT ALLEY TO THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF WILLIAMS STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF WAYNE STREET; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE FIRST 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY LOCATED WEST OF SAID WILLIAM STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE WEST ALONG SAID SOUTH LINE TO A POINT LOCATED ON THE WEST RIGHT-OF-WAY LINE OF CHAPIN STREET AND 5 FEET SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE SOUTH, A DISTANCE OF 235 FEET; THENCE WEST, A DISTANCE OF 122.84 FEET; THENCE SOUTH, A DISTANCE OF 55 FEET; THENCE WEST TO THE FIRST NORTH-SOUTH ALLEY WEST OF CHAPIN STREET; THENCE SOUTH TO A POINT 38.71 FEET NORTH OF THE NORTH RIGHT-OF-WAY LINE OF JEFFERSON BOULEVARD; THENCE EAST TO THE WEST RIGHT-OF-WAY LINE OF CHAPIN STREET; THENCE SOUTH TO THE NORTH RIGHT-OF-WAY LINE OF THOMAS STREET; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE OF THOMAS STREET TO THE EAST RIGHT-OF-WAY LINE OF LAUREL STREET; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE TO A POINT 74.25 FEET NORTH OF THE NORTH RIGHT-OF-WAY LINE OF JEFFERSON BOULEVARD; THENCE EAST TO THE WEST RIGHT-OF-WAY LINE OF THE FIRST NORTH-SOUTH ALLEY LYING EAST OF LAUREL STREET; THENCE NORTH ALONG SAID WEST RIGHT-OF-WAY LINE TO THE NORTH RIGHT-OF-WAY LINE OF THE FIRST EAST-WEST ALLEY LYING NORTH OF JEFFERSON BOULEVARD; THENCE WEST, A DISTANCE OF 4 FEET; THENCE NORTH, A DISTANCE OF 295 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE TO THE WEST RIGHT-OF-WAY LINE OF CHAPIN STREET; THENCE NORTH TO THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE EAST ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1023-0962 AS SHOWN IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE EXTENDED SOUTH; THENCE NORTH ALONG THE EAST LINE OF SAID PARCEL AND THE EAST LINE OF A PARCEL WITH TAX KEY NUMBER 18-1023-0968 AS SHOWN IN SAID AUDITOR'S OFFICE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF COLFAX AVENUE; THENCE CONTINUING NORTH AND CROSSING SAID COLFAX AVENUE (82.5 FT. WIDE) TO THE NORTH RIGHT-OF-WAY LINE OF SAID COLFAX AVENUE; THENCE WEST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1023-0974 AS SHOWN IN SAID AUDITOR'S OFFICE; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE FIRST 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY LOCATED WEST OF WILLIAM STREET EXTENDED SOUTH; THENCE NORTH ALONG SAID EXTENSION AND SAID WEST LINE, EXTENDED NORTH TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF LA SALLE AVENUE; THENCE EAST TO A POINT OF INTERSECTION WITH THE SOUTHEAST CORNER OF LOT # 3

IN THE PLAT OF CHAPIN'S SUBDIVISION OF BANK OUTLOTS 1 AND 2 AS SHOWN IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE; THENCE NORTH ALONG THE EAST LINE OF SAID LOT TO THE NORTHEAST CORNER OF SAID LOT; THENCE NORTHWESTERLY ALONG THE NORTH LINE OF SAID LOT # 3, AND A PORTION OF LOT # 2 IN SAID PLAT TO THE WEST LINE OF SAID PLAT; THENCE NORTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1019-0772 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST ALONG THE NORTH LINE OF SAID PARCEL AND A PARCEL WITH TAX KEY NUMBER 18-1019-0773 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE TO THE NORTHWEST CORNER OF SAID PARCEL WITH TAX KEY NUMBER 18-1019-0773; THENCE SOUTH ALONG THE WEST LINE OF SAID PARCEL TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE AND CROSSING CHAPIN STREET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF SAID CHAPIN STREET; THENCE NORTHEASTERLY ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE SOUTHERLY LINE OF OAK STREET; THENCE WEST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 8 IN THE PLAT OF "HEINTZMAN'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE CROSSING SAID OAK STREET (40 FT. WIDE) AND CONTINUING ALONG THE WEST LINE OF SAID PUBLIC ALLEY TO THE NORTHEAST CORNER OF LOT # 5 IN SAID PLAT, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 25 IN SAID PLAT, SAID CORNER ALSO BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE TO THE SOUTH LINE OF LOT # 1 IN THE PLAT OF "COLFAX CULTURAL MINOR SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF COTTAGE GROVE AVENUE; THENCE SOUTH ALONG SAID EAST LINE TO A POINT WHICH IS PERPENDICULAR TO AND 56 FEET EAST OF THE NORTHEAST CORNER OF LOT # 1 IN THE PLAT OF "FUEBRINGER'S 1ST ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST 56 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID LOT # 1, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF OAK STREET; THENCE WEST ALONG SAID SOUTH LINE TO A POINT WHICH IS PERPENDICULAR TO AND 60 FEET SOUTH OF THE SOUTHEAST CORNER OF LOT # 12 IN THE PLAT OF "FUERBRINGER'S 2ND ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTH 60 FEET MORE OR LESS TO SAID SOUTHEAST LOT CORNER, SAID SOUTHEAST CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF OAK STREET; THENCE WEST AND SOUTHWEST ALONG SAID NORTH LINE (CROSSING SHERMAN AVENUE 40 FT. WIDE AND ALLEN STREET 50 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF LA PORTE AVENUE; THENCE ALONG SAID NORTHERLY LINE IN A SOUTHEASTERLY DIRECTION TO A POINT WHICH IS PERPENDICULAR TO AND 40 FEET NORTHEAST OF THE NORTHEAST CORNER OF A PARCEL OFF GROUND WITH TAX KEY NUMBER 18-1043-1848 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE SOUTHWESTERLY 40 FEET MORE OR LESS TO SAID NORTHEAST PARCEL CORNER; THENCE CONTINUING SOUTHWESTERLY ALONG THE SAID SOUTH LINE OF SAID PARCEL AND A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1043-1849 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE TO A POINT OF INTERSECTION WITH THE EAST LINE OF THE CITY CEMETERY HAVING A PARCEL TAX KEY NUMBER OF 18-1031-999999 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF SAID CITY CEMETERY; THENCE SOUTHEAST TO THE NORTHWEST CORNER OF LOT # 49 IN THE PLAT OF "ROCKAFELLER'S 2ND ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT TO THE SOUTHWEST CORNER OF SAID LOT, SAID POINT ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF COLFAX AVENUE; THENCE WEST ALONG THE NORTH RIGHT-OF-WAY OF SAID COLFAX AVENUE TO A POINT OF INTERSECTION WITH THE EAST LINE OF LOT # 43 IN SAID PLAT; THENCE NORTH ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID LOT # 43, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF A 9.9 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF WALNUT STREET; THENCE IN A NORTHWESTERLY DIRECTION 52 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF LOT # 78 IN THE PLAT OF "ARNOLD & PAGIN'S SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF WALNUT STREET WITH THE NORTH RIGHT-OF-WAY LINE OF HINE STREET; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING PAGIN STREET 50 FOOT WIDE AND STUDEBAKER STREET 50 FOOT WIDE) TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID STUDEBAKER STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 27 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 16.5 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-O-F WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT # 28 IN SAID PLAT; THENCE WEST (CROSSING SAID 14 FOOT WIDE ALLEY) TO THE NORTHEAST CORNER OF LOT # 25 IN SAID PLAT; THENCE WEST ALONG THE NORTH

LINE OF SAID LOT TO THE NORTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF BIRDSSELL STREET; THENCE NORTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT # 14 IN SAID PLAT, SAID CORNER ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF LINDEN STREET; THENCE WEST ALONG SAID SOUTH LINE (CROSSING BIRDSSELL STREET 66 FT. WIDE AND CROSSING COLLEGE STREET 82.5 FT. WIDE TO THE INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF SAID COLLEGE STREET; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF THE NOW ABANDONED PENN CENTRAL RAILROAD SPUR LINE; THENCE NORTHWESTERLY ALONG SAID SOUTHERLY LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF JACKSON STREET; THENCE SOUTHWESTERLY (CROSSING JACKSON STREET 33 FOOT WIDE) TO THE SOUTHWEST CORNER OF A PARCEL OF GROUND HAVING TAX KEY IDENTIFICATION NUMBER 018-2007-0062.02 AS SHOWN IN THE RECORDS OF SAID COUNTY AUDITOR'S OFFICE; SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF JACKSON STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-006701 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL AND THE SOUTH LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-0067 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF BROOKFIELD STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT DIRECTLY EAST OF THE NORTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006105 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST (CROSSING BROOKFIELD STREET 66 FOOT WIDE) TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE ALONG THE NORTH LINE OF SAID PARCEL AND THE NORTH LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006104 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO THE NORTHWEST CORNER OF SAID PARCEL WITH TAX KEY NUMBER 18-2006-006104; THENCE SOUTH ALONG THE WEST LINE OF SAID PARCEL TO THE NORTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006103 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST ALONG THE NORTH OF SAID PARCEL AND THE NORTH LINE OF PARCELS OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006102 AND 18-2006-006101 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF JOHNSON STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF PARALLEL STREET; THENCE WEST (CROSSING JOHNSON STREET 66 FOOT WIDE) AND CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ITS' WESTERLY EXTENSION (CROSSING GRANT STREET 33 FOOT WIDE) TO THE WEST RIGHT-OF-WAY LINE OF SAID GRANT STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 3 OF THE PLAT OF SAID "OAK GROVE ADDITION"; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT AND ITS' WESTERLY EXTENSION (CROSSING O'BRIEN STREET 40 FOOT WIDE) TO THE WEST RIGHT-OF-WAY LINE OF SAID O'BRIEN STREET; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF ORANGE STREET; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF LOT # 56 IN THE PLAT OF "ARNOLD'S 2ND ADDITION" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF SADIE STREET; THENCE WEST (CROSSING SADIE STREET 45 FT. WIDE) TO A POINT ON THE WEST RIGHT-OF-WAY OF SAID SADIE STREET; THENCE NORTH ALONG SAID WEST RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF LINDEN STREET; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF OLIVE STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT WHICH IS PERPENDICULAR TO AND 51 FEET MORE OR LESS EAST OF THE SOUTHEAST CORNER OF LOT # 18 OF THE PLAT OF "WEST END SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST 51 FEET MORE OR LESS TO SAID SOUTHEAST LOT CORNER, SAID POINT ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF OLIVE STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 13 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 14 FT. WIDE EAST-WEST ALLEY; THENCE WEST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF FREEMONT STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 29 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF ORANGE STREET; THENCE WEST (CROSSING FREEMONT STREET 60 FT. WIDE) TO THE SOUTHWEST CORNER OF LOT # 52 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF MEADE STREET; THENCE NORTH ALONG SAID EAST LINE (CROSSING LAWTON STREET 42 FT. WIDE, LINDEN STREET 60 FT. WIDE AND KENWOOD AVENUE 60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF ROGERS STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION OF SAID SOUTH LINE WITH THE EAST RIGHT-OF-WAY LINE OF HUEY STREET; THENCE NORTH ALONG SAID EAST LINE OF HUEY STREET TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF WERWINSKI STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF JOHNSON STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF RUPEL STREET; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 1 OF THE PLAT OF "KAUFFMAN PLACE ADDITION" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID

COUNTY, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE CONTINUING EAST ALONG SAID SOUTH LINE AND (CROSSING BROOKFIELD STREET 66 FT. WIDE) TO THE NORTHWEST CORNER OF LOT # 37 IN SAID PLAT OF "KAUFFMAN PLACE ADDITION" SUBDIVISION, SAID LOT CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF SAID BROOKFIELD STREET; THENCE SOUTH ALONG SAID EAST LINE AND (CROSSING WERWINSKI STREET 60 FT. WIDE) TO THE NORTHWEST CORNER OF LOT # 87 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF WERWINSKI STREET; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 94 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF THE NOW ABANDONED PENN CENTRAL RAILROAD SPUR LINE; THENCE SOUTHWESTERLY ALONG SAID WESTERLY LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF LONGLEY AVENUE; THENCE EAST ALONG SAID NORTH LINE AND (CROSSING SAID NOW ABANDONED PENN CENTRAL RAILROAD SPUR LINE AND COLLEGE STREET 66 FT. WIDE) TO THE SOUTHWEST CORNER OF LOT # 123 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF SAID COLLEGE STREET; THENCE NORTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF SAID LOT # 123, SAID LOT CORNER ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF A 14 FT. WIDE ALLEY; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 110 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF WILBUR STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF SAID LOT # 110, SAID LOT CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF SAID LONGLEY AVENUE; THENCE WEST ALONG SAID NORTH LINE AND (CROSSING SAID COLLEGE STREET 66 FT. WIDE AND SAID NOW ABANDONED PENN CENTRAL RAILROAD SPUR LINE TO THE SOUTHWEST CORNER OF LOT # 133 IN SAID PLAT OF "KAUFFMAN PLACE ADDITION" SUBDIVISION, SAID LOT CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF SAID BROOKFIELD STREET; THENCE NORTH ALONG SAID EAST LINE AND (CROSSING SAID WERWINSKI STREET 60 FT. WIDE) TO THE NORTHWEST CORNER OF SAID LOT # 37 IN SAID PLAT, SAID CORNER ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF SAID RUPEL STREET; THENCE WEST AND (CROSSING BROOKFIELD STREET 66 FT. WIDE TO THE NORTHEAST CORNER OF LOT # 1 IN SAID PLAT; THENCE NORTH CROSSING SAID RUPEL STREET (60 FT. WIDE) AND CONTINUING ALONG THE WEST LINE OF SAID PUBLIC ALLEY TO A POINT OF INTERSECTION WITH THE CENTERLINE OF A VACATED 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID CENTERLINE AND CROSSING JOHNSON STREET (60 FT. WIDE) TO THE WEST RIGHT-OF-WAY LINE OF SAID JOHNSON STREET; THENCE NORTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 13 IN THE PLAT OF "MELROSE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF PRAST BOULEVARD; THENCE WEST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 26 IN SAID PLAT, SAID CORNER ALSO BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH CROSSING SAID PRAST BOULEVARD (50 FT. WIDE) AND CONTINUING ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 5 IN THE PLAT OF "MAYER'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 13 IN SAID PLAT, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF THE PLAT OF "PRAST'S AUGUST SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTH ALONG SAID EAST LINE AND CROSSING PRAST BOULEVARD (50 FT. WIDE) TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID PRAST BOULEVARD; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE FIRST 12 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY EAST OF HUEY STREET EXTENDED SOUTH; THENCE NORTH ALONG SAID SOUTH EXTENSION AND CONTINUING ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 4 IN SAID PLAT, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE AND CROSSING HUEY STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF SAID HUEY STREET; THENCE NORTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 4 IN THE PLAT OF "PRAST'S, JOHN SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT "A" IN THE PLAT OF "MILLER'S REPLAT" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE AND CROSSING ELMER STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF SAID ELMER STREET; THENCE NORTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 14 IN THE PLAT OF "MILLER'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 14

FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 4 IN SAID PLAT, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE TO THE NORTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF OLIVE STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF BONDS AVENUE EXTENDED EAST; THENCE WEST CROSSING SAID OLIVE STREET (50 FT. WIDE) AND CONTINUING ALONG THE SOUTH RIGHT-OF-WAY LINE OF BONDS AVENUE TO THE NORTHEAST CORNER OF LOT # 87 IN THE PLAT OF "LINCOLN MANOR ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH CROSSING BONDS AVENUE (60 FT. WIDE) AND CONTINUING ALONG THE WEST LINE OF SAID PUBLIC ALLEY TO THE NORTHEAST CORNER OF LOT # 28 IN THE PLAT OF "KALEY'S LINCOLN HIGHWAY ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 14 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY PUBLIC ALLEY; THENCE NORTHWESTERLY ALONG SAID SOUTH LINE TO THE NORTHWEST CORNER OF LOT # 13 IN SAID PLAT, SAID CORNER ALSO BEING ON THE EASTERLY LINE OF A 14 FOOT WIDE NORTHEASTERLY-SOUTHWESTERLY PUBLIC ALLEY; THENCE SOUTHWESTERLY ALONG SAID EASTERLY LINE AND CROSSING BONDS AVENUE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID BONDS AVENUE; THENCE NORTHWEST AND WEST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 303 IN THE PLAT OF "LINCOLN MANOR ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTHEAST TO THE SOUTHEAST CORNER OF LOT # 304 IN SAID PLAT, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF ECLIPSE PLACE; THENCE NORTHEAST ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 308 IN SAID PLAT, SAID CORNER ON THE SOUTH LINE OF A 14 FOOT WIDE NORTHWEST-SOUTHEAST PUBLIC ALLEY; THENCE NORTHWEST ALONG SAID SOUTH LINE TO THE NORTHWEST CORNER OF LOT # 339 IN SAID PLAT; THENCE WEST CROSSING GOODLAND AVENUE (60 FT. WIDE) TO THE NORTHEAST CORNER OF LOT "E" IN THE PLAT OF DRULINER'S SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 14 FOOT WIDE SOUTHWESTERLY-NORTHEASTERLY PUBLIC ALLEY; THENCE SOUTHWEST ALONG SAID SOUTH LINE TO THE WEST LINE OF THE PLAT OF "LINCOLN MANOR 2ND ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF ARDMORE TRAIL; THENCE NORTHEASTERLY ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 1 IN SAID PLAT; THENCE NORTH CROSSING ARDMORE TRAIL (60 FT. WIDE) AND LINCOLNWAY WEST (100 FT. WIDE) TO THE SOUTHEAST CORNER OF LOT # 215 IN THE PLAT OF "LINCOLN TERRACE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF SAID LINCONWAY WEST; THENCE NORTHWESTERLY ALONG SAID NORTH LINE TO THE POINT OF THE INTERSECTION OF THE NORTHERN RIGHT-OF-WAY LINE OF LINCOLN WAY WEST AND THE EASTERLY RIGHT-OF-WAY LINE OF BENDIX DRIVE, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT 233 IN LINCOLN TERRACE ADDITION RECORDED IN PLAT BOOK 13, PAGES 82-83 IN THE OFFICE OF RECORDER OF ST. JOSEPH COUNTY, INDIANA; THENCE NORTH ALONG SAID EAST LINE A DISTANCE OF 278.16 FEET (ASSUMED) TO THE NORTH LINE OF SAID PLAT; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF TERRACE AVENUE; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 220 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY ALLEY; THENCE SOUTHEASTERLY ALONG SAID NORTH LINE CROSSING GOODLAND AVENUE (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID GOODLAND AVENUE; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF HUMBOLDT STREET; THENCE EAST ALONG SAID NORTH LINE CROSSING ECLIPSE PLACE (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID ECLIPSE PLACE; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 17 IN THE PLAT OF "LINCOLN TERRACE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY ALLEY; THENCE SOUTHEASTERLY ALONG SAID NORTH LINE CROSSING FREEMONT STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID FREEMONT STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE NORTH LINE OF THE PLAT OF "OLIVER HEIGHTS FIRST REPLAT" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE ALONG THE NORTH LINE OF SAID PLAT FOR THE NEXT THREE COURSES (BEARINGS ASSUMED), EAST 119.65 FEET AND SOUTH 2 FEET AND EAST 129.63 FEET TO THE WEST RIGHT-OF-WAY LINE OF OLIVE STREET; THENCE EAST CROSSING SAID OLIVE STREET (50 FT. WIDE) TO THE EAST RIGHT-OF-WAY LINE OF SAID OLIVE STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 25 IN THE PLAT OF "MAYR'S MICHIGAN AVENUE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST TO THE SOUTHWEST CORNER OF LOT # 23 IN SAID PLAT,

SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING ELMER STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID ELMER STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 38 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST TO THE SOUTHWEST CORNER OF LOT # 39 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING HUEY STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID HUEY STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 57 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST TO THE SOUTHWEST CORNER OF LOT # 58 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING O'BRIEN STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID O'BRIEN STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 83 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING JOHNSON STREET (50 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID JOHNSON STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF CALIFORNIA AVENUE; THENCE EAST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF LOT # 48 IN THE PLAT OF "ROCKHILL'S 1ST ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTH CROSSING SAID CALIFORNIA AVENUE (60 FT. WIDE) TO THE NORTHWEST CORNER OF LOT # 65 IN PLAT OF "AUGUSTINE'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 67 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING BROOKFIELD STREET (66 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID BROOKFIELD STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE CENTERLINE OF A VACATED 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT # 53 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING COLLEGE STREET (60 FT. WIDE) TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID COLLEGE STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 41 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST TO THE SOUTHWEST CORNER OF LOT # 34 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING ADAMS STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID ADAMS STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 16 IN SAID PLAT, THENCE EAST ALONG THE SOUTH LINE OF SAID LOT TO THE SOUTHEAST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE TO A POINT WHICH IS WEST 14 FEET FROM THE SOUTHWEST CORNER OF LOT # 8 IN SAID PLAT; THENCE EAST 14 FEET TO SAID SOUTHWEST LOT CORNER; THENCE CONTINUING EAST ALONG THE SOUTH LINE OF SAID LOT # 8 TO THE SOUTHEAST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF WILBUR STREET; THENCE EAST INTO SAID RIGHT-OF-WAY TO A POINT OF INTERSECTION WITH THE NORTHEASTERLY RIGHT-OF-WAY LINE OF AN OLD ABANDONED PENN CENTRAL RAILROAD RIGHT-OF-WAY SPUR; THENCE IN A NORTHEASTERLY DIRECTION ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE, 1,220 FEET (ASSUMED) TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF VASSAR STREET; THENCE WEST ALONG SAID NORTH LINE, 630 FEET MORE OR LESS TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF WILBUR STREET; THENCE NORTH ALONG SAID EAST LINE, 1,680 FEET MORE OR LESS TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF ELWOOD AVENUE; THENCE EAST ALONG SAID NORTH LINE 1,130.27 FEET TO THE WEST LINE OF LOT "C" OF THE PLAT OF "VICTORY ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF LOT "B" IN SAID PLAT; THENCE WEST ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTH ALONG THE WEST LINE OF SAID LOT AND LOT # 20 IN SAID PLAT AND ITS' NORTHERLY EXTENSION TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF KING STREET; THENCE WEST ALONG SAID

NORTH LINE TO THE CENTERLINE OF THE FIRST NORTH-SOUTH VACATED ALLEY WEST OF LOT "A" OF SAID PLAT; THENCE NORTH ALONG SAID CENTERLINE AND ITS' NORTHERLY EXTENSION TO THE NORTH RIGHT-OF-WAY LINE OF A 14 FOOT WIDE EAST-EAST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE, 228 FEET MORE OR LESS TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF ANDERSON AVENUE; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF BULLA STREET; THENCE NORTHWESTERLY 50 FEET MORE OR LESS TO THE POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF SAID BULLA STREET WITH THE EAST RIGHT-OF-WAY LINE OF SAID ANDERSON AVENUE; THENCE NORTHWESTERLY ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF KINYON STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF PORTAGE AVENUE; THENCE SOUTHEASTERLY ALONG SAID WEST LINE 41.03 FEET MORE OR LESS; THENCE SOUTHEASTERLY 60 FEET MORE OR LESS TO THE NORTHWEST CORNER OF LOT # 119 IN THE PLAT OF "NORTHWEST ADDITION 2ND PLAT" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE EAST ALONG THE NORTH LINE OF SAID LOT, 169.6 FEET MORE OR LESS TO THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE AND ITS' SOUTHERLY EXTENTION TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF QUEEN STREET; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-2165-6026 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE SOUTH ALONG SAID WEST LINE, 48 FEET MORE OR LESS TO THE NORTH LINE OF LOT # 115 IN SAID PLAT; THENCE EAST ALONG SAID NORTH LINE, 56.9 FEET MORE OR LESS TO THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE, 94 FEET MORE OR LESS TO THE NORTH LINE OF LOT # 28 IN SAID PLAT; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE AND ITS' SOUTHERLY EXTENSION TO THE NORTH RIGHT-OF-WAY LINE OF MC CARTNEY STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE, 142 FEET MORE OR LESS TO THE NORTH LINE OF LOT # 22 IN SAID PLAT; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE AND ITS' SOUTHERLY EXTENSION, 188 FEET MORE OR LESS TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF KING STREET; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 4 IN SAID PLAT; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT # 4, TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF ELWOOD AVENUE; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF KESSLER BOULEVARD; THENCE SOUTHEASTERLY 61 FEET MORE OR LESS TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID KESSLER BOULEVARD WITH THE NORTH RIGHT-OF-WAY LINE OF SAID ELWOOD AVENUE; THENCE SOUTH 12 FEET MORE OR LESS TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1094-3946 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE SOUTHEASTERLY ALONG SAID WEST TO A POINT OF INTERSECTION WITH THE NORTHEASTERLY RIGHT-OF-WAY LINE OF AN OLD ABANDONED PENN CENTRAL RAILROAD RIGHT-OF-WAY SPUR; THENCE IN A NORTHEASTERLY AND EASTERLY DIRECTION ALONG SAID NORTH LINE, 1,296 FEET MORE OR LESS (ASSUMED) TO A POINT OF INTERSECTION WITH THE EAST BANK OF THE ST. JOSEPH RIVER; THENCE SOUTH ALONG SAID EAST BANK 100 FEET MORE OR LESS (ASSUMED) TO THE SOUTH RIGHT-OF-WAY LINE OF SAID RAILROAD, THENCE ALONG SAID SOUTH LINE IN A NORTHWESTERLY, WESTERLY AND SOUTHWESTERLY DIRECTION, 4,310 FEET (ASSUMED) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID WILBUR STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 12 IN THE PLAT OF "TAYLOR'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF LOT # 3 IN SAID PLAT; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT # 3 AND LOTS # 2 AND # 1 IN SAID PLAT TO THE SOUTHWEST CORNER OF SAID LOT # 1; THENCE SOUTHEASTERLY ALONG THE SOUTH LINE OF SAID LOT # 1 TO A POINT OF INTERSECTION WITH THE EAST LINE OF LOT # 17 IN SAID PLAT; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF SAID LOT # 17; THENCE CONTINUING SOUTH 14 FEET (ASSUMED) TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH A TAX KEY NUMBER OF 18-1083-3483 AS SHOWN IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE SOUTHEAST ALONG THE NORTH LINE OF SAID LOT AND CROSSING SANCOME STREET (56 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID SANCOME STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT "B" IN THE PLAT OF "SAUCELO REPLAT" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE EAST ALONG THE NORTH LINE OF SAID LOT TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 38 IN THE PLAT OF "CUSHING'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; SAID CORNER ALSO BEING ON

THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING LAWNDALE STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID LAWNDALE STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 33 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST TO THE SOUTHWEST CORNER OF LOT # 30 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING DIAMOND STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID DIAMOND STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 25 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST TO THE SOUTHWEST CORNER OF LOT # 22 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING CLEVELAND STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID CLEVELAND STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 17 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST TO THE SOUTHWEST CORNER OF LOT # 13 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND CROSSING BLAINE STREET (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID BLAINE STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF LINDSEY STREET; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF ALLEN STREET; THENCE CONTINUING ALONG SAID NORTH LINE TO THE SOUTHEAST CORNER OF LOT #1 IN THE PLAT OF "CUSHING'S 1ST ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF CALIFORNIA STREET; THENCE EAST ALONG SAID NORTH LINE AND CROSSING PORTAGE AVENUE TO A POINT OF INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF SAID PORTAGE AVENUE WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF DEMAUDE AVENUE; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE OF DEMAUDE AVENUE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF CALIFORNIA AVENUE; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 115 IN THE PLAT OF "SHETTERLEY PLACE 3RD PLAT" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID LOT CORNER ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY PUBLIC ALLEY; THENCE SOUTHEASTERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF REX STREET; THENCE SOUTHWESTERLY CROSSING SAID REX STREET (60 FT. WIDE) TO THE NORTHWEST CORNER OF LOT # 34 IN THE PLAT OF "SHETTERLEY PLACE 2ND PLAT" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF REX STREET; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF SAID LOT # 34, SAID LOT CORNER ALSO BEING A POINT OF INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY PUBLIC ALLEY; THENCE SOUTHEASTERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO THE NORTHEASTERLY CORNER OF LOT # 37 IN SAID PLAT; THENCE SOUTHWESTERLY ALONG THE EASTERLY LINE OF SAID LOT # 34 TO THE NORTHWESTERLY CORNER OF LOT # 7 IN THE PLAT OF "SMITH'S SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTHEASTERLY ALONG THE NORTH LINE OF SAID LOT # 7 TO THE NORTHEASTERLY CORNER OF SAID LOT # 7; THENCE SOUTHWESTERLY ALONG SAID EASTERLY LOT LINE TO THE SOUTHEASTERLY CORNER OF SAID LOT # 7, SAID LOT CORNER ALSO BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF PORTAGE AVENUE; THENCE WEST CROSSING SAID PORTAGE AVENUE (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTHEASTERLY CORNER OF LOT # 3 OF THE PLAT OF "STUDEBAKER BROTHERS SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTHWESTERLY ALONG THE EASTERLY LINE OF SAID LOT # 3 TO THE SOUTHEASTERLY CORNER OF SAID LOT, SAID LOT CORNER ALSO BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY PUBLIC ALLEY; THENCE NORTHWESTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF CUSHING STREET; THENCE NORTH ALONG SAID EAST LINE OF CUSHING STREET TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF PORTAGE AVENUE; THENCE NORTHWESTERLY ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF PORTAGE AVENUE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF CALIFORNIA AVENUE; THENCE

WEST ALONG SAID SOUTH LINE TO THE NORTHWEST CORNER OF LOT # 154 IN THE PLAT OF "CUSHING AND LINSEY'S SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; SAID LOT CORNER ALSO BEING ON THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF VAN BUREN STREET; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF COTTAGE GROVE AVENUE; THENCE SOUTH ALONG SAID EAST LINE TO A POINT WHICH IS PERPENDICULAR TO AND 60 FEET EAST THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1070-2992 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE WEST 60 FEET TO SAID SOUTHEAST CORNER; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1068-2916 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE SOUTHEAST ALONG THE NORTH LINE OF SAID PARCEL AND CROSSING COTTAGE GROVE AVENUE (60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID COTTAGE GROVE AVENUE; THENCE SOUTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE CENTERLINE OF A VACATED 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE TO THE NORTH LINE OF LOT "A" IN THE PLAT OF "CUSHING & LINDSEY'S SUBDIVISION 1ST REPLAT" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE ALONG SAID NORTH LINE AND CROSSING CUSHING STREET (60 FT. WIDE) TO THE EAST RIGHT-OF-WAY LINE OF SAID CUSHING STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 16 IN THE PLAT OF "KENT'S SUBDIVISION OF BANK OUTLOT 114 AND PART OF OUTLOT 113" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE TO THE SOUTHEAST CORNER OF SAID LOT # 16, SAID POINT ALSO BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF LINDSEY STREET; THENCE EAST ALONG SAID NORTH LINE AND CROSSING SCOTT STREET (60 FT. WIDE) TO THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1057-2421 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE NORTH ALONG THE EAST LINE OF SAID PARCEL TO THE NORTHEAST CORNER OF SAID PARCEL, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1057-2416 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE WEST ALONG SAID SOUTH LINE TO THE EAST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF PIERCE STREET; THENCE EAST ALONG SAID SOUTH LINE AND ITS EASTERLY EXTENSION TO A POINT OF INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF PORTAGE ROAD; THENCE SOUTHEASTERLY ALONG SAID WESTERLY LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF LINDSEY STREET; THENCE WEST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF LELAND AVENUE; THENCE SOUTH ALONG THE EAST RIGHT-OF-WAY LINE OF LELAND AVENUE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF MARION STREET; THENCE SOUTHEASTERLY CROSSING SAID MARION STREET (82.5 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTH LINE OF MADISON STREET AND THE SOUTH LINE OF SAID MARION STREET; THENCE SOUTHWESTERLY CROSSING SAID MADISON STREET (66 FT. WIDE) TO THE NORTHWEST CORNER OF LOT # 29 IN SAID PLAT; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE NORTHERLY LINE OF A 14 FOOT WIDE NORTHWEST-SOUTHEAST PUBLIC ALLEY; THENCE SOUTHEAST ALONG SAID NORTHERLY LINE TO THE SOUTHEAST CORNER OF LOT # 7 IN SAID PLAT; THENCE NORTHEASTERLY ALONG THE EAST LINE OF SAID LOT AND ITS NORTHEASTERLY EXTENSION CROSSING MADISON STREET (82.5 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF SAID MADISON STREET; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF LAFAYETTE BOULEVARD; THENCE NORTH ALONG SAID WEST RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF LAMONTE TERRACE; THENCE SOUTHWESTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE EAST LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1015-0588 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE NORTHWESTERLY ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID PARCEL ALSO BEING A POINT ON THE SOUTH LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1005-0198 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE SOUTHWESTERLY ALONG THE SOUTH LINE OF SAID PARCEL TO THE SOUTHWESTERLY CORNER OF SAID PARCEL; THENCE IN A NORTHWESTERLY AND NORTHERLY DIRECTION ALONG THE WEST LINE OF SAID PARCEL TO A POINT OF INTERSECTION WITH THE CENTERLINE OF THE ST. JOSEPH RIVER; THENCE IN AN EASTERLY AND SOUTHERLY DIRECTION ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF MARION STREET EXTENDED EAST; THENCE WEST ALONG SAID EASTERLY EXTENDED RIGHT-OF-WAY LINE

TO A POINT OF INTERSECTION WITH THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-1006-0234 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE, SAID SOUTHEAST PARCEL CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF RIVERSIDE DRIVE; THENCE IN A NORTHEASTERLY DIRECTION ALONG THE NORTHERLY AND WEST RIGHT-OF-WAY LINE OF SAID RIVERSIDE DRIVE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF BARTLETT STREET; THENCE WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF BARTLETT STREET TO THE EAST RIGHT-OF-WAY LINE OF ST. JOSEPH STREET; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE OF ST. JOSEPH STREET TO THE NORTH RIGHT-OF-WAY LINE OF MARION STREET; THENCE EAST ALONG THE SAID NORTH RIGHT-OF-WAY LINE AND ITS PROJECTION TO THE EAST TO THE CENTERLINE OF THE ST. JOSEPH RIVER; THENCE MEANDERING ALONG SAID CENTERLINE IN A SOUTHWESTERLY AND SOUTHEASTERLY DIRECTION TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF MONROE STREET EXTENDED NORTHEASTERLY; THENCE SOUTHWESTERLY ALONG SAID EXTENSION AND ALONG THE SOUTH LINE OF SAID MONROE STREET TO THE NORTHWEST CORNER OF LOT # 63 IN THE PLAT OF "EDGEWATER PLACE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE EASTERLY LINE OF A 14 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY PUBLIC ALLEY; THENCE ALONG SAID EASTERLY LINE IN A SOUTHEASTERLY DIRECTION TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF ACH AVENUE; THENCE SOUTHWESTERLY ALONG SAID SOUTHERLY LINE TO THE NORTHWESTERLY CORNER OF LOT # 3 IN SAID PLAT; THENCE SOUTHEASTERLY ALONG THE NORTH LINE OF SAID LOT # 3, AND LOT # 2 AND LOT # 1 IN SAID PLAT TO THE SOUTHEASTERLY CORNER OF SAID LOT # 1; THENCE IN A NORTHEASTERLY DIRECTION ALONG THE SOUTHEASTERLY LOT LINE OF LOTS # 4 AND # 5 IN SAID PLAT TO THE SOUTHEASTERLY CORNER OF SAID LOT # 5, SAID POINT ALSO BEING ON THE SOUTHWESTERLY LINE OF THE PLAT OF "HARPER COURT ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTHEASTERLY ALONG SAID LINE TO THE SOUTHWESTERLY CORNER OF LOT # 11 IN SAID PLAT; THENCE NORTHEASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT # 11 AND ITS NORTHEASTERLY EXTENSION TO A POINT OF INTERSECTION WITH THE CENTERLINE OF THE ST. JOSEPH RIVER; THENCE MEANDERING SOUTHEASTERLY ALONG SAID CENTERLINE 2,060 FEET MORE OR LESS (ASSUMED) TO A POINT OF INTERSECTION WITH THE EASTERLY LINE OF LOT "I" OF THE PLAT OF "LEER'S SURVEY" AS SHOWN IN THE RECORDS OF SAID COUNTY, EXTENDED NORTHEASTERLY, THENCE SOUTHWESTERLY ALONG SAID EXTENDED LINE AND THE EAST LINES OF SAID LOT "I" AND LOTS # 18, 31 AND 32 IN SAID PLAT AND CONTINUING SOUTHWESTERLY, ALONG THE EASTERLY LINE OF SAID LOT # 32 EXTENDED, TO A POINT OF INTERSECTION WITH THE NORTHEASTERLY CORNER OF LOT # 1 OF THE PLAT OF THE "REPLAT OF LEER'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF OAK PARK COURT; THENCE WEST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF MIAMI STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-7083-303301 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST CROSSING MIAMI STREET (60 FT. WIDE), 60 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-7052-1980 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL FOR THE NEXT THREE (3) COURSES, WEST 69 FEET MORE OR LESS AND SOUTH 11.55 FEET MORE OR LESS AND WEST 63 FEET MORE OR LESS TO THE WEST LINE OF SAID PARCEL AND THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG THE EAST LINE OF SAID PUBLIC ALLEY, EXTENDED SOUTH TO THE NORTHWEST CORNER OF LOT 57 IN "OAK PARK 2ND ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF DUBAIL AVENUE; THENCE WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF DUBAIL STREET TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF MICHIGAN STREET; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF CALVERT STREET; THENCE IN A NORTHWESTERLY DIRECTION, 102 FEET MORE OR LESS TO THE NORTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-8010-0455 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE, SAID NORTHEAST PARCEL CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF MICHIGAN STREET; THENCE WEST ALONG THE NORTH LINE OF SAID PARCEL TO THE NORTHWEST CORNER OF SAID PARCEL, SAID PARCEL CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE TO THE SOUTHWEST CORNER OF SAID PARCEL, SAID PARCEL CORNER BEING 14 FEET MORE OR LESS EAST OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-8010-0453 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST 14 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE WEST ALONG THE NORTH LINE OF SAID PARCEL TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF MAIN STREET; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE TO A POINT WHICH IS PERPENDICULAR TO AND 99 FEET MORE OR LESS EAST OF THE NORTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-8010-0451 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE, SAID NORTHEAST PARCEL CORNER ALSO BEING

AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF MAIN STREET AND THE SOUTH RIGHT-OF-WAY LINE OF CALVERT STREET; THENCE WEST CROSSING SAID MAIN STREET (99 FT. WIDE), 99 FEET MORE OR LESS TO SAID NORTHEAST PARCEL CORNER; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-8012-056701 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE SOUTHEASTERLY ALONG THE WEST LINE OF SAID PARCEL AND THE WEST LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-8012-056702 AS SHOWN IN THE RECORDS OF SAID AUDITOR'S OFFICE; TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF EWING STREET; THENCE SOUTH CROSSING SAID EWING STREET (80 FT. WIDE), 80 FEET MORE OR LESS TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SAID EWING STREET; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE; TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF WILLIAMS STREET EXTENDED SOUTH; THENCE NORTH ALONG SAID SOUTHERLY EXTENDED LINE AND THE WEST RIGHT-OF-WAY LINE OF SAID WILLIAM STREET TO THE NORTHEAST CORNER OF LOT 254 IN "SHIVELY'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY ALSO BEING A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF DONALD STREET (50 FEET WIDE); THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE OF DONALD STREET TO THE NORTHEAST CORNER OF LOT 45 IN SAID "SHIVELY'S ADDITION"; THENCE NORTH ALONG THE WEST RIGHT-OF-WAY LINE OF KENDALL STREET (50 FEET WIDE) TO THE NORTHEAST CORNER OF LOT 53 IN SAID "SHIVELY'S ADDITION" AND THE SOUTH RIGHT-OF-WAY LINE SHERRILL STREET; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE OF SHERRILL STREET, CROSSING CHAPIN STREET (50 FEET WIDE), TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID CHAPIN STREET; THENCE NORTH ALONG SAID WEST RIGHT-OF-WAY LINE TO THE NORTHEAST CORNER OF LOT 89 IN "CITY VIEW PLACE" PLAT AS RECORDED IN THE RECORDS OF SAID COUNTY, ALSO BEING A POINT ON THE SOUTH LINE OF A PUBLIC ALLEY (12 FEET WIDE); THENCE WEST ALONG THE SOUTH LINE OF SAID PUBLIC ALLEY, CROSSING KEMBLE STREET (60 FEET WIDE), TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID KEMBLE STREET; THENCE NORTH ALONG SAID WEST RIGHT-OF-WAY LINE TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF BRUCE STREET (60 FEET WIDE); THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE OF BRUCE STREET TO THE EAST RIGHT-OF-WAY LINE OF WEBSTER STREET; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE TO THE SOUTH RIGHT-OF-WAY LINE OF CALVERT STREET (60 FEET WIDE) EXTENDED EAST; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE TO THE NORTHWEST CORNER OF LOT 66 IN "PRAIRIE AVENUE LAND CO'S 1ST ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF A PUBLIC ALLEY (14 FEET WIDE); THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE OF PUBLIC ALLEY CROSSING DONALD STREET (50 FEET WIDE), TO THE NORTHWEST CORNER OF LOT 52 IN SAID "PRAIRIE AVENUE LAND CO'S 1ST ADDITION"; THENCE WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID DONALD STREET TO THE EAST RIGHT-OF-WAY LINE OF MORRIS STREET (50 FEET WIDE); THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE OF MORRIS STREET, CROSSING EWING AVENUE, TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SAID EWING AVENUE; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE OF EWING AVENUE TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF PRAIRIE AVENUE (SR # 23); THENCE SOUTHWESTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF PRAIRIE AVENUE TO ITS' INTERSECTION WITH THE EAST LINE OF LOCUST ROAD; THENCE NORTH CROSSING SAID PRAIRIE AVENUE TO THE NORTH RIGHT-OF-WAY LINE OF SAID PRAIRIE AVENUE ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF OLIVE STREET; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF PRAIRIE AVENUE (S.R. 23) TO A POINT ON THE EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 22; THENCE NORTH ALONG SAID EAST LINE TO A POINT 200 FEET SOUTH OF THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 22; THENCE WEST PARALLEL WITH, AND 200 FEET SOUTH OF THE NORTH LINE OF SAID NORTHWEST QUARTER OF SECTION 22, TO A POINT ON THE WEST LINE OF SAID NORTHWEST QUARTER, SAID LINE ALSO BEING THE EAST LINE OF SECTION 21, TOWNSHIP 37 NORTH, RANGE 2 EAST, THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION 21, TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF PRAIRIE AVENUE; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF THE PLAT OF "GREAT LAKES MINOR SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID ST. JOSEPH COUNTY, INDIANA; THENCE NORTH ALONG THE EAST LINE OF SAID PLAT TO THE NORTHEAST CORNER OF SAID PLAT; THENCE IN A WESTERLY AND SOUTHWESTERLY DIRECTION ALONG THE NORTHERLY LINE OF SAID PLAT TO A POINT OF INTERSECTION OF SAID PLAT WITH THE NORTHERLY RIGHT-OF-WAY LINE OF THE U.S. # 31 BY-PASS (A.K.A. ST. JOSEPH VALLEY PARKWAY); THENCE NORTHWESTERLY ALONG THE NORTHERLY RIGHT-OF-WAY OF SAID U.S. # 31 BY-PASS (A.K.A. ST. JOSEPH VALLEY PARKWAY), TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF THE GRAND TRUNK WESTERN RAILROAD; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE EXISTING SOUTH BEND CORPORATION LINE, SAID LINE ALSO BEING THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, IN TOWNSHIP 37 NORTH, RANGE 2 EAST; THENCE NORTH ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16 TO THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16;

THENCE WEST ALONG THE EAST-WEST QUARTER LINE OF SAID SECTION 16 TO THE WEST QUARTER CORNER OF SAID SECTION 16; THENCE NORTH ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 16 TO THE SOUTHWEST CORNER OF "BELLEVILLE GARDENS 2ND UNIT", AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE EAST, ALONG THE SOUTH LINE OF "BELLEVILLE GARDENS 2ND UNIT", TO THE SOUTHEAST CORNER OF SAID "BELLEVILLE GARDENS 2ND UNIT"; THENCE NORTH ALONG THE EAST LINE OF SAID PLAT AND THE NORTH EXTENTION OF SAID LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF SAMPLE STREET; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF ALBERT STREET; THENCE NORTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 491 IN THE PLAT OF "BELLEVILLE 3RD UNIT" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE EAST CROSSING ALBERT STREET (60 FT. R/W) TO THE SOUTHWEST CORNER OF LOT # 484 IN SAID PLAT, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE ALONG THE NORTH LINE OF SAID ALLEY TO THE NORTHWEST CORNER OF LOT # 210 IN THE PLAT OF "BELLE VILLAGE SECTION "F"" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE ALONG THE NORTHERLY LINE OF SAID LOT FOR THE NEXT TWO (2) COURSES, EAST 7.53 FEET MORE OR LESS AND NORTH 5 FEET MORE OR LESS TO THE SOUTHWEST CORNER OF LOT # 56 IN SAID PLAT; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT AND ITS EASTERLY EXTENSION CROSSING ILLINOIS STREET (60 FT. R/W) TO THE SOUTHWEST CORNER OF LOT # 66 IN THE PLAT OF "BELLE VILLAGE SECTION "C"" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG THE NORTH LINE OF SAID PUBLIC ALLEY TO THE SOUTHEAST CORNER OF LOT # 582 IN THE PLAT OF "SUMMIT PLACE 3RD ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTH ALONG THE EAST LINE OF SAID LOT 48 FEET MORE OR LESS; THENCE EAST 80 FEET TO THE WEST LINE OF LOT # 579 IN SAID PLAT; THENCE NORTH ALONG SAID WEST LINE AND ITS NORTHERN EXTENSION TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF FISHER STREET; THENCE EAST ALONG SAID NORTH LINE TO THE CENTERLINE OF OLIVE STREET; THENCE SOUTH ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF SAMPLE STREET; THENCE EAST ALONG SAID NORTH RIGHT-OF-WAY LINE OF SAMPLE STREET TO THE SOUTHEAST CORNER OF LOT 48 IN THE PLAT OF "ARNOLD AND WEBSTER'S SUBDIVISION OF BANK OUTLOT #103" AS RECORDED IN THE RECORDS OF SAID COUNTY ALSO BEING THE WEST RIGHT-OF-WAY LINE ARNOLD STREET; THENCE NORTH ALONG SAID WEST RIGHT-OF-WAY LINE OF ARNOLD STREET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF THE GRAND TRUNK WESTERN RAILROAD; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF THE FIRST 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY LOCATED EAST OF WALNUT STREET; THENCE NORTH ALONG THE EAST RIGHT-OF-WAY LINE OF SAID NORTH-SOUTH PUBLIC ALLEY TO POINT WHICH IS PERPENDICULAR TO AND 14 FOOT MORE OR LESS EAST OF THE NORTHEAST CORNER OF LOT # 30 IN THE PLAT OF "STOKES SUBDIVISION OF BANK OUTLOT 96" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST TO SAID LOT CORNER, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG THE SOUTH LINE OF SAID ALLEY A DISTANCE OF 545.50 FEET (ASSUMED) TO A POINT ON THE WEST LINE OF A 7 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY, SAID POINT ALSO BEING 7 FEET WEST (ASSUMED) OF THE NORTHWEST CORNER OF LOT # 11 IN THE PLAT OF "HARRIS SUBDIVISION OF THE NORTH PART OF BANK OF OUTLOT 97" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTH ALONG THE WEST LINE OF SAID ALLEY A DISTANCE OF 500 FEET (ASSUMED) TO A POINT WHICH IS 7 FEET WEST OF THE SOUTHWEST CORNER OF LOT # 22 IN THE PLAT OF "HARRIS 2ND SUBDIVISION OF PART OF OUTLOT 97" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTHWESTERLY ALONG THE SOUTH LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-3081-3196 AND ITS WESTERLY EXTENSION A DISTANCE OF 275 FEET (ASSUMED) TO A POINT ON THE EAST LINE OF THE PLAT OF "STUDEBAKER'S SUBDIVISION OF LOT # 1 HARPER & RUCKMAN'S SURVEY" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST A DISTANCE OF 7 FEET (ASSUMED) TO THE SOUTHEAST CORNER OF LOT # 17 IN SAID PLAT, SAID POINT ALSO BEING ON THE NORTH LINE OF HURON STREET; THENCE NORTH ALONG THE EAST LINE OF LOTS # 17 THROUGH # 7 IN SAID PLAT A DISTANCE OF 453.50 FEET (ASSUMED) TO THE NORTHEAST CORNER OF SAID LOT # 7, SAID POINT ALSO BEING ON THE SOUTH LINE OF A 14 FT. WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE A DISTANCE OF 5353.83 FEET (ASSUMED) TO THE NORTHWEST CORNER OF LOT # 310 IN THE PLAT OF "BLOCKS "A" & "B" BELLEVILLE 2ND UNIT" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF KENTUCKY STREET; THENCE SOUTH A DISTANCE OF 1175 FEET (ASSUMED) TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF FORD STREET THENCE WEST ALONG THE SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 96 IN THE PLAT "BELLEVILLE 1ST UNIT" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF LAKE STREET; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 1118 FEET (ASSUMED) TO THE NORTHEAST CORNER OF LOT # 32 IN SAID PLAT, SAID POINT ALSO BEING ON THE SOUTH LINE OF A 14 FT. WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID SOUTH LINE A DISTANCE OF 3073.18 FEET (ASSUMED); THENCE SOUTHEASTERLY 5 FEET (ASSUMED) TO THE

NORTHWESTERLY CORNER OF LOT # 764 IN THE PLAT OF "BELLEVILLE 3RD UNIT" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE EAST LINE OF A NORTH-SOUTH 14 FOOT WIDE PUBLIC ALLEY; THENCE ALONG THE EASTERLY LINE OF SAID ALLEY FOR THE NEXT TWO (2) COURSES, SOUTHWESTERLY A DISTANCE OF 5 FEET (ASSUMED) AND SOUTH A DISTANCE OF 507 FEET (ASSUMED) TO THE NORTHWEST CORNER OF LOT # 753 IN SAID PLAT, SAID POINT ALSO BEING ON THE SOUTH LINE OF HURON STREET (A.K.A. SOUTHVIEW STREET); THENCE WEST ALONG SAID SOUTH LINE A DISTANCE OF 701 FEET (ASSUMED) TO THE NORTHWEST CORNER OF LOT "C" IN THE PLAT OF "BELLEVILLE UNIT "B" SECTION 7 PART 2" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE EAST LINE OF LOMBARDY DRIVE; THENCE SOUTHEASTERLY ALONG SAID EAST LINE A DISTANCE OF 50 FEET (ASSUMED); THENCE WEST A DISTANCE OF 81 FEET (ASSUMED) TO THE NORTHEAST CORNER OF LOT "A" OF THE PLAT OF "SOUTH BEND PUBLIC LIBRARY MINOR SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE ALONG THE NORTH LINE OF SAID LOT A DISTANCE OF 182.93 FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE SOUTHWESTERLY ALONG THE WEST LINE OF SAID LOT A DISTANCE OF 171.76 FEET TO THE SOUTHWEST CORNER OF SAID LOT AND A POINT ON THE NORTHERLY LINE OF FORD STREET; THENCE WESTERLY ALONG SAID NORTHERLY LINE A DISTANCE OF 339.48 FEET TO THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-4129-5043.47; THENCE NORTH ALONG THE EAST LINE OF SAID PARCEL A DISTANCE OF 88 FEET (ASSUMED) TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE WEST ALONG NORTH LINE OF SAID PARCEL AND A PARCEL WITH TAX KEY NUMBER 18-4129-5043.33 AND A PARCEL WITH TAX KEY NUMBER 18-4129-5043.44 AND ITS WESTERLY EXTENSION A DISTANCE OF 1042.81 FEET (ASSUMED) TO A POINT ON THE WESTERLY LINE OF SUMMIT DRIVE; THENCE NORTHERLY ALONG SAID WESTERLY LINE A DISTANCE OF 411.24 FEET (ASSUMED) TO THE NORTHEAST CORNER OF LOT # 807 OF THE PLAT OF "BELLEVILLE UNIT "F"" SUBDIVISION; THENCE WEST ALONG THE NORTH LINE OF SAID PLAT A DISTANCE OF 1500.13 FEET (ASSUMED) TO THE NORTHWEST CORNER OF SAID PLAT AND THE CENTERLINE OF MAYFLOWER ROAD; THENCE NORTH ALONG SAID CENTERLINE A DISTANCE OF 841.54 FEET (ASSUMED) TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF THE PLAT OF "MAYFLOWER 1ST UNIT" SUBDIVISION AS RECORDED IN THE RECORDS OF THE RECORDER'S OFFICE OF ST. JOSEPH COUNTY, INDIANA, EXTENDED WEST; THENCE EAST AND NORTHEASTERLY ALONG SAID WESTERLY EXTENDED LINE AND THE SOUTH LINE OF SAID PLAT A DISTANCE OF 1471.35 FEET TO THE WEST LINE OF SUMMIT DRIVE; THENCE CONTINUING IN A NORTHEASTERLY DIRECTION A DISTANCE OF 88 FEET (ASSUMED) TO THE EAST LINE OF SAID SUMMIT DRIVE; THENCE NORTH AND NORTHWESTERLY ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST LINE OF LOMBARDY DRIVE, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT # 335 IN THE PLAT OF "GARDEN VILLAGE 3RD UNIT" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTHEASTERLY CROSSING WASHINGTON STREET (60 R/W) TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH A TAX KEY NUMBER 18-41-25-4885 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE CONTINUING ALONG SAID EAST LINE OF LOMBARDY DRIVE TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-4124-4818; THENCE ALONG THE NORTH LINE OF SAID PARCEL A DISTANCE OF 583.93 FEET TO THE SOUTHWESTERLY LINE OF THE PLAT OF "GARDEN VILLAGE 2ND UNIT" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE SOUTHEASTERLY ALONG SAID PLAT LINE A DISTANCE OF 293.90 FEET (ASSUMED) TO A POINT OF INTERSECTION WITH THE NORTH LINE OF LOT "E" IN SAID PLAT OF "GARDEN VILLAGE 2ND UNIT"; THENCE EAST ALONG SAID NORTH LINE A DISTANCE OF 105 FEET (ASSUMED) TO THE SOUTHEASTERLY CORNER OF LOT "F" IN SAID PLAT; THENCE NORTHEASTERLY ALONG THE EAST LINE OF SADI LOT 56.53 FEET MORE OR LESS TO THE WESTERLY RIGHT-OF-WAY LINE OF VILLAGEWAY; THENCE EASTERLY A DISTANCE OF 60 FEET MORE OR LESS TO THE NORTHWEST CORNER OF LOT # 287 IN SAID PLAT, SAID POINT ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF VILLAGEWAY; THENCE ALONG SAID EASTERLY LINE TO THE SOUTHWEST CORNER OF SAID LOT # 287; THENCE ALONG THE SOUTH LINES OF LOTS # 287 TO # 273 IN SAID PLAT FOR A DISTANCE OF 751.14 FEET MORE OR LESS TO THE WEST LINE OF SHERIDAN AVENUE; THENCE EAST A DISTANCE OF 80 FEET (ASSUMED) TO THE EAST LINE OF SAID SHERIDAN AVENUE; THENCE SOUTH ALONG SAID EAST LINE A DISTANCE OF 209.24 FEET (ASSUMED) TO THE SOUTHWEST CORNER OF LOT # 203 IN SAID PLAT; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT AND ITS EASTERLY EXTENSION A DISTANCE OF 134 FEET (ASSUMED) TO THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE A DISTANCE OF 156.76 FEET (ASSUMED) TO THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND ITS EASTERLY EXTENSION A DISTANCE OF 189 FEET (ASSUMED) TO THE EAST LINE OF CHICAGO STREET; THENCE SOUTH ALONG SAID EAST LINE A DISTANCE OF 80 FEET (ASSUMED) TO THE NORTH LINE OF A 14 FOOT WIDE PUBLIC ALLEY; THENCE EAST ALONG SAID NORTH LINE AND ITS EASTERLY EXTENSION A DISTANCE OF 143 FEET (ASSUMED) TO THE EAST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE A DISTANCE OF 7 FEET (ASSUMED) TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 18-4069-2564; THENCE

EAST ALONG THE NORTH LINE OF SAID PARCEL A DISTANCE OF 129 FEET (ASSUMED) TO THE WEST LINE OF ILLINOIS STREET; THENCE NORTH ALONG SAID WEST LINE 7 FEET (ASSUMED); THENCE EAST A DISTANCE OF 60 FEET TO THE EAST LINE OF SAID ILLINOIS STREET AND A POINT ON THE NORTH LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG THE NORTH LINE OF SAID EAST-WEST PUBLIC ALLEY TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF LAKE STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ITS WESTERLY EXTENSION, CROSSING FALCON STREET (60 FT. WIDE), TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF FALCON STREET; THENCE NORTH CROSSING SAID WASHINGTON STREET (60 FT. WIDE) AND CONTINUING NORTH ALONG SAID WEST RIGHT-OF-WAY LINE OF FALCON STREET, TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF LINDEN AVENUE, SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT Q BLOCK 1081 IN THE REPLAT OF LASALLE PARK 2ND PLAT AS RECORDED IN PLAT BOOK 17, PAGE L-1 IN THE RECORDS OF SAID COUNTY; THENCE WEST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 9, ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF LINDEN ROAD, A DISTANCE OF 1125 FEET TO THE NORTHWEST CORNER OF LOT E BLOCK 1021 IN SAID REPLAT OF LASALLE PARK 2ND PLAT; THENCE CONTINUING WEST PARALLEL WITH SAID NORTH LINE ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 339 FEET TO THE WEST LINE OF SAID NORTHEAST QUARTER, ALSO BEING THE CENTERLINE OF A 14 FOOT WIDE ALLEY, PERPENDICULAR BY MEASURE, BEING 7 FEET WEST OF THE NORTHWEST CORNER OF LOT 1001 IN LASALLE PARK 2ND ADDITION RECORDED IN PLAT BOOK 8, PAGE 30-31 IN THE OFFICE OF RECORDER OF SAID COUNTY; THENCE CONTINUING WEST PARALLEL WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 9 ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 1097 FEET TO THE CENTERLINE OF GLADSTONE AVENUE BEING 25 FEET WEST OF THE NORTHWEST CORNER OF LOT 185 IN GARDEN VILLAGE 1ST UNIT RECORDED IN PLAT BOOK 17, PAGE G-4, IN THE OFFICE OF SAID RECORDER; THENCE CONTINUING WEST PARALLEL WITH SAID NORTH LINE ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 225 FEET (ASSUMED) TO THE WEST LINE OF THE EAST HALF OF SAID NORTHWEST QUARTER, ALSO BEING ALONG THE NORTH LINE OF LOT 370 IN GARDEN VILLAGE 3RD UNIT AS RECORDED IN PLAT BOOK 17, PAGE G-1 IN THE OFFICE OF SAID RECORDER; THENCE NORTH ALONG SAID WEST LINE OF THE EAST HALF OF SAID NORTHWEST QUARTER AND THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 70 FEET TO THE SOUTHEAST CORNER OF LOT 60 IN GRANDVIEW ADDITION AS RECORDED IN PLAT BOOK 9, PAGE 98 IN THE OFFICE OF RECORDER OF SAID COUNTY; THENCE CONTINUING NORTH ALONG SAID WEST LINE OF THE EAST HALF OF SAID SOUTHWEST QUARTER, A DISTANCE OF 1315.25 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE PENN CENTRAL RAILROAD; THENCE CONTINUING NORTH ALONG SAID WEST LINE, A DISTANCE OF 210 FEET (ASSUMED) TO THE SOUTHEAST CORNER OF LOT 32 IN SAID GRANDVIEW ADDITION; THENCE CONTINUING NORTH ALONG SAID WEST LINE, A DISTANCE OF 1070 FEET TO THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4; THENCE NORTH ALONG THE WEST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 4, A DISTANCE OF 40 FEET TO A POINT BEING 30 FEET WEST OF THE SOUTHWEST CORNER OF LOT 42 IN WEST HAVEN ADDITION AS RECORDED IN PLAT BOOK 18, PAGE W-1 IN THE OFFICE OF SAID RECORDER; THENCE EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF ARDMORE TRAIL PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 660.7 FEET TO THE SOUTHWEST CORNER OF LOT 98 IN BRENTWOOD ESTATES 1ST ADDITION SECTION B AS RECORDED IN PLAT BOOK 19, SECTION B-5 IN THE OFFICE OF SAID RECORDER; THENCE CONTINUING EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 260 FEET TO THE SOUTHWEST CORNER OF LOT 1 IN BRENTWOOD ESTATES 1ST ADDITION SECTION A AS RECORDED IN PLAT BOOK 19, PAGE B-7 IN THE OFFICE OF SAID RECORDER; THENCE CONTINUING EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 366.12 FEET TO THE SOUTHEAST CORNER OF LOT 5 IN SAID BRENTWOOD ESTATES 1ST ADDITION SECTION A; THENCE NORTHEASTERLY, A DISTANCE OF 74 FEET (ASSUMED) TO THE SOUTHWEST CORNER OF LOT 39 IN BRENTWOOD ESTATES 1ST ADDITION SECTION A; THENCE NORTHEASTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE OF ARDMORE TRAIL, A DISTANCE OF 142.41 FEET TO THE SOUTHWEST CORNER OF LOT 48 IN SAID BRENTWOOD ESTATES 1ST ADDITION SECTION B; THENCE NORTHEASTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 832.93 FEET TO THE SOUTHEAST CORNER OF LOT 72 IN SAID BRENTWOOD ESTATES 1ST ADDITION SECTION B; THENCE SOUTH 00 DEGREES 11 MINUTES 44 SECONDS WEST ALONG A WEST LINE OF A PARCEL DESCRIBED IN A CORPORATE WARRANTY DEED RECORDED UNDER INSTRUMENT NUMBER 8014012 IN THE OFFICE OF SAID RECORDER, A DISTANCE OF 21.68 FEET (ASSUMED) TO SAID NORTH RIGHT-OF-WAY LINE OF ARDMORE TRAIL; THENCE NORTH 66 DEGREES 33 MINUTES 51 SECONDS EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 835.40 FEET; THENCE NORTHEASTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 26 FEET (ASSUMED) TO THE SOUTHWEST CORNER OF LOT 1 IN ALWARD'S ADDITION AS RECORDED IN PLAT BOOK 11, PAGE 73 IN THE OFFICE OF SAID RECORDER; THENCE NORTHEASTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 509.02 FEET TO THE CENTERLINE OF A 14 FOOT WIDE ALLEY, EAST WEST BY MEASURE, BEING 8 FEET (ASSUMED) FROM THE

SOUTHEAST CORNER OF LOT 51 IN SAID ALWARD'S ADDITION, AS MEASURED PARALLEL WITH THE CENTERLINE OF SAID ARDMORE TRAIL; THENCE NORTHEASTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 8 FEET (ASSUMED) TO THE SOUTHWEST CORNER OF LOT 46 IN VOGT'S 1ST ADDITION AS RECORDED IN PLAT BOOK 10, PAGE 95 IN THE OFFICE OF SAID RECORDER; THENCE NORTHEASTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE SOUTHEAST CORNER OF LOT # 13 IN THE PLAT OF "VOGT'S 1ST ADDITION" SUBDIVISION AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID POINT ALSO BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 460 FEET (ASSUMED) TO THE NORTHEAST CORNER OF LOT # 24 IN SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT AND ITS WESTERLY EXTENSION A DISTANCE OF 180 FEET (ASSUMED) TO A POINT ON THE WEST LINE OF KENTUCKY STREET; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 75 FEET (ASSUMED) TO THE NORTHEAST CORNER OF LOT # 31 IN SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT AND ITS WESTERLY EXTENSION 140 FEET (ASSUMED) TO THE SOUTHEAST CORNER OF LOT # 66 IN THE PLAT OF "ALWARD'S ADDITION" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 40 FEET (ASSUMED) TO THE NORTHEAST CORNER OF SAID LOT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT AND ITS WESTERLY EXTENSION A DISTANCE OF 180 FEET (ASSUMED) TO A POINT ON THE WEST LINE OF IOWA STREET; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 50 FEET (ASSUMED) TO THE NORTHEAST CORNER OF LOT # 194 IN THE PLAT OF "BRENTWOOD ESTATES 4TH ADDITION" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE ALONG THE NORTH LINE OF SAID LOT AND ITS WESTERLY EXTENSION A DISTANCE OF 134 FEET (ASSUMED) TO A POINT ON THE WEST LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 55 FEET (ASSUMED) TO THE CENTERLINE OF THE FIRST 14 FOOT WIDE EAST-WEST VACATED PUBLIC ALLEY SOUTH OF LINCOLNWAY WEST; THENCE WEST 170 FEET (ASSUMED) ALONG SAID CENTERLINE AND ITS WESTERLY EXTENSION TO A POINT ON THE WEST LINE OF RYER STREET; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 35 FEET (ASSUMED) TO THE SOUTHEAST CORNER OF LOT # 182 IN THE PLAT OF "BRENTWOOD ESTATES 3RD ADDITION" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTHWESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT A DISTANCE OF 324.28 FEET (ASSUMED) TO A POINT ON THE NORTH LINE OF LOT # 177 IN SAID PLAT; THENCE CONTINUING ALONG THE NORTH LINE OF LOTS # 177 THROUGH # 172 IN SAID PLAT A DISTANCE OF 437.05 FEET (ASSUMED) TO A POINT ON THE EAST LINE OF LOT # 171 IN SAID PLAT; THENCE NORTH ALONG SAID EAST LINE AND THE EAST LINE OF THE PLAT OF "BRENTWOOD ESTATES 6TH ADDITION" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY A DISTANCE OF 274.83 FEET TO THE SOUTHEAST CORNER OF LOT # 207 IN SAID PLAT; THENCE ALONG THE SOUTH LINE OF SAID LOT AND ITS WESTERLY EXTENSION A DISTANCE OF 155.50 FEET (ASSUMED) TO A POINT ON THE WEST LINE OF BRENTWOOD COURT; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 70 FEET (ASSUMED) TO THE SOUTHEAST CORNER OF LOT # 215 IN SAID PLAT; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT A DISTANCE OF 116.01 FEET TO THE WEST LINE OF SAID LOT AND PLAT; THENCE SOUTH ALONG THE WEST LINE OF SAID PLAT A DISTANCE OF 294.60 FEET (ASSUMED) TO THE NORTH LINE OF THE PLAT SAID OF "BRENTWOOD ESTATES 3RD ADDITION" SUBDIVISION; THENCE WEST ALONG THE NORTH LINE OF SAID PLAT A DISTANCE OF 310.70 FEET (ASSUMED) TO A POINT ON THE EAST LINE OF LOT # 165 IN SAID PLAT; THENCE NORTH ALONG SAID EAST LINE A DISTANCE OF 140.3 FEET (ASSUMED) TO THE NORTHEAST CORNER OF SAID LOT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT AND LOT # 164 IN SAID PLAT A DISTANCE OF 133.80 FEET (ASSUMED) TO THE NORTHEAST CORNER OF LOT # 141 IN THE PLAT OF BRENTWOOD ESTATES 2ND ADDITION" SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST ALONG THE NORTH LINE OF SAID LOT AND ITS WESTERLY EXTENSION A DISTANCE OF 179.58 FEET (ASSUMED) TO A POINT ON THE WEST LINE OF SHERIDAN AVENUE; THENCE NORTHERLY ALONG SAID WEST LINE A DISTANCE OF 245.01 FEET TO A POINT OF INTERSECTION WITH THE SOUTHERLY LINE OF EDISON ROAD; THENCE WESTERLY ALONG SAID SOUTHERLY LINE A DISTANCE OF 1312.59 FEET (ASSUMED) TO A POINT OF INTERSECTION WITH THE CENTERLINE OF WOODLAND AVENUE AND THE PRESENT CITY OF SOUTH BEND CORPORATION LIMITS; THENCE NORTH ALONG SAID CENTERLINE AND CORPORATION LINE A DISTANCE OF 40 FEET (ASSUMED) TO THE CENTERLINE OF EDISON ROAD; THENCE WEST ALONG SAID CENTERLINE AND CORPORATION LINE A DISTANCE OF 198.45 FEET (ASSUMED); THENCE CONTINUING ALONG SAID CORPORATION LINE FOR THE NEXT THREE (3) COURSES, NORTH A DISTANCE OF 428.31 FEET (ASSUMED) AND EAST A DISTANCE OF 200 FEET (ASSUMED) AND NORTH A DISTANCE OF 318 FEET (ASSUMED) TO A POINT ON THE NORTHERLY LINE OF LINCOLNWAY WEST; THENCE NORTHWESTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE OF LINCOLNWAY WEST TO THE WEST LINE OF A PARCEL OF GROUND WITH A TAX KEY NUMBER 25-1022-0664 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE NORTH ALONG THE WEST LINE OF SAID PARCEL TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE EAST ALONG THE NORTH LINE OF SAID PARCEL TO THE NORTHEAST CORNER OF SAID PARCEL AND THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH A TAX KEY NUMBER 25-1022-066401 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA

AUDITOR'S OFFICE; THENCE CONTINUING EAST ALONG SAID NORTH LINE 76 FEET MORE OR LESS; THENCE NORTH 288 FEET MORE OR LESS; THENCE NORTHEASTERLY 756 FEET MORE OR LESS; THENCE SOUTHEASTERLY 306 FEET MORE OR LESS; THENCE EAST 180 FEET MORE OR LESS; THENCE SOUTH 36 FEET MORE OR LESS TO THE NORTH LINE OF A PARCEL OF GROUND WITH A TAX KEY NUMBER 25-1023-068201 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE ALONG THE NORTH LINE OF SAID PARCEL AND THE NORTH LINE OF PARCELS WITH TAX KEY NUMBERS 25-1008-033505 AND 18-2183-688606 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE, THENCE NORTH 54 FEET MORE OR LESS TO THE NORTH RIGHT-OF-WAY LINE OF PROGRESS DRIVE; THENCE EAST ALONG SAID NORTH LINE 1,260 FEET MORE OR LESS TO THE WEST LINE OF A PARCEL OF GROUND WITH A TAX KEY NUMBER 25-1006-0297 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE NORTH ALONG THE WEST LINE AND EAST ALONG NORTH LINE OF SAID PARCEL TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH A TAX KEY NUMBER 25-1006-0298 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE EAST ALONG THE NORTH LINE OF SAID PARCEL AND THE NORTH LINE OF PARCELS WITH TAX KEY NUMBER 25-1006-0296, 25-1006-030003 AND 25-1006-0300 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE, 1,926 FEET MORE OR LESS TO THE WEST LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1006-0301 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE NORTH ALONG THE WEST LINE OF SAID PARCEL TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE EAST ALONG THE NORTH LINE OF SAID PARCEL TO THE WEST RIGHT-OF-WAY LINE OF BENDIX DRIVE; THENCE NORTH ALONG SAID WEST RIGHT-OF-WAY LINE TO THE SOUTH RIGHT-OF-WAY LINE OF LATHROP DRIVE; THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE WEST LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1010-0399 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE, EXTENDED SOUTH; THENCE NORTH ALONG SAID EXTENDED LINE AND THE WEST LINE OF SAID PARCEL AND A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1010-039902 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE, TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE WEST ALONG THE SOUTH LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1010-0373 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE, FOR THE NEXT THREE (3) COURSES, WEST 1,152 FEET MORE OR LESS AND NORTH 40 FEET MORE OR LESS AND WEST 504 FEET MORE OR LESS TO THE SOUTHWEST CORNER OF SAID PARCEL AND THE EAST LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1019-0640 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE NORTH, 2,592 FEET MORE OR LESS ALONG THE EAST LINE OF SAID PARCEL AND PARCELS OF GROUND WITH TAX KEY NUMBER 25-1019-063801 AND 25-1019-0638 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE WEST, 2,611.17 FEET MORE OR LESS, ALONG THE NORTH LINE OF PARCELS OF GROUND WITH TAX KEY NUMBER 25-1019-0638 AND 25-1019-0636 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE SOUTH ALONG THE WEST LINE OF SAID PARCEL OF GROUND WITH TAX KEY NUMBER 25-1019-0636, 2,635 FEET MORE OR LESS, TO THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1018-062406 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL AND ITS' WESTERLY EXTENSION, 4,592.98 FEET MORE OR LESS TO THE WESTERLY RIGHT-OF-WAY LINE OF THE U.S. # 31 BY-PASS (A.K.A. ST. JOSEPH VALLEY PARKWAY); THENCE SOUTHERLY ALONG SAID WEST LINE, 2,795.02 FEET MORE OR LESS TO A POINT OF INTERSECTION OF THE SOUTH LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1020-034710 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE WITH THE SOUTH LINE OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 2 EAST; THENCE SOUTHWESTERLY, 1,320 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF THE U.S. # 31 BY-PASS (A.K.A. ST. JOSEPH VALLEY PARKWAY); THENCE SOUTHEASTERLY ALONG SAID RIGHT-OF-WAY LINE, 1,460 FEET MORE OR LESS TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1021-036004 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL, 390 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF THE PLAT OF "R. M. LYNCH MINOR SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE; THENCE NORTH ALONG THE EAST LINE OF SAID PLAT, 944.49 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID PLAT AND ITS' WESTERLY EXTENSION, 2,535.42 FEET MORE OR LESS TO THE WEST RIGHT-OF-WAY LINE OF PINE ROAD; THENCE NORTH ALONG SAID WEST RIGHT-OF-WAY LINE, 616.06 FEET MORE OR LESS; THENCE EAST, 618.56 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 04-1021-035112 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE NORTH, 1,100 FEET MORE OR LESS, ALONG THE EAST LINE OF SAID PARCEL AND A PORTION OF THE WEST LINE OF THE PLAT OF "KELLER AND HALL MINOR SUBDIVISION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE TO THE SOUTHWEST CORNER OF LOT # 2 IN SAID PLAT; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT #2, 249.65 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF SAID LOT # 2; THENCE NORTH ALONG THE EAST LINE OF SAID LOT # 2 AND ITS' NORTHERLY EXTENSION, 860 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE

OF U.S. # 20; THENCE SOUTHEASTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, 1,314 FEET MORE OR LESS TO A POINT OF INTERSECTION WITH THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 04-1020-034702 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE, EASTERLY AND NORTHERLY ALONG THE LIMITED ACCESS RIGHT-OF-WAY LINE OF SAID NORTHWEST RAMP OF THE U.S. # 31 BYPASS (A.K.A. ST. JOSEPH VALLEY PARKWAY) TO A POINT, 79.36 FEET SOUTH OF THE NORTH QUARTER POST OF SECTION 31, TOWNSHIP 38 NORTH, RANGE 2 EAST; THENCE NORTH ALONG THE NORTH-SOUTH QUARTER LINE OF SAID SECTION 31, 79.36 FEET TO THE NORTH QUARTER POST OF SAID SECTION 31; THENCE NORTH ALONG THE NORTH - SOUTH QUARTER LINE OF SECTION 30 TO A POINT OF INTERSECTION WITH THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1020-033401 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE NORTH ALONG THE WEST LINE OF SAID PARCEL TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE CLEVELAND ROAD; THENCE WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID CLEVELAND ROAD TO THE NORTHWEST CORNER OF SAID PARCEL OF GROUND WITH TAX KEY NUMBER 25-1020-033405 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE NORTH TO A POINT OF INTERSECTION WITH THE CENTERLINE OF SAID CLEVELAND ROAD; THENCE WEST ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH THE CENTERLINE OF OLIVE ROAD; THENCE SOUTH ALONG SAID CENTERLINE TO A POINT WHICH IS PERPENDICULAR TO AND 20 FEET MORE OR LESS EAST OF THE SOUTHEAST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1020-033501 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE WEST 20 FEET MORE OR LESS TO SAID SOUTHEAST PARCEL CORNER; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE NORTH ALONG THE WEST LINE OF SAID PARCEL TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID CLEVELAND ROAD (A.K.A. OLD CLEVELAND ROAD); THENCE WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE TO THE WEST LINE OF SAID SECTION 30, TOWNSHIP 38 NORTH, RANGE 2 EAST; THENCE NORTH ALONG THE WEST LINES OF SECTIONS 30 AND 19 IN SAID TOWNSHIP 38 NORTH, RANGE 2 EAST, TO A POINT ON THE WEST LINE OF LOT 1 IN THE PLAT OF GIBBS' OLIVE ROAD MINOR SUBDIVISION AS THE SAME IS RECORDED AS INSTRUMENT NUMBER 0028450 IN THE OFFICE OF THE RECORDER OF ST. JOSEPH COUNTY, INDIANA, SAID POINT BEING 114.58 FEET SOUTH 00 DEGREES 11 MINUTES 35 SECONDS WEST (REC. SOUTH 00 DEGREES 11 MINUTES 18 SECONDS WEST) FROM THE NORTHWEST CORNER OF SAID LOT 1; THENCE NORTH 89 DEGREES 19 MINUTES 02 SECONDS WEST, 2674.83 FEET, MORE OR LESS, TO THE NORTH-SOUTH CENTERLINE OF SAID SECTION 24; THENCE NORTH 00 DEGREES 08 MINUTES 51 SECONDS EAST, ALONG SAID NORTH-SOUTH CENTERLINE, A DISTANCE OF 1603.00 FEET, MORE OR LESS, TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF THE INDIANA EAST-WEST TOLL ROAD; THENCE NORTH 89 DEGREES 20 MINUTES 23 SECONDS EAST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 3795.28 FEET, MORE OR LESS TO THE POINT OF INTERSECTION OF SAID NORTHERLY RIGHT-OF-WAY LINE WITH THE EAST RIGHT-OF-WAY LINE OF OLIVE ROAD; THENCE NORTH ALONG THE EAST RIGHT-OF-WAY LINE OF OLIVE ROAD AND THE EAST RIGHT-OF-WAY LINE OLIVE ROAD EXTENDED TO ITS' INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF BRICK ROAD; THENCE EAST AND EASTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO THE SOUTHEAST CORNER OF A PARCEL OF LAND AS RECORDED UNDER INSTRUMENT # 8600255 IN THE RECORDS OF SAID COUNTY; THENCE NORTH 97.06 FEET TO THE SOUTHEAST CORNER OF LAND DESCRIBED IN INSTRUMENT NUMBER 8717366, AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTH 85 DEGREES 31 MINUTES 45 SECONDS EAST, A DISTANCE OF 12.96 FEET TO THE SOUTHWEST CORNER OF THE TERMINUS OF LAKE BLACKTHORN DRIVE AS RECORDED UNDER INSTRUMENT #0323151 IN THE RECORDS OF SAID COUNTY SAID POINT ALSO BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF BRICK ROAD; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE NORTH 85 DEGREES 31 MINUTES 45 SECONDS EAST, A DISTANCE OF 199.30 FEET TO THE WESTERLY RIGHT OF WAY OF THE U.S. 31 BYPASS (ALSO KNOWN AS ST. JOSEPH VALLEY PARKWAY); THENCE ALONG THE WESTERLY LINE OF SAID U.S. 31 BYPASS (ALSO KNOWN AS ST. JOSEPH VALLEY PARKWAY) FOR THE NEXT EIGHT (8) COURSES, (1) NORTH 02 DEGREES 36 MINUTES 09 SECONDS EAST, A DISTANCE OF 256.87 FEET; (2) NORTH 35 DEGREES 15 MINUTES 20 SECONDS EAST, A DISTANCE OF 401.95 FEET; (3) SOUTH 0 DEGREES 45 MINUTES 39 SECONDS WEST, A DISTANCE OF 114.32 FEET; (4) NORTH 38 DEGREES 30 MINUTES 20 SECONDS EAST, A DISTANCE OF 481.60 FEET; (5) NORTH 18 DEGREES 02 MINUTES 40 SECONDS EAST, A DISTANCE OF 211.20 FEET; (6) AROUND A 5,950 FOOT RADIUS CURVE TO THE RIGHT AN ARC DISTANCE OF 934.56 FEET TO THE END OF A CHORD BEARING NORTH 12 DEGREES 00 MINUTES 23 SECONDS EAST, AND HAVING A DISTANCE OF 933.60 FEET; (7) NORTH 23 DEGREES 35 MINUTES 58 SECONDS EAST, A DISTANCE OF 409.65 FEET; (8) NORTH 17 DEGREES 36 MINUTES 51 SECONDS EAST, A DISTANCE OF 85.66 FEET TO A POINT WHICH IS SOUTH 89 DEGREES 49 MINUTES 49 SECONDS WEST, A DISTANCE OF 1549.41 FEET FROM THE NORTHEAST CORNER OF SAID SOUTH HALF OF SECTION 18; THENCE CONTINUING FOR THE NEXT TWO (2) COURSES ALONG THE WESTERLY LIMITED ACCESS RIGHT-OF-WAY OF THE ST. JOSEPH VALLEY PARKWAY AND THE EAST BOUNDARY OF ROLLING OAKS COUNTRY ESTATES, SECTION FIVE, AS RECORDED UNDER INSTRUMENT

NUMBER 8020539 IN THE OFFICE OF RECORDER OF ST. JOSEPH COUNTY, INDIANA: (1) NORTH 24 DEGREES 26 MINUTES 22 SECONDS EAST, A DISTANCE OF 28.99 FEET, (2) NORTH 17 DEGREES 36 MINUTES 26 SECONDS EAST, A DISTANCE OF 707.18 FEET TO A POINT ON THE EAST LINE OF LOT 43 IN SAID ROLLING OAKS COUNTRY ESTATES, SECTION FIVE AND PROJECTED EAST LINE OF ROLLING OAKS COUNTRY ESTATE MINOR AS RECORDED UNDER INSTRUMENT NUMBER 9505754 IN THE OFFICE OF SAID RECORDER; THENCE CONTINUING NORTHEASTERLY ALONG THE WESTERLY LIMITED ACCESS RIGHT-OF-WAY OF THE ST. JOSEPH VALLEY PARKWAY TO THE NORTH LINE OF THE WEST HALF OF FRACTIONAL SECTION 8 AND THE MONUMENTED INDIANA STATE LINE; THENCE NORTH 89 DEGREES 31 MINUTES 15 SECONDS EAST ALONG SAID NORTH LINE, A DISTANCE OF 2300.11 FEET TO THE NORTH QUARTER CORNER OF SAID FRACTIONAL SECTION 8; THENCE NORTH 89 DEGREES 29 MINUTES 13 SECONDS EAST ALONG THE NORTH LINE OF THE EAST HALF OF FRACTIONAL SECTION 8, A DISTANCE OF 120.33 FEET; THENCE SOUTH 00 DEGREES 16 MINUTES 22 SECONDS EAST, A DISTANCE OF 21.63 FEET TO THE NORTH LINE OF BORDERLINE SUBDIVISION MINOR PLAT AS RECORDED IN PLAT BOOK 26, PAGE B IN THE OFFICE OF SAID RECORDER; THENCE THE NEXT THREE (3) COURSES ALONG THE PLATTED RIGHT-OF-WAY OF MAYFLOWER ROAD AS RECORDED WITHIN SAID BORDERLINE SUBDIVISION AND ARBOR POINTE, SECTION 6, AS RECORDED UNDER INSTRUMENT NUMBER 9635583 IN THE OFFICE OF SAID RECORDER: (1) SOUTH 76 DEGREES 31 MINUTES 10 SECONDS WEST, A DISTANCE OF 37.35 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 114.00 FEET, A CENTRAL ANGLE OF 52 DEGREES 06 MINUTES 15 SECONDS, AND A CHORD OF 100.13 FEET BEARING SOUTH 25 DEGREES 46 MINUTES 20 SECONDS WEST, (2) SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY CURVE, A DISTANCE OF 103.67 FEET, (3) SOUTH 00 DEGREES 16 MINUTES 22 SECONDS EAST, PARALLEL WITH THE EAST LINE OF THE NORTHWEST QUARTER OF SAID FRACTIONAL SECTION 8, A DISTANCE OF 535.95 FEET TO THE SOUTH LINE OF SAID ARBOR POINTE, SECTION SIX; THENCE SOUTH 88 DEGREES 09 MINUTES 47 SECONDS WEST, A DISTANCE OF 20.01 FEET; THENCE SOUTH 00 DEGREES 16 MINUTES 22 SECONDS EAST PARALLEL WITH THE EAST LINE OF THE NORTHWEST QUARTER OF SAID FRACTIONAL SECTION 8, A DISTANCE OF 980.41 FEET; THENCE NORTH 89 DEGREES 43 MINUTES 12 SECONDS EAST, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF LOT TWO IN LICHTENBARGER MINOR SUBDIVISION AS RECORDED UNDER INSTRUMENT NUMBER 8731222 IN THE OFFICE OF SAID RECORDER; THENCE SOUTH 00 DEGREES 16 MINUTES 22 SECONDS EAST, A DISTANCE OF 389.87 FEET TO THE NORTH LINE OF CHEROKEE GARDENS SUBDIVISION EXTENDED AND THE NORTH LINE OF WAGNER'S REPLAT EXTENDED AS RECORDED IN PLAT BOOK C, PAGE 2 AND PLAT BOOK 24, PAGE W, RESPECTIVELY, IN THE OFFICE OF SAID RECORDER; THENCE NORTH 89 DEGREES 55 MINUTES 05 SECONDS WEST ALONG THE RESPECTIVE NORTH LINES OF SAID CHEROKEE GARDENS SUBDIVISION AND WAGNER'S REPLAT, A DISTANCE OF 1846.60 FEET TO THE NORTHWEST CORNER OF SAID CHEROKEE GARDENS; THENCE SOUTH 00 DEGREES 21 MINUTES 50 SECONDS EAST, A DISTANCE OF 1280.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF ADAMS ROAD; THENCE SOUTH 89 DEGREES 55 MINUTES 03 SECONDS EAST ALONG THE SOUTH LINE OF SAID CHEROKEE GARDENS SUBDIVISION EXTENDED, AND PARALLEL WITH THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 1844.57 FEET TO THE SOUTHWEST CORNER OF LOT 12 IN SAID CHEROKEE GARDENS; THENCE SOUTH 00 DEGREES 16 MINUTES 22 SECONDS EAST, PARALLEL WITH THE EAST LINE OF THE NORTHWEST QUARTER OF FRACTIONAL SECTION 8, A DISTANCE OF 40.01 FEET TO THE NORTH LINE OF THE NORTH HALF OF SAID SECTION 17; THENCE SOUTH 00 DEGREES 14 MINUTES 27 SECONDS EAST PARALLEL WITH THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 17, A DISTANCE OF 1330.14 FEET TO THE SOUTHWEST CORNER OF LOT 3 IN CHURCH'S MINOR SUBDIVISION AS RECORDED UNDER INSTRUMENT NUMBER 0038244 IN THE OFFICE OF SAID RECORDER; THENCE NORTH 89 DEGREES 50 MINUTES 53 SECONDS WEST, A DISTANCE OF 20.00 FEET; THENCE SOUTH 00 DEGREES 14 MINUTES 27 SECONDS EAST PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 531.84 FEET TO A POINT ON THE NORTH LINE OF J. LIGHTNER MINOR SUBDIVISION AS RECORDED UNDER INSTRUMENT NUMBER 9620477 IN THE OFFICE OF SAID RECORDER; THENCE SOUTH 89 DEGREES 52 MINUTES 17 SECONDS EAST ALONG THE NORTH LINE OF SAID J. LIGHTNER MINOR SUBDIVISION, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF LOT 1 IN SAID J. LIGHTNER MINOR SUBDIVISION; THENCE SOUTH 00 DEGREES 14 MINUTES 27 SECONDS EAST PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 133.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1 IN J. LIGHTNER MINOR SUBDIVISION; THENCE NORTH 89 DEGREES 52 MINUTES 17 SECONDS WEST ALONG THE SOUTH LINE OF SAID J. LIGHTNER MINOR SUBDIVISION, A DISTANCE OF 20.00 FEET; THENCE SOUTH 00 DEGREES 14 MINUTES 27 SECONDS EAST PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 665.38 FEET TO THE SOUTH LINE OF SAID NORTHWEST QUARTER PROJECTED; THENCE NORTH 89 DEGREES 57 MINUTES 13 SECONDS WEST ALONG SAID SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 20.00 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 17; THENCE CONTINUING NORTH 89 DEGREES 57 MINUTES 13 SECONDS WEST ALONG SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 1298.64 FEET TO THE NORTHEAST CORNER OF THE WEST 1/2 OF THE SOUTHWEST QUARTER OF SAID SECTION 17; THENCE SOUTH 00 DEGREES 03 MINUTES 49 SECONDS WEST ALONG THE EAST LINE OF THE WEST 1/2 OF SAID SOUTHWEST

1/4 A DISTANCE OF 2465.70 FEET TO A POINT WHICH IS NORTH 00 DEGREES 03 MINUTES 49 SECONDS EAST A DISTANCE OF 200.00 FEET FROM THE SOUTHEAST CORNER OF THE WEST 1/2 OF SAID SOUTHWEST 1/4; THENCE NORTH 89 DEGREES 39 MINUTES 06 SECONDS WEST, PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 400.00 FEET; THENCE SOUTH 00 DEGREES 03 MINUTES 49 SECONDS WEST, PARALLEL WITH THE EAST LINE OF THE WEST 1/2 OF SAID SOUTHWEST 1/4, A DISTANCE OF 240.00 FEET TO AN INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF BRICK ROAD; THENCE DUE EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE OF BRICK ROAD TO A POINT BEING DUE WEST AND 200 FEET FROM THE EAST LINE OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 20; THENCE DUE SOUTH 220 FEET; THENCE DUE EAST 200.00 FEET TO THE EAST LINE OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 20; THENCE DUE NORTH A DISTANCE OF 220 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF BRICK ROAD; THENCE EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF BRICK ROAD TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF MAYFLOWER ROAD; THENCE DUE NORTH 20 FEET, MORE OR LESS, TO THE CENTERLINE OF BRICK ROAD; THENCE EAST 30 FEET, MORE OR LESS, ALONG SAID CENTERLINE OF BRICK ROAD TO A POINT OF INTERSECTION WITH THE CENTERLINE OF MAYFLOWER ROAD; THENCE EAST ALONG SAID CENTERLINE OF BRICK ROAD TO A POINT OF INTERSECTION WITH THE NORTHWEST CORNER OF THE PLAT OF HIGH MEADOWS ESTATES SUBDIVISION AS SHOWN IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE; THENCE SOUTH ALONG THE WEST LINE OF SAID SUBDIVISION TO THE SOUTHWEST CORNER OF LOT 35 OF THE HIGH MEADOWS ESTATES SUBDIVISION; THENCE EAST ALONG THE SOUTH LINE OF THE HIGH MEADOWS ESTATES SUBDIVISION AND THE HARTMAN & DEMAEGT SUBDIVISION TO THE SOUTHEAST CORNER OF LOT 8 OF THE HARTMAN & DEMAEGT SUBDIVISION; THENCE EAST ALONG THE SOUTH LINE OF THE HARTMAN & DEMAEGT SUBDIVISION, EXTENDED EAST, TO A POINT THAT IS 138.48 FEET WEST OF THE EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 21; THENCE NORTH 465 FEET, MORE OR LESS; THENCE EAST 138.48 FEET; THENCE NORTH 530 FEET TO THE CENTERLINE OF BRICK ROAD; THENCE EAST 661.02 FEET ALONG SAID CENTERLINE; THENCE SOUTH 661.02 FEET MORE OR LESS TO THE NORTH LINE OF THE PLAT OF WEST CLEVELAND ROAD INDUSTRIAL PARK SECTION TWO AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE EAST ALONG SAID NORTH LINE AND ITS EASTERLY EXTENTION TO A POINT OF INTERSECTION WITH THE NORTHWEST CORNER OF OUTLOT 7C OF THE PLAT OF THE TOLL ROAD INDUSTRIAL PARK, SECTION 7 AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE NORTH 88 DEGREES 53 MINUTES 36 SECONDS EAST, 1327.59 FEET TO THE NORTHEAST CORNER OF LOT 11 OF THE TOLL ROAD INDUSTRIAL PARK, SECTION 6; THENCE SOUTH 00 DEGREES 56 MINUTES 57 SECONDS EAST, 366.66 FEET TO THE NORTH LINE OF LOT 14, SECTION 6, OF THE TOLL ROAD INDUSTRIAL PARK; THENCE EASTERLY A DISTANCE OF 1322.97 FEET ALONG THE NORTH LINE OF LOT 14 AND LOT 15 OF SAID SECTION 6 TO THE EAST LINE OF SAID LOT 15, ALSO BEING THE EAST LINE OF SECTION 21; THENCE ALONG THE SAID EAST LINE SOUTH 00 DEGREES 45 MINUTES 45 SECONDS EAST A DISTANCE OF 1590.77 FEET TO THE EAST QUARTER POST OF SAID SECTION; THENCE SOUTH 01 DEGREES 00 MINUTES 44 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION, A DISTANCE OF 585.04 FEET; THENCE NORTH 89 DEGREES 44 MINUTES 31 SECONDS EAST A DISTANCE OF 1219.94 FEET TO THE CENTERLINE OF PORTAGE ROAD; THENCE SOUTH 21 DEGREES 44 MINUTES 25 SECONDS EAST ALONG SAID CENTERLINE A DISTANCE OF 292.53 FEET; THENCE NORTH 01 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 22, TO THE EAST-WEST CENTERLINE OF SAID SECTION 22; THENCE EAST ALONG THE EAST-WEST CENTERLINE OF SAID SECTION 22; THENCE EAST ALONG SAID CENTERLINE TO THE CENTER OF SAID SECTION 22; THENCE SOUTH ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION 22 TO A POINT 214.50 FEET NORTH OF THE SOUTH 1/4 CORNER OF SAID SECTION 22; THENCE WEST, PARALLEL WITH THE SOUTH LINE OF SAID SECTION 22, A DISTANCE OF 99.00 FEET; THENCE SOUTH, PARALLEL WITH SAID NORTH-SOUTH CENTERLINE OF SECTION 22, A DISTANCE OF 214.50 FEET TO THE SOUTH LINE OF SAID SECTION 22; THENCE EAST ALONG SAID SOUTH LINE OF SECTION 22, A DISTANCE OF 99.00 FEET TO THE SOUTH 1/4 CORNER OF SAID SECTION 22 (ALSO BEING THE NORTH 1/4 CORNER OF SECTION 27); THENCE EAST CONTINUING ALONG THE SOUTH LINE OF SAID SECTION 22, A DISTANCE OF 216.7 FEET THENCE NORTH A DISTANCE OF 40 FEET TO THE NORTH RIGHT-OF-WAY LINE OF CLEVELAND ROAD; THENCE EAST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF LYNEWOOD AVENUE; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 411 FEET TO A POINT WHICH IS DIRECTLY WEST OF THE NORTHWEST CORNER OF LOT 2 OF THE PLAT OF VAN DER HEYDEN MINOR SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE EAST CROSSING SAID LYNEWOOD AVENUE A DISTANCE OF 60 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE CONTINUING EAST ALONG THE NORTH LINE OF SAID LOT A DISTANCE OF 400 FEET TO THE NORTHEAST CORNER OF SAID LOT; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT A DISTANCE OF 93 FEET TO THE NORTHWEST CORNER OF A PARCEL OF GROUND WITH TAX KEY NUMBER 25-1050-1271 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE EAST ALONG THE NORTH LINE OF SAID PARCEL AND ITS' EASTERLY EXTENSION TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SHELLBARK AVENUE; THENCE SOUTH ALONG SAID EAST LINE AND ITS'

SOUTHERLY EXTENSION TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF THE INDIANA EAST-WEST TOLL ROAD; THENCE WESTERLY ALONG SAID NORTHERLY LINE TO A POINT OF INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF PORTAGE ROAD; THENCE SOUTHEASTERLY ALONG SAID EASTERLY LINE TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID INDIANA EAST-WEST TOLL ROAD; THENCE EASTERLY ALONG SAID SOUTHERLY LINE AND THE NORTH LINE OF THE PLAT OF RIVERSIDE CAMPUS MINOR SUBDIVISION AS RECORDED IN THE RECORDS OF SAID COUNTY TO THE NORTHEAST CORNER OF SAID SUBDIVISION PLAT; THENCE SOUTH ALONG THE EAST LINE OF SAID SUBDIVISION PLAT TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF BOLAND DRIVE; THENCE WESTERLY ALONG SAID NORTHERLY LINE TO A POINT OF INTERSECTION WITH THE EASTERLY LINE OF PORTAGE ROAD; THENCE NORTHWESTERLY ALONG SAID EASTERLY LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID INDIANA EAST-WEST TOLL ROAD; THENCE WEST AND NORTHWEST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID EAST - WEST INDIANA TOLL ROAD TO THE INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF MAPLE ROAD; THENCE SOUTHWEST AND SOUTHERLY ALONG THE EAST LINE OF SAID MAPLE ROAD AND BENDIX DRIVE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF REDWING DRIVE; THENCE EAST ALONG SAID SOUTH LINE, SAID LINE ALSO BEING THE SOUTH LINE OF THE PLAT OF HIGHLAND ESTATES SUBDIVISION SECTION 4, AS SHOWN IN THE RECORDS OF SAID COUNTY TO THE TERMINATION POINT OF REDWING DRIVE; THENCE IN A NORTHERLY AND NORTHEASTERLY DIRECTION ALONG THE EASTERLY LINE OF SAID HIGHLAND ESTATES SUBDIVISION SECTION 4 TO THE NORTHWESTERLY CORNER OF LOT # 69 IN THE PLAT OF HIGHLAND ESTATES SUBDIVISION SECTION 3 AS SHOWN IN THE RECORDS OF SAID COUNTY; THENCE SOUTH ALONG THE WESTERLY LINE OF SAID LOT # 69 AND LOT # 70 IN SAID PLAT TO THE SOUTHWEST CORNER OF SAID LOT # 70; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT # 70 AND LOTS # 71 AND # 72 IN SAID PLAT TO THE SOUTHEAST CORNER OF SAID LOT # 72, SAID CORNER ALSO BEING THE NORTHEAST CORNER OF PARCEL OF GROUND WITH TAX KEY NUMBER 25-1005-028501 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE SOUTH ALONG THE EAST LINE OF SAID PARCEL TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF LATHROP STREET (A.K.A. DOUGLAS ROAD); THENCE WEST ALONG SAID NORTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID BENDIX DRIVE; THENCE SOUTH CROSSING SAID LATHROP STREET AND CONTINUING ALONG SAID EAST LINE OF BENDIX DRIVE TO THE POINT OF BEGINNING.

CONTAINING 8,199.84 ACRES MORE OR LESS.

SUBJECT TO RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.

(6-30-25 BOUNDARY ACREAGE ADJUSTED TO ADD 149.21 ACRES TO OVERALL BOUNDARY)

Appendix C– LIST OF PARCELS ADDED TO THE RIVER WEST DEVELOPMENT AREA

Property Address	Parcel ID	Owner of Record
1010 FUERBRINGER ST	018-1030-1330	Guevara Jose
1006 FUERBRINGER ST	018-1030-1331	Civil City of South Bend
1002 FUERBRINGER ST	018-1030-1332	South Bend Mutual Homes LP
930 FUERBRINGER ST	018-1030-1333	South Bend Mutual Homes LP
922 FUERBRINGER ST	018-1030-1334	South Bend Mutual Homes LP
931 W OAK ST	018-1030-1341	Lincoln Park Development LLC
929 OAK ST	018-1030-1342	White Steven M & White David A & White Bruce A & White Jerry G 1/4 int each
927 OAK ST	018-1030-1343	South Bend Mutual Homes LP
923 OAK ST	018-1030-1345	South Bend Mutual Homes LP
921 OAK ST	018-1030-1346	Barnaby Catherine E.K.
522 BLAINE AVE	018-1032-1381	Civil City of South Bend
1133 HARVEY ST	018-1032-138201	Civil City of South Bend
1129 HARVEY ST	018-1032-1384	Fannie Chambers
1125 HARVEY ST	018-1032-1385	Chambers Fannie Mae
1121 HARVEY ST	018-1032-1386	Civil City of South Bend
1117 HARVEY ST	018-1032-1387	Civil City of South Bend
1113 HARVEY ST	018-1032-1388	Mckinney Chris
1109 HARVEY ST	018-1032-1389	Gates Mark H & Karen S
503 ALLEN ST	018-1032-1390	Venczel Josef
501 ALLEN ST	018-1032-1391	Anderson Sequoya L
516 BLAINE AVE	018-1032-1392	Civil City of South Bend
	018-1032-1393	Civil City of South Bend
1132 HARVEY ST	018-1032-1394	Civil City of South Bend
1126 HARVEY ST	018-1032-1395	SALGADO ERNESTO & LISA
1122 HARVEY ST	018-1032-1396	Chamberlain Barry N

1118 HARVEY ST	018-1032-1397	OBanion Patrick M
1114 HARVEY ST	018-1032-1398	Blake Fred S
1110 HARVEY ST	018-1032-1399	Civil City of South Bend
435 ALLEN ST	018-1032-1400	Civil City of South Bend
431 ALLEN ST	018-1032-1401	Civil City of South Bend
429 ALLEN ST	018-1032-1402	Civil City of South Bend
506 BLAINE AVE	018-1032-1403	Lopez Victor M
1133 BIRNER ST	018-1032-1404	Arriaga Yadira M
1129 BIRNER ST	018-1032-1405	1129 Birner Land Trust
1125 BIRNER ST	018-1032-1406	Civil City of South Bend
1121 BIRNER ST	018-1032-1407	Johnson Monika
1117 BIRNER ST	018-1032-1408	Liang Melanie
1113 BIRNER ST	018-1032-1409	Civil City of South Bend
1109 BIRNER ST	018-1032-1410	Civil City of South Bend
425 ALLEN ST	018-1032-1411	Brown Marvin Jr & Cameron Shelby McKinney & Brown Jordan M Sr WROS
419 ALLEN ST	018-1032-1412	Poindexter Shawna
504 ALLEN ST	018-1032-1413	Civil City of South Bend
502 ALLEN ST	018-1032-1414	Williams Reginald Q
438 ALLEN ST	018-1032-1415	Board Of Commissioners Of St Joseph County
432 ALLEN ST	018-1032-1416	Estrada-Carlos Juan J
430 ALLEN ST	018-1032-1417	Estrada-Carlos Juan J
426 ALLEN ST	018-1032-1418	Anderson Barbara N
424 ALLEN ST	018-1032-1419	Civil City of South Bend
420 ALLEN ST	018-1032-1420	Colon Jose
418 ALLEN ST	018-1032-1421	Parahams Roberta
414 ALLEN ST	018-1032-1422	Civil City of South Bend
414 BLAINE AVE	018-1033-1423	Guerra Martha Elizabeth
	018-1033-1424	Civil City of South Bend
420 LAPORTE AVE	018-1033-1425	Glasper Danny D
414 LAPORTE AVE	018-1033-1426	Wilson Doris A
410 LA PORTE AVE	018-1033-1427	Wilson Doris A
1115 OAK ST	018-1033-1428	Swanson Debra A & Hernando D
1113 OAK ST	018-1033-1429	Johnson Melvin E & Patterson Kristen L w Life Estate to Linda Johnson WRTS

1107 OAK ST	018-1033-1430	South Bend Mutual Homes LP
422 BLAINE AVE	018-1033-1431	Pershing Cody L
1126 BIRNER ST	018-1033-1434	Robinson Kyle
1122 BIRNER ST	018-1033-1435	REID RUBY AKA SMITH RUBY
1118 BIRNER ST	018-1033-1436	Civil City of South Bend
1116 BIRNER ST	018-1033-1437	South Bend Heritage Foundation Inc
1110 BIRNER ST	018-1033-1438	Civil City of South Bend
1106 BIRNER ST	018-1033-1439	Acres Investments LLC
1102 BIRNER ST	018-1033-1440	Civil City of South Bend
401 ALLEN ST	018-1033-1441	Civil City of South Bend
1033 OAK ST	018-1033-1456	Premier Property Company LLC
1029 W OAK ST	018-1033-1457	Civil City of South Bend
1025 OAK ST	018-1033-1458	Schmitt Kathryn
1021 OAK ST	018-1033-1459	Gonzalez Sergio and Munoz Patricia
1017 OAK ST	018-1033-1460	Whitaker Pamela
1015 OAK ST	018-1033-1461	South Bend Mutual Homes LP
1007 W OAK ST	018-1033-1462	Adkins Donna
410 SHERMAN AVE	018-1033-1464	Adkins Donna G
1001 OAK ST	018-1033-1465	Jackson Wanda J Trustee for The Yellow Rose Estates Board of Trustees
521 SHERMAN AVE	018-1034-1474	Comfy Homes LLC
519 SHERMAN AVE	018-1034-1475	Underly Thomas L and Constance L
515 SHERMAN AVE	018-1034-1476	Underly Thomas L and Constance L
	018-1034-1480	Lincoln Park Development LLC
507 SHERMAN AVE	018-1034-1481	507 Sherman Ave Trust
503 SHERMAN AVE	018-1034-1482	Civil City of South Bend
429 SHERMAN AVE	018-1034-1486	Civil City of South Bend
427 SHERMAN AVE	018-1034-1487	Weber Pattie
425 SHERMAN AVE	018-1034-1488	Jones Emily
421 SHERMAN AVE	018-1034-1489	Civil City of South Bend
417 SHERMAN AVE	018-1034-1490	South Bend Mutual Homes LP

415 SHERMAN AVE	018-1034-1491	Indiana Summit Properties LLC
411 SHERMAN AVE	018-1034-1492	Civil City of South Bend
1020 FUERBRINGER ST	018-1034-1497	South Bend Mutual Homes LP
1018 FUERBRINGER ST	018-1034-1498	South Bend Mutual Homes LP
1014 FUERBRINGER ST	018-1034-1499	South Bend Mutual Homes LP
614 BLAINE AVE	018-1035-1511	Civil City of South Bend
610 BLAINE AVE	018-1035-1512	Maldonado David & Madeline HW
606 BLAINE AVE	018-1035-1513	Civil City of South Bend
608 BLAINE AVE	018-1035-1514	Civil City of South Bend
602 BLAINE AVE	018-1035-1515	Civil City of South Bend
540 BLAINE AVE	018-1035-1516	Property Bros LLC
536 BLAINE AVE	018-1035-1517	Civil City of South Bend
532 BLAINE AVE	018-1035-1518	SFR3-020 LLC
528 BLAINE AVE	018-1035-1519	Civil City of South Bend
528 BLAINE AVE	018-1035-1520	SFR3-020 LLC
533 ALLEN ST	018-1035-1521	Lopez Victor
529 ALLEN ST	018-1035-1522	Civil City of South Bend
525 ALLEN ST	018-1035-1523	Civil City of South Bend
521 ALLEN ST	018-1035-1524	Civil City of South Bend
517 ALLEN ST	018-1035-1525	Civil City of South Bend
515 ALLEN ST	018-1035-1526	Vencel Joseph
511 ALLEN ST	018-1035-1527	Venczel Josef
505 ALLEN ST	018-1035-1528	Venczel Joe
534 ALLEN ST	018-1035-1529	PB Power LLC
530 ALLEN ST	018-1035-1530	Boyd Eric
526 ALLEN ST	018-1035-1531	Figueroa Dominic
522 ALLEN ST	018-1035-1532	Harris Terry J
520 ALLEN ST	018-1035-1533	Civil City of South Bend
516 ALLEN ST	018-1035-1534	Civil City of South Bend
510 ALLEN ST	018-1035-1535	Ryans Dennis
506 ALLEN ST	018-1035-1536	McCoy Cecil D
643 N WALNUT ST	018-1037-1598	Elizabeth Memorial Church Of God In Christ
641 N WALNUT ST	018-1037-1599	Cluxton Vince
635 N WALNUT ST	018-1037-1600	635 Walnut Street Trust

633 N WALNUT ST	018-1037-1601	Northwood Investments LLC
631 N WALNUT ST	018-1037-1602	SFR3-020 LLC
625 N WALNUT ST	018-1037-1603	Steward Resources LLC
623 N WALNUT ST	018-1037-1604	Active Solutions LLC & Mackrola Tom as Agent
619 N WALNUT ST	018-1037-1605	Phelps Tanisha A
617 N WALNUT ST	018-1037-1606	Young Robert
610 LAPORTE AVE	018-1037-1640	Northwood Investments LLC
606 LA PORTE AVE	018-1037-1641	Northwood Investments LLC
602 LA PORTE AVE	018-1037-1642	Northwood Investments LLC
647 DIAMOND AVE	018-1038-1658	Walker Earl
645 DIAMOND AVE	018-1038-1659	Walker Earl E Jr & Deborah Walker A/K/A Debra K Walker
639 DIAMOND AVE	018-1038-1660	Walker Earl E Jr
633 DIAMOND AVE	018-1038-1661	Dotson Adrian J
629 DIAMOND AVE	018-1038-1663	Invision 360 Properties LLC
623 DIAMOND AVE	018-1038-1664	Mack Alfonso
646 DIAMOND AVE	018-1038-1665	Active Solutions LLC & Mackrola Tom as Agent
644 DIAMOND AVE	018-1038-1666	Faith Apostolic Temple Inc
640 DIAMOND AVE	018-1038-1667	Walker Earl Jr
638 DIAMOND AVE	018-1038-1668	Woodson Alecsander
636 DIAMOND AVE	018-1038-1669	Cluxton Vince
630 DIAMOND AVE	018-1038-1670	Glover Jenneisha C
626 DIAMOND AVE	018-1038-1671	626 Diamond Avenue Land Trust
624 DIAMOND AVE	018-1038-1672	Widerquist Tim
621 DIAMOND AVE	018-1038-1673	Northwood Investments LLC
617 DIAMOND AVE	018-1038-1674	Northwood Investments LLC
613 DIAMOND AVE	018-1038-1675	Northwood Investments LLC
624 LA PORTE AVE	018-1038-1676	Widerquist Tim
620 LA PORTE AVE	018-1038-1677	Widerquist Tim

614 LAPORTE AVE	018-1038-1678	Northwood Investments LLC
672 LAPORTE AVE	018-1039-1701	Harris Terry James
668 LAPORTE AVE	018-1039-1702	Carruthers Angela & Harris Terry
666 LAPORTE AVE	018-1039-1703	Harris Karen & Terry
714 SANCOME AVE	018-1039-1704	Zaina Mazen Said
718 SANCOME AVE	018-1039-1705	Green Monique
720 SANCOME AVE	018-1039-1706	Castro Ana Gloria
660 LA PORTE AVE	018-1039-1710	Harris Terry James
656 LA PORTE AVE	018-1039-1711	Harris Terry James
654 LA PORTE AVE	018-1039-1712	Harris Terry James
649 LAWNDAL AVE	018-1039-1713	Tanner Ray Sr
653 LAWNDAL AVE	018-1039-1714	Vision Realty Intl LLC
657 LAWNDAL AVE	018-1039-1715	Harris Terry James
661 LAWNDAL AVE	018-1039-1716	Wiper Corporation
673 LAWNDAL AVE	018-1039-1717	673 Lawndale Ave Trust
648 LAPORTE AVE	018-1039-1721	Dream Haus Development LLC
644 LAPORTE AVE	018-1039-1723	Peterdy Oliver
652 LAWNDAL AVE	018-1039-1724	Yaw Aurora
654 LAWNDAL AVE	018-1039-1725	Civil City of South Bend
658 LAWNDAL AVE	018-1039-1726	Garcias Compra y Venta LLC
662 LAWNDAL AVE	018-1039-1727	Civil City of South Bend
668 LAWNDAL AVE	018-1039-1728	Harris Terry James
672 LAWNDAL AVE	018-1039-1729	Vision Realty Intl LLC
246 STUDEBAKER ST	018-1046-1966	Williams Development Family LLC
242 STUDEBAKER ST	018-1046-1967	Dream Haus Development LLC
240 STUDEBAKER ST	018-1046-1968	240 Studebaker Street Trust
234 STUDEBAKER ST	018-1046-1969	Glasco Terry L
230 STUDEBAKER ST	018-1046-1970	Dream Haus Development LLC
226 STUDEBAKER ST	018-1046-1971	Vision Realty Intl LLC
224 STUDEBAKER ST	018-1046-1972	Redding Rosie M
220 STUDEBAKER ST	018-1046-1973	Malone Tori & Dewayne & Diamond
216 STUDEBAKER ST	018-1046-1974	Kenny Mateen

212 STUDEBAKER ST	018-1046-1975	Blount George, Blount Kenneth, Blount Dennis, Blount Russell & Blount Vicki
206 STUDEBAKER ST	018-1046-1976	Lara Properties Corporation
202 STUDEBAKER ST	018-1046-1977	Glasco Terry
241 PAGIN ST	018-1046-1981	Vertex Equity Partners LLC
237 PAGIN ST	018-1046-1982	Dream Haus Development LLC
233 PAGIN ST	018-1046-1983	Dream Haus Development LLC
229 PAGIN ST	018-1046-1984	Vertex Equity Partners LLC
225 PAGIN ST	018-1046-198701	Trust No 120199 by Indiana Land Trust Company as Trustee
1319 HINE ST	018-1046-1989	Blount George W Sr & Vicki L (jt Tenants W/Survivorship)
209 PAGIN ST	018-1046-1990	Gonzalez Romelia Reyes
205 PAGIN ST	018-1046-1991	Pickens Alice
201 PAGIN ST	018-1046-1992	Pickens Alice
	018-1046-1996	Bailey Eddie
240 PAGIN ST	018-1046-1997	Civil City of South Bend
227 N WALNUT ST	018-1046-1999	Gonzalez Wilma
234 PAGIN ST	018-1046-199901	Bailey Eddie
230 PAGIN ST	018-1046-2000	Civil City of South Bend
226 PAGIN ST	018-1046-2001	Young Brittany
223 N WALNUT ST	018-1046-200101	Odom Malcom
222 PAGIN ST	018-1046-2002	Perez Fredy Otoniel Mazariegos & Castro Gabriela Elizabeth Perez JTWROS
221 N WALNUT ST	018-1046-2003	Farabee John L Jr
217 N WALNUT ST	018-1046-2004	Vision Realty Intl LLC
218 PAGIN ST	018-1046-200401	Woodson Alecsander
214 PAGIN ST	018-1046-2005	Woodson Alecsander

	018-1046-200501	Vision Realty Intl LLC
211 S WALNUT ST	018-1046-2006	Woodson Alecsander
204 PAGIN ST	018-1046-2007	Hottie-Jan LLC
203 N WALNUT ST	018-1046-2008	Balanced Life Organization LLC
1311 HINE ST	018-1046-2009	Vision Realty Intl LLC
230 BIRDELL ST	018-1047-2022	Boykins Lamonte
226 BIRDELL ST	018-1047-2023	Imani & Unidad Inc
222 BIRDELL ST	018-1047-2024	Waters Robert and Hill Waters Joanna
218 BIRDELL ST	018-1047-2025	Waters Robert & Hill Joanna B
214 BIRDELL ST	018-1047-2026	Waters Robert & Hill Joanna B
212 BIRDELL ST	018-1047-2027	Escalante Elisa
206 BIRDELL ST	018-1047-2028	Hoerstman Layne
202 BIRDELL ST	018-1047-2029	Hernandez Mario
154 BIRDELL ST	018-1047-2030	Smith Lester And Amelia
150 BIRDELL ST	018-1047-2031	Wigfall Marvin
239 STUDEBAKER ST	018-1047-2037	Lucky 21 Properties LLC
235 STUDEBAKER ST	018-1047-2038	Williams Development Family LLC
229 STUDEBAKER ST	018-1047-2039	Cole Roshadd
227 STUDEBAKER ST	018-1047-2040	Kessick Angela
225 STUDEBAKER ST	018-1047-2041	Williams Development Family LLC
219 STUDEBAKER ST	018-1047-2042	Vision Realty Intl LLC
215 STUDEBAKER ST	018-1047-2043	Kenny Mateen
211 STUDEBAKER ST	018-1047-2044	Dream Haus Development LLC
207 STUDEBAKER ST	018-1047-2045	Zaina Mazen Said
205 STUDEBAKER ST	018-1047-2047	Gandy George & Sonja
426 WILBER ST	018-1049-2081	Frame Orville E Jr & Maureen
425 BIRDELL ST	018-1049-2082	NexGen Holdings LLC
421 BIRDELL ST	018-1049-2083	Scutchfield Carter
417 BIRDELL ST	018-1049-2084	Caldera Maria
413 BIRDELL ST	018-1049-2085	Hoerstman Layne
411 BIRDELL ST	018-1049-2086	Whole Skys Venture LLC

		11-25-09*
407 BIRDSSELL ST	018-1049-2087	Vision Realty Int'l LLC
401 BIRDSSELL ST	018-1049-2088	Garcia Marco and Garcia Ma Guadalupe
331 BIRDSSELL ST	018-1049-2089	Garcia Marco
327 BIRDSSELL ST	018-1049-2090	Winston Sam L & Clara B Williams
323 BIRDSSELL ST	018-1049-2091	Blessed Homes LLC
319 BIRDSSELL ST	018-1049-2092	Lopez Francisco J Garcia
317 BIRDSSELL ST	018-1049-2093	Lopez Francisco J Garcia
313 BIRDSSELL ST	018-1049-2094	Talabera Jose Alberto Galicia and Galicia Javier
307 BIRDSSELL ST	018-1049-2095	Jones Adeline W
426 BIRDSSELL ST	018-1049-2097	Montoya Alfonso
422 BIRDSSELL ST	018-1049-2098	Ruiz Anastacio J Montoya and de La O Maria D Rivera
418 BIRDSSELL ST	018-1049-2099	Scales Jimmy L
414 BIRDSSELL ST	018-1049-2100	Whole Skys Venture LLC
410 BIRDSSELL ST	018-1049-2101	Dudley Geneva
406 BIRDSSELL ST	018-1049-2102	Golden Goose Properties LLC
402 BIRDSSELL ST	018-1049-2103	Taylor Raydishia Lee 33/39 & Pfeifer Pamela 3/39 & Mitchell Viola 1/39 & mitchell Keith 1/39 & Mitchell Raishawn 1/39
332 BIRDSSELL ST	018-1049-2104	Collins Nathan
330 BIRDSSELL ST	018-1049-2105	Pfeifer Charlotte
324 BIRDSSELL ST	018-1049-2106	Elias Cesar de Jesus Bonilla
322 BIRDSSELL ST	018-1049-2107	Jones Adeline
417 STUDEBAKER ST	018-1049-2111	Moore Arthur And Odessa
411 STUDEBAKER ST	018-1049-2112	Luer Properties Indiana I LLC
409 STUDEBAKER ST	018-1049-2113	Douglas Clinton III

405 STUDEBAKER ST	018-1049-2114	Green Clover Properties IN LLC
403 STUDEBAKER ST	018-1049-2115	Reed Ernest Jack And Mary E
329 STUDEBAKER ST	018-1049-2116	Reed Ernest Jack & Mary E
325 STUDEBAKER ST	018-1049-2117	Morton Rafael and Ruth jtw fros and not as tic
321 STUDEBAKER ST	018-1049-2118	Morton Rafael
317 STUDEBAKER ST	018-1049-2119	Luer Properties Indiana I LLC
313 STUDEBAKER ST	018-1049-2120	Vision Realty Int'l LLC
426 STUDEBAKER ST	018-1050-2130	Vision Realty Int'l LLC
422 STUDEBAKER ST	018-1050-2131	Luer Properties Indiana I LLC
418 STUDEBAKER ST	018-1050-2132	Luer Properties Indiana I LLC
414 STUDEBAKER ST	018-1050-2133	Mitchell Alesia
410 STUDEBAKER ST	018-1050-2134	Diaz Juan R
408 STUDEBAKER ST	018-1050-2135	Lipsey Bre Aira
334 STUDEBAKER ST	018-1050-2136	SFR3-030 LLC
332 STUDEBAKER ST	018-1050-2137	Searer Thomas Jay
328 STUDEBAKER ST	018-1050-2138	Reyes Zayda and Vargas Juan
322 STUDEBAKER ST	018-1050-2139	Luer Properties Indiana I LLC
320 STUDEBAKER ST	018-1050-2140	Lawzar Enterprises LLC
316 STUDEBAKER ST	018-1050-2141	E3 League LLC
425 N WALNUT ST	018-1050-2142	Barefoot Holdings LLC
421 N WALNUT ST	018-1050-2143	Westminster Holdings LLC
417 N WALNUT ST	018-1050-2144	Kroll Amit
415 N WALNUT ST	018-1050-2145	Gardina Joseph
409 N WALNUT ST	018-1050-2146	409 Walnut Street Land Trust
405 N WALNUT ST	018-1050-2147	Gardina Joseph
401 N WALNUT ST	018-1050-2148	401 Walnut Land Trust
333 N WALNUT ST	018-1050-2149	DSN IRA LLC
329 N WALNUT ST	018-1050-2150	Gardina Joseph
325 N WALNUT ST	018-1050-2151	Santos Galdino & Ramirez Ivette Adali

321 N WALNUT ST	018-1050-2152	Garcia Rolando Eduardo Lopez
317 N WALNUT ST	018-1050-2153	Treviso Marta
663 LA PORTE AVE	018-1051-2178	Civil City of South Bend
661 LA PORTE AVE	018-1051-2179	Wisdom Anthony
635 STUDEBAKER ST	018-1051-2180	UKAN LLC
631 STUDEBAKER ST	018-1051-2181	BAILEY TYRIA
627 STUDEBAKER ST	018-1051-2182	Mehalev Zohar
623 STUDEBAKER ST	018-1051-2183	Walking with Jesus Ministries
617 STUDEBAKER ST	018-1051-2184	Resheff Holdings LLC
613 STUDEBAKER ST	018-1051-2185	NnN18 LLC
609 STUDEBAKER ST	018-1051-2186	Tyes Richard A & Johnson Classie M JTWROS
607 STUDEBAKER ST	018-1051-2187	Indiana Property Investment NO 4 LLC
601 STUDEBAKER ST	018-1051-2188	Gardina Joseph
643 LAPORTE AVE	018-1051-2189	Bailey Tyria
1333 FASSNACHT AVE	018-1051-2190	Widerquist Tim
1329 FASSNACHT AVE	018-1051-2191	Widerquist Tim
1325 FASSNACHT AVE	018-1051-2192	Widerquist Tim
1323 FASSNACHT AVE	018-1051-2193	Widerquist Tim
1321 FASSNACHT AVE	018-1051-2194	Widerquist Tim
619 LA PORTE AVE	018-1051-2195	Widerquist Tim
613 LAPORTE AVE	018-1051-2196	Northwood Investments LLC
609 LAPORTE AVE	018-1051-2197	Northwood Investments LLC
1334 FASSNACHT AVE	018-1051-2198	Civil City of South Bend
1332 FASSNACHT AVE	018-1051-2199	Wisdom Anthony
1328 FASSNACHT AVE	018-1051-2200	Wisdom Anthony
1324 FASSNACHT AVE	018-1051-2201	Wisdom Anthony
1320 FASSNACHT AVE	018-1051-2202	Pedroza-Elguero Humberto
1312 FASSNACHT AVE	018-1051-2203	Harris Tony and June
1310 FASSNACHT AVE	018-1051-2204	Harris Tony and June
1308 FASSNACHT AVE	018-1051-2205	Williams Gilbert Jr
517 N WALNUT ST	018-1051-2206	Williams Gilbert Jr
514 STUDEBAKER ST	018-1051-2208	514 N Studebaker St LLC
510 STUDEBAKER ST	018-1051-2209	Dickinson Jesselen R
506 STUDEBAKER ST	018-1051-2210	Lambert Michael

502 STUDEBAKER ST	018-1051-2211	Guzman Miguel
513 N WALNUT ST	018-1051-2212	Bethesda Christian Ministry
509 N WALNUT ST	018-1051-2213	Swanson Lucinda
505 N WALNUT ST	018-1051-2214	Waite Antoinette
501 N WALNUT ST	018-1051-2215	Hall Gregory M
623 BIRDSSELL ST	018-1052-2224	Wisdom Anthony
619 BIRDSSELL ST	018-1052-2225	Wisdom Anthony
611 BIRDSSELL ST	018-1052-2226	Lopez Victor
609 BIRDSSELL ST	018-1052-2227	Columbia Ross & Abby
1511 FASSNACHT AVE	018-1052-2228	Carter Jessica
1507 FASSNACHT AVE	018-1052-2229	Gardina Joseph
	018-1052-2230	Smith John C & Thelma J
1503 FASSNACHT AVE	018-1052-223001	Harvell Larry Jr and Monique
525 BIRDSSELL ST	018-1052-2231	RX Investments LLC
521 BIRDSSELL ST	018-1052-2232	Wisdom Anthony
517 BIRDSSELL ST	018-1052-2233	517 Birdsell Land Trust
513 BIRDSSELL ST	018-1052-2234	Wisdom Anthony
509 BIRDSSELL ST	018-1052-2235	Green Jerry and Maudie
505 BIRDSSELL ST	018-1052-2236	505 N Birdsellstreet Trust
501 BIRDSSELL ST	018-1052-2237	Invision 360 Properties LLC
667 LAPORTE AVE	018-1052-2238	Newbill Bobby and Debra J
630 BIRDSSELL ST	018-1052-2239	Brantley Kathleen
628 BIRDSSELL ST	018-1052-2240	JM Vati Co LLC
626 BIRDSSELL ST	018-1052-2241	Frison George & Emma
624 BIRDSSELL ST	018-1052-2242	Perkins Raymond
616 BIRDSSELL ST	018-1052-2243	Dutchboy Investments LLC
614 BIRDSSELL ST	018-1052-2244	614 Birdsell St LLC
606 BIRDSSELL ST	018-1052-2245	Alexander Richard And Sarah Lee
604 BIRDSSELL ST	018-1052-2246	Wisdom Anthony
602 BIRDSSELL ST	018-1052-2247	Taylor Rafaela
1417 FASSNACHT AVE	018-1052-2248	Wisdom Anthony
1420 FASSNACHT AVE	018-1052-2249	Johnson Kenneth and Jamie
522 BIRDSSELL ST	018-1052-2250	360 Invision Properties LLC

518 BIRDSSELL ST	018-1052-2252	Cole Ryan A
510 BIRDSSELL ST	018-1052-2253	Jones Norris Gloria
506 BIRDSSELL ST	018-1052-2254	Calixte Kaciny
502 BIRDSSELL ST	018-1052-2255	Zaina Mazen Said
529 STUDEBAKER ST	018-1052-2256	Tropic Life Investments LLC
525 STUDEBAKER ST	018-1052-2257	Dominguez Andriana
521 STUDEBAKER ST	018-1052-2258	521 Studebaker Street Land Trust
517 STUDEBAKER ST	018-1052-2259	Rios Maria D
513 STUDEBAKER ST	018-1052-2260	Wheeler James E Jr And Joanna
509 STUDEBAKER ST	018-1052-2261	Stewart Nancy K
501 STUDEBAKER ST	018-1052-2263	Erbach Edward
642 SANCOME AVE	018-1053-2278	Somech Gal Izchaki
640 SANCOME AVE	018-1053-2279	Zaina Mazen Said
669 LAPORTE AVE	018-1053-2280	Civil City of South Bend
	018-1053-2281	Newbill Debbi
223 JOHNSON ST	018-2006-0055	Farrow Misti
218 N GRANT ST	018-2006-005501	Vision Realty Intl LLC
	018-2006-005502	Vision Realty Intl LLC
1911 PARALLEL ST	018-2006-0057	Vision Realty Int'l LLC
1909 PARALLEL ST	018-2006-005701	Mboroithi Simon
1907 PARALLEL ST	018-2006-005702	Kennedy Park Neighborhood Association Inc
	018-2006-005703	Zaina Mazen Said
217 N BROOKFIELD ST	018-2006-005704	Zaina Mazen Said
	018-2006-006001	Martin Alfreeman Jr & Janet
212 JOHNSON ST	018-2006-006002	Logan Earl Steven
213 N BROOKFIELD ST	018-2006-006003	Douglas Jason

		Brooks Jacquetta Shanell Jasmine Kanoelani
211 N BROOKFIELD ST	018-2006-006005	see transfer note
208 JOHNSON ST	018-2006-0061	City of South Bend The
226 N BROOKFIELD ST	018-2007-006201	Greymorr Real Estate LLC
227 N JACKSON ST	018-2007-006203	Vision Realty Int'l LLC
222 N BROOKFIELD ST	018-2007-0063	Navarrete Austin
223 N JACKSON ST	018-2007-006301	Vision Realty Int'l LLC
220 N BROOKFIELD ST	018-2007-006302	Miramontes Jose & Navarrete Angelica
217 N JACKSON ST	018-2007-006303	Vision Realty Int'l LLC
214 N BROOKFIELD ST	018-2007-0066	Vision Realty Int'l LLC
213 N JACKSON ST	018-2007-006601	Butler Daisy
210 N BROOKFIELD ST	018-2007-006602	Zania Mazen Said
209 N JACKSON ST	018-2007-006603	Vision Realty Int'l LLC
206 N BROOKFIELD ST	018-2007-0067	Appiah Ruth
205 N JACKSON ST	018-2007-006701	Vision Realty Int'l LLC
415 N BROOKFIELD ST	018-2009-0093	Diocese Of Fort Wayne So Bend Inc
330 JOHNSON ST	018-2009-0094	Diocese of Fort Wayne South Bend Inc
324 JOHNSON ST	018-2009-0095	R & R Homes LLC
322 JOHNSON ST	018-2009-0096	Diocese of Fort Wayne South Bend Inc
316 JOHNSON ST	018-2009-0097	Knight Frances J James Knight reserves a life estate

		MISC
323 N BROOKFIELD ST	018-2009-0098	Diocese of Fort Wayne South Bend Inc
	018-2009-0099	Civil City Of South Bend % City Attorneys Office
317 N BROOKFIELD ST	018-2009-0100	Diocese of Fort Wayne South Bend Inc
315 N BROOKFIELD ST	018-2009-0101	Diocese of Fort Wayne South Bend Inc
608 JOHNSON ST	018-2009-0110	Neely William H & Magnolia
621 N BROOKFIELD ST	018-2009-0111	621 Brookfield Land Trust
606 JOHNSON ST	018-2009-0112	Jennings Boris/Jennings Chester Jr % Boris Jennings
	018-2009-0113	621 Brookfield Land Trust
602 JOHNSON ST	018-2009-0114	Zoa Transportation
613 N BROOKFIELD ST	018-2009-0115	Young Elicia
530 JOHNSON ST	018-2009-0116	Hall Miranda & Messer Kayd JTWROS
609 N BROOKFIELD ST	018-2009-0117	Marshall Barbara J
526 JOHNSON ST	018-2009-0118	Perez Juan A Tafaya
605 N BROOKFIELD ST	018-2009-0119	Hastings Willie Robert & Geraldine
522 JOHNSON ST	018-2009-0120	Montano Pedro Castillo
601 N BROOKFIELD ST	018-2009-0121	Dutchboy Investments LLC
520 JOHNSON ST	018-2009-0122	Billinium Records LLC
523 N BROOKFIELD ST	018-2009-0123	ANM Rentals Inc
518 JOHNSON ST	018-2009-0124	Indiana Tax Auction LLC
521 N BROOKFIELD ST	018-2009-0125	Palicki Mary (1/2) & Monique Inc (1/2) % The Omega Group

514 JOHNSON ST	018-2009-0126	Wallace Venita and Wallace Veronica
519 N BROOKFIELD ST	018-2009-0127	Benedict XVI LLC
512 JOHNSON ST	018-2009-0128	Vision Realty Intl LLC
515 N BROOKFIELD ST	018-2009-0129	Gaines Robert T
510 JOHNSON ST	018-2009-0130	Tropic Life Investments LLC
511 N BROOKFIELD ST	018-2009-0131	Kayfi LLC
508 JOHNSON ST	018-2009-0132	Active Solutions LLC & Mackrola Tom as Agent
507 N BROOKFIELD ST	018-2009-0133	Rushing Duncan Bryant & Marda Kay
504 JOHNSON ST	018-2009-0134	St Stanislaus Bishop & Martyr Catholic Church
505 N BROOKFIELD ST	018-2009-0135	Paniagua Julio Gutierrez
415 N BROOKFIELD DR	018-2009-0136	Diocese Of Fort Wayne So Bend Inc
501 N BROOKFIELD ST	018-2009-0137	Hernandez Sergio und 1/3 int & Hernandez Alma und 1/3 int & Hernandez Juana und 1/3 int
320 N BROOKFIELD ST	018-2010-0139	Zheng Wei
1823 FLORENCE ST	018-2010-0140	St Stanislaus Bishop & Martyr Catholic Church
1824 SIBLEY ST	018-2010-0141	Haithcox Anthony Gordon and JoAnne
1818 FLORENCE ST	018-2010-0143	Van Norman William A
1817 FLORENCE ST	018-2010-0144	Lugar Real Estate Investments & SRVC LLC
1818 SIBLEY AVE	018-2010-0145	Haithcox Anthony Gordon and Jo Anne
1816 FLORENCE ST	018-2010-0147	Allied Indiana Investments LLC
1813 FLORENCE ST	018-2010-0148	Lugar Real Estate Investments & SRVC LLC
1816 SIBLEY AVE	018-2010-0149	Habitat for Humanity of St Joseph County Inc
1810 FLORENCE AVE	018-2010-0151	Habitat For Humanity of St Joseph County Inc

1811 FLORENCE ST	018-2010-0152	Lugar Real Estate Investments & SRVC LLC
1810 SIBLEY AVE	018-2010-0153	Habitat For Humanity of St Joseph County Inc
1808 1/2 FLORENCE AVE	018-2010-0155	Habitat For Humanity of St Joseph County Inc
1809 FLORENCE ST	018-2010-0156	VanNorman William
1806 SIBLEY AVE	018-2010-0157	Habitat for Humanity of St Joseph County Inc
	018-2010-0159	Habitat For Humanity of St Joseph County Inc
1801 FLORENCE ST	018-2010-0160	VanNorman William
1802 SIBLEY ST	018-2010-0161	Moman Daryl K and Janie M
1641 FLORENCE AVE	018-2011-0189	Habitat For Humanity of St Joseph County Inc
422 COLLEGE ST	018-2011-0190	Frison Amon Rashad & Hoang Yen
1636 FLORENCE ST	018-2011-0192	Sims James & Viola
1635 FLORENCE AVE	018-2011-0193	Habitat For Humanity of St Joseph County Inc
1635 FLORENCE AVE	018-2011-0193	Habitat For Humanity of St Joseph County Inc
1635 FLORENCE AVE	018-2011-0193	Habitat For Humanity of St Joseph County Inc
1634 FLORENCE ST	018-2011-0196	Brotherton Jeanine M
1633 FLORENCE AVE	018-2011-0197	Lakeside Portfolio Management LLC
1634 SIBLEY ST	018-2011-0198	Oliva Santos & Trejo Guadalupe JTWROS
1631 FLORENCE ST	018-2011-0201	Habitat For Humanity of St Joseph County Inc
1632 SIBLEY ST	018-2011-0202	Theragene Fritz
1628 FLORENCE ST	018-2011-0204	Harder Cliff
	018-2011-0205	Civil City of South Bend
1628 SIBLEY ST	018-2011-0206	Coleman Gertrude, Mary Elizabeth Merritt & Francesca Merritt
1626 FLORENCE ST	018-2011-0208	Guardado Salvador & Rodriquez Alicia
1623 FLORENCE AVE	018-2011-0209	Civil City of South Bend
1626 SIBLEY ST	018-2011-0210	Powell Tony

1622 FLORENCE ST	018-2011-0212	Vision Realty Intl LLC
	018-2011-0213	Civil City of South Bend
1622 SIBLEY ST	018-2011-0214	Powell Tony
1618 FLORENCE ST	018-2011-0216	Paris Properties & Leasing LLC
1619 FLORENCE AVE	018-2011-0217	Habitat For Humanity of St Joseph County Inc
1620 SIBLEY ST	018-2011-0218	Vision Realty Intl LLC
1616 FLORENCE ST	018-2011-0220	Vision Realty Intl LLC
1615 FLORENCE ST	018-2011-0221	Habitat For Humanity of St Joseph County Inc
1616 SIBLEY ST	018-2011-0222	1616 Sibley Street Land Trust
1612 FLORENCE ST	018-2011-0224	Gatlin Harry T
1613 FLORENCE ST	018-2011-0225	Davis James And Clara
1614 SIBLEY ST	018-2011-0226	Smith Douglas E
1610 FLORENCE ST	018-2011-0228	Fountain Investments LLC
1609 FLORENCE ST	018-2011-0229	Lazy J Ranch Corporation
1610 SIBLEY ST	018-2011-0230	Douglas Clinton III
1608 FLORENCE AVE	018-2011-0232	Vision Realty Int'l LLC
1607 FLORENCE AVE	018-2011-0233	Habitat for Missionaries Inc
1608 SIBLEY AVE	018-2011-0234	Vision Realty Int'l LLC
1603 FLORENCE ST	018-2011-0237	Habitat for Missionaries Inc
1606 SIBLEY AVE	018-2011-0238	Vision Realty Intl LLC
1602 FLORENCE ST	018-2011-0240	Rustman Maria A
1601 FLORENCE AVE	018-2011-0241	Vision Realty Intl LLC
1602 SIBLEY AVE	018-2011-0242	Vision Realty Intl LLC
1823 SIBLEY AVE	018-2012-0243	Vision Realty Intl LLC
1822 FASSNACHT AVE	018-2012-0244	Vision Realty Intl LLC
1823 FASSNACHT AVE	018-2012-0245	Aviles Juana R & Rios Gerardo jt w/fros not tic
1822 LONGLEY AVE	018-2012-0246	White Timothy S
1817 SIBLEY ST	018-2012-0247	Pearson Tracey
1818 FASSNACHT AVE	018-2012-0248	Vision Realty Intl LLC
1817 FASSNACHT AVE	018-2012-0249	Castaneda Luis and Salvador
1818 LONGLEY AVE	018-2012-0250	Chism James
1811 SIBLEY AVE	018-2012-0251	Vision Realty Intl LLC

1814 FASSNACHT AVE	018-2012-0252	Vision Realty Intl LLC
1813 FASSNACHT AVE	018-2012-0253	Donnell Marvin Randall
1814 LONGLEY AVE	018-2012-0254	Vision Realty Int'l LLC
1809 SIBLEY AVE	018-2012-0255	Vision Realty Intl LLC
1810 FASSNACHT AVE	018-2012-0256	Vision Realty Intl LLC
1809 FASSNACHT AVE	018-2012-0257	Vision Realty Intl LLC
1810 LONGLEY AVE	018-2012-0258	Lindsey Bryan
1805 SIBLEY ST	018-2012-0259	1805 Sibley Street Trust
1806 FASSNACHT AVE	018-2012-0260	Williams Brenda and Cotton Tina jtwros
1805 FASSNACHT AVE	018-2012-0261	Vision Realty Intl LLC
1806 LONGLEY AVE	018-2012-0262	Diveley Donovan B & Doreen A
	018-2012-0263	Vision Realty Intl LLC
1802 FASSNACHT AVE	018-2012-0264	Duggal Shiv Kumar & Surabhi HW
1801 FASSNACHT AVE	018-2012-0265	MJY Management LLC
1802 LONGLEY AVE	018-2012-0266	Civil City of South Bend
1637 SIBLEY AVE	018-2013-0291	Habitat for Humanity of St Joseph County Inc
514 COLLEGE ST	018-2013-0292	Vision Realty Int'l LLC
516 COLLEGE ST	018-2013-0293	Causey Beatrice
1639 FASSNACHT AVE	018-2013-0295	Awald Matt & Tamara L
1640 LONGLEY AVE	018-2013-0296	Wright Yvonne Living Trust & as Trustee
1641 SIBLEY AVE	018-2013-0297	Vision Realty Int'l LLC
1635 FASSNACHT AVE	018-2013-0298	Coles Rose L
1636 LONGLEY AVE	018-2013-0299	Vision Realty Int'l LLC
1633 SIBLEY AVE	018-2013-0300	Zaina Mazen Said
1634 FASSNACHT AVE	018-2013-0301	Vision Realty Int'l LLC
1633 FASSNACHT AVE	018-2013-0302	Plump Tracy Lamar
1634 LONGLEY AVE	018-2013-0303	Vision Realty Int'l LLC
1631 SIBLEY AVE	018-2013-0304	Vision Realty Int'l LLC
1632 FASSNACHT AVE	018-2013-0305	Vision Realty Int'l LLC
1631 FASSNACHT AVE	018-2013-0306	Vision Realty Int'l LLC
1632 LONGLEY AVE	018-2013-0307	Vision Realty Int'l LLC
1625 SIBLEY AVE	018-2013-0308	Hairston Dorothy
1630 FASSNACHT AVE	018-2013-0309	Vision Realty Intl LLC
1629 FASSNACHT AVE	018-2013-0310	Vision Realty Int'l LLC
1630 LONGLEY AVE	018-2013-0311	Civil City of South Bend
1628 FASSNACHT AVE	018-2013-0312	1628 Fasnacht Avenue Land Trust

1627 FASSNACHT AVE	018-2013-0313	Mojica William
1628 LONGLEY AVE	018-2013-0314	Vision Realty Int'l LLC
1621 SIBLEY AVE	018-2013-0315	Vision Realty Intl LLC
1626 FASSNACHT AVE	018-2013-0316	Vision Realty Intl LLC
1625 FASSNACHT AVE	018-2013-0317	Vision Realty Intl LLC
1626 LONGLEY AVE	018-2013-0318	Coles Rose L & Butler Lonnie R as JT W/ROS
1615 SIBLEY ST	018-2013-0319	Reed Timothy & Pope Sheri
1620 FASSNACHT AVE	018-2013-0320	Vision Realty Intl LLC
1619 FASSNACHT AVE	018-2013-0321	Carter Floyd And Leola
1620 LONGLEY AVE	018-2013-0322	Vision Realty Intl LLC
1616 FASSNACHT AVE	018-2013-0323	Vision Realty Intl LLC
1615 FASSNACHT AVE	018-2013-0324	Becerril Dilan Cruz Torres
1616 LONGLEY AVE	018-2013-0325	Chester John W & Chester Christopher G
1613 SIBLEY AVE	018-2013-0326	Amaya Hernan E
1614 FASSNACHT AVE	018-2013-0327	Vision Realty Int'l LLC
1613 FASSNACHT AVE	018-2013-0328	Espinoza-Zamarripa Isael
1614 LONGLEY AVE	018-2013-0329	Ashner Idan
1609 SIBLEY ST	018-2013-0330	Amaya Hernan E
1610 FASSNACHT AVE	018-2013-0331	Madison Court Enterprises LLC
1609 FASSNACHT AVE	018-2013-0332	Vision Realty Intl LLC
1610 LONGLEY AVE	018-2013-0333	Vision Realty Intl LLC
1607 SIBLEY AVE	018-2013-0334	Amaya Hernan E
1608 FASSNACHT AVE	018-2013-0335	Vision Realty Intl LLC
1607 FASSNACHT AVE	018-2013-0336	Vision Realty Intl LLC
1608 LONGLEY AVE	018-2013-0337	Trevino Maria Magdalena
1603 SIBLEY AVE	018-2013-0338	Amaya Hernan E
1604 FASSNACHT AVE	018-2013-0339	Noble Indiana Investments LLC
1603 FASSNACHT AVE	018-2013-0340	Hunter Home Management LLC
1604 LONGLEY AVE	018-2013-0341	Vision Realty Intl LLC
1601 SIBLEY ST	018-2013-0342	Ross Gerald D
1602 FASSNACHT AVE	018-2013-0343	Vision Realty Intl LLC
1601 FASSNACHT AVE	018-2013-0344	BM Rentals LLC
1602 LONGLEY AVE	018-2013-0345	Vision Realty Intl LLC

718 JOHNSON ST	018-2014-0346	OSB Construction Incorporated
719 N BROOKFIELD ST	018-2014-0347	Kowalik Dolores H Rev Trust & as Trustee
	018-2014-0348	OSB Construction Incorporated
717 N BROOKFIELD ST	018-2014-0349	Vera Janette
714 JOHNSON ST	018-2014-0350	Ds Blues Bistro
715 N BROOKFIELD ST	018-2014-0351	Castro Rosa Hilda Chic
712 JOHNSON ST	018-2014-0352	Dominguez Pedro
713 N BROOKFIELD ST	018-2014-0353	Buitendorp Alexandre
710 JOHNSON ST	018-2014-0354	SB231 Holdings LLC
709 N BROOKFIELD ST	018-2014-0355	OSB Construction
708 JOHNSON ST	018-2014-0356	247 Investments LLC
707 N BROOKFIELD ST	018-2014-0357	Randle Quentin
706 JOHNSON ST	018-2014-0358	Vision Realty Intl LLC
705 N BROOKFIELD ST	018-2014-0359	Ochoa Edward Morgan
704 JOHNSON ST	018-2014-0360	Johnson 2 LLC
		OSRB LLC
701 N BROOKFIELD ST	018-2014-0361	see transfer note
702 JOHNSON ST	018-2014-0362	Green Benjamin
653 N BROOKFIELD ST	018-2014-0363	Juarez Roberto & Laura
638 JOHNSON ST	018-2014-0364	Vision Realty Intl LLC
647 N BROOKFIELD ST	018-2014-0365	Juarez Roberto & Laura
636 JOHNSON ST	018-2014-0366	Vision Realty Intl LLC
645 N BROOKFIELD ST	018-2014-0367	Conley Beverly J
634 JOHNSON ST	018-2014-0368	Martinez Daniel G
643 N BROOKFIELD ST	018-2014-0369	643 Brookfield Land Trust w Birchwood Capital LLC as Trustee
630 JOHNSON ST	018-2014-0370	Civil City of South Bend
641 N BROOKFIELD ST	018-2014-0371	Civil City of South Bend
626 JOHNSON ST	018-2014-0372	Murillo Maria B
639 N BROOKFIELD ST	018-2014-0373	Lynn Hamilton LLC
622 JOHNSON ST	018-2014-0374	Villagrana Junior Sanchez & Camarillo Maria Brenda Murillo
635 N BROOKFIELD ST	018-2014-0375	Clear Equity Partners LLC
618 JOHNSON ST	018-2014-0376	MGS Investments LLC

631 N BROOKFIELD ST	018-2014-0377	Ruiz Jose M & Artemia
616 JOHNSON ST	018-2014-0378	MGS Investments LLC
629 N BROOKFIELD ST	018-2014-0379	Ibarra Christian
612 JOHNSON ST	018-2014-0380	MGS Investments LLC
625 N BROOKFIELD ST	018-2014-0381	Robinson Sherika Chonette
229 HUEY ST	018-2019-0553	Lukas Kenneth S
224 HUEY ST	018-2019-0554	Vision Realty Intl LLC
229 OBRIEN ST	018-2019-0555	Wilderness Donnell
230 OBRIEN ST	018-2019-0556	Wilderness Donnell
225 HUEY ST	018-2019-0557	Macturch Estella
222 HUEY ST	018-2019-0558	Smith Pierre
227 OBRIEN ST	018-2019-0559	Vision Realty Inc LLC
226 OBRIEN ST	018-2019-0560	Wilderness Donnell
221 HUEY ST	018-2019-0561	Vision Realty Intl LLC
220 HUEY ST	018-2019-0562	City of South Bend Board of Public Work
223 OBRIEN ST	018-2019-0563	Vision Realty Intl LLC
222 OBRIEN ST	018-2019-0564	Veltri Shane Eric Rev Trust
217 HUEY ST	018-2019-0565	Wright Lateesha D
218 HUEY ST	018-2019-0566	Vision Realty Intl LLC
221 OBRIEN ST	018-2019-0567	NWI RE4 LLC
218 OBRIEN ST	018-2019-0568	Veltri Shane Eric Rev Trust
213 HUEY ST	018-2019-0569	Vision Realty Intl LLC
214 HUEY ST	018-2019-0570	Abundant Living Real Estate LLC
215 OBRIEN ST	018-2019-0571	Vision Realty Intl LLC
214 OBRIEN ST	018-2019-0572	Deberry Geraldine
214 OBRIEN ST	018-2019-0572	Deberry Geraldine
	018-2019-0573	Lynn Hamilton LLC
210 HUEY ST	018-2019-0574	Clark Tamla M
209 OBRIEN ST	018-2019-0575	Lynn Hamilton LLC
209 OBRIEN ST	018-2019-0575	Lynn Hamilton LLC
205 HUEY ST	018-2019-0577	Vision Realty Intl LLC
206 HUEY ST	018-2019-0578	McCombs Monika
205 OBRIEN ST	018-2019-0579	Lynn Hamilton LLC
230 SADIE ST	018-2023-0688	Brown Jasmine K
226 SADIE ST	018-2023-0690	Cunegin James
224 SADIE ST	018-2023-0692	Lynn Hamilton LLC
218 SADIE ST	018-2023-0694	Gordon Leroy And Ernestine

214 SADIE ST	018-2023-0696	Scott Anthony B
210 SADIE ST	018-2023-0698	Munoz Juan Carlos & Palacios Carmen Marquez Palacios HW
206 SADIE ST	018-2023-0700	CARR SHEILA & JAMES
2026 KENWOOD AVE	018-2024-0726	Arceo Jose and Guardado Cindy
	018-2024-072601	Stonerock Properties LLC
2020 KENWOOD AVE	018-2024-0728	Mendoza Tyler & Juarez Marvelia JTWROS
2012 KENWOOD AVE	018-2024-0730	Benion Charles W & Cynthia M Benion
407 JOHNSON ST	018-2024-0731	Mamka Yossef
405 JOHNSON ST	018-2024-0732	Howell Dennis P
	018-2024-0733	Thomas William
331 JOHNSON ST	018-2024-0734	Davis Ramon
326 HUEY ST	018-2024-0735	Medina Francisco
	018-2024-0736	Medina Francisco
329 OBRIEN ST	018-2024-0737	Sanchez Eduardo Gomez
325 OBRIEN ST	018-2024-0738	Sanchez Micaela
322 HUEY ST	018-2024-0739	Medina Francisco & Bertha
323 OBRIEN ST	018-2024-0740	Vision Realty Intl LLC
319 OBRIEN ST	018-2024-0741	Civil City of South Bend
317 OBRIEN ST	018-2024-0745	Vision Realty Intl LLC
	018-2024-0747	Lynn Hamilton LLC
311 OBRIEN ST	018-2024-074701	Lynn Hamilton LLC
321 JOHNSON ST	018-2024-0751	Perez Rosa
326 OBRIEN ST	018-2024-0752	Words Amber
319 JOHNSON ST	018-2024-0753	Payton Alfredia
315 JOHNSON ST	018-2024-0755	Vision Realty Intl LLC
322 OBRIEN ST	018-2024-0756	Freiberg Laurie
313 JOHNSON ST	018-2024-0757	Harris Tesha
314 OBRIEN ST	018-2024-0758	Wright Charles R Jr
311 JOHNSON ST	018-2024-0759	Harris Tesha
310 OBRIEN ST	018-2024-0760	Bailey Eddie L
309 JOHNSON ST	018-2024-0761	309 Johnson Street Trust
316 N OLIVE ST	018-2025-0770	Rodriguez Amancio

324 N OLIVE ST	018-2025-0772	Anderson Frank & Lane Brooke
328 N OLIVE ST	018-2025-0773	Anderson Frank & Lane Brooke
2319 SMITH ST	018-2025-0776	Fernandez Santos
	018-2025-0779	Fernandez Santos
2314 SMITH ST	018-2025-0781	Martin Scott
2315 SMITH ST	018-2025-0782	Vision Realty Intl LLC
	018-2025-0784	South Bend Faith Temple Church
	018-2025-0785	Perry Diane V & Lisa R Perry
2305 SMITH ST	018-2025-0788	Perry Diane V and Perry Lisa R
2302 SMITH ST	018-2025-0790	We House America LLC
2301 SMITH ST	018-2025-0791	City of South Bend Board of Public Work
	018-2025-0793	We House America LLC
2227 SMITH ST	018-2025-0794	Wisdom Anthony
2224 SMITH ST	018-2025-0796	Tanner Chadd
2223 SMITH ST	018-2025-0797	Wisdom Anthony
2218 SMITH ST	018-2025-0799	Vision Realty Intl LLC
2221 SMITH ST	018-2025-0800	Wisdom Anthony
2212 SMITH ST	018-2025-0802	Vertex Equity Partners LLC
2215 SMITH ST	018-2025-0803	Wisdom Anthony
2210 SMITH ST	018-2025-0805	Mallard Malinda L
2208 SMITH ST	018-2025-0807	Mallard Malinda L
2207 SMITH ST	018-2025-0808	Wisdom Anthony
313 HUEY ST	018-2025-0813	Hue2 LLC
319 HUEY ST	018-2025-0814	Housing Authority South Bend
2205 SMITH ST	018-2025-0815	Vision Realty Intl LLC
2203 SMITH ST	018-2025-0816	Fair Ridge Management LLC
2201 SMITH ST	018-2025-0817	Fair Ridge Management LLC
338 N OLIVE ST	018-2026-0818	Charette Matthew
338 N OLIVE ST	018-2026-0819	Hughes Jeffrey Mark and Tabitha Ann
2333 KENWOOD AVE	018-2026-0821	Vision Realty Intl LLC

2330 KENWOOD AVE	018-2026-0822	Vertex Equity Partners LLC
414 N OLIVE ST	018-2026-0823	Indiana United Corp
2326 KENWOOD AVE	018-2026-0824	Active Solutions LLC
2325 KENWOOD AVE	018-2026-0825	Vicsek Rebecca L.
2322 KENWOOD AVE	018-2026-0826	Zaina Mazen Said
2321 KENWOOD AVE	018-2026-0827	Vicsek Rebecca L.
2318 KENWOOD AVE	018-2026-0828	Vision Realty Int'l LLC
2317 KENWOOD AVE	018-2026-0829	Vision Realty Int'l LLC
2314 KENWOOD AVE	018-2026-0830	Hernandez Enrique
2315 KENWOOD AVE	018-2026-0831	Lopez Marvyn E Mejia
2310 KENWOOD AVE	018-2026-0832	Hernandez Enrique
2306 KENWOOD AVE	018-2026-0834	Zoa Transportation
2305 KENWOOD AVE	018-2026-0835	Mendoza Pablo & Diaz Nora
2302 KENWOOD AVE	018-2026-0836	Nestor Felipe
2301 KENWOOD AVE	018-2026-0837	Trotter Sean Pierre
2224 KENWOOD AVE	018-2026-0838	Green Deneen & Cherie
2235 KENWOOD AVE	018-2026-0839	Lithiums Properties LLC
2222 KENWOOD AVE	018-2026-0840	Vertex Equity Partners LLC
2229 KENWOOD AVE	018-2026-0841	Vision Realty Int'l LLC
2220 KENWOOD AVE	018-2026-0842	Vision Realty Int'l LLC
2225 KENWOOD AVE	018-2026-0843	Vertex Equity Partners LLC
2221 KENWOOD AVE	018-2026-0845	Vision Realty Intl LLC
2218 KENWOOD AVE	018-2026-0846	Civil City of South Bend
2217 KENWOOD AVE	018-2026-0847	IW South Bend LLC
2214 KENWOOD AVE	018-2026-0848	Vision Realty Int'l LLC
2215 KENWOOD AVE	018-2026-0849	Luczkowski Ervin C & Rita T
2210 KENWOOD AVE	018-2026-0850	Zaina Mazen Said
2209 KENWOOD AVE	018-2026-0851	Active Solutions LLC
2206 KENWOOD AVE	018-2026-0852	Flanner-Grace LLC
2205 KENWOOD AVE	018-2026-0853	Henry Baron and Kelley Tanisha
2202 KENWOOD AVE	018-2026-0854	Vision Realty Int'l LLC
2201 KENWOOD AVE	018-2026-0855	Scott Tony
2134 Kenwood Ave	018-2027-0856	Vision Reatly Intl LLC
2129 KENWOOD AVE	018-2027-0857	Vertex Equity Partners LLC

2130 KENWOOD AVE	018-2027-0858	Bonilla Fabian Crespo & Pesante Carmen Maria Valentin
2125 KENWOOD AVE	018-2027-0859	Vision Realty Int'l LLC
2126 KENWOOD AVE	018-2027-0860	Bonilla Fabian Crespo & Pesante Carmen Maria Valentin
2121 KENWOOD AVE	018-2027-0861	Vision Realty Int'l LLC
2117 KENWOOD AVE	018-2027-0863	Vertex Equity Partners LLC
2118 KENWOOD AVE	018-2027-0864	Womack Chataqua
2115 KENWOOD AVE	018-2027-0865	Vision Realty Intl LLC
2114 KENWOOD AVE	018-2027-0866	Mendoza Miguel
2113 KENWOOD AVE	018-2027-0867	Vision Realty Int'l LLC
2110 KENWOOD AVE	018-2027-0868	Benedict XVI LLC
2111 KENWOOD AVE	018-2027-0869	Zaina Mazen Said
2106 KENWOOD AVE	018-2027-0870	Vertex Equity Partners LLC
2105 KENWOOD AVE	018-2027-0871	Robles Manuel A Chavez & Vargas Sheyla Brigitte Chavez JTWROS
2101 KENWOOD AVE	018-2027-0872	TDB Enterprises LLC
2021 KENWOOD AVE	018-2027-0873	Vision Realty Int'l LLC
2017 KENWOOD AVE	018-2027-0874	Kimble Carl & Anna
2013 KENWOOD AVE	018-2027-0875	Hershberger Alexis D
2011 KENWOOD AVE	018-2027-0876	Covington Terry
2009 KENWOOD AVE	018-2027-0877	Vision Realty Int'l LLC
2007 KENWOOD AVE	018-2027-0878	Everhart Terry & Walter
2005 KENWOOD AVE	018-2027-0879	JENKINS RUDOLPH
2001 KENWOOD AVE	018-2027-0881	Housing Authority City Of So Bend
2123 ROGER ST	018-2028-0882	SFR3-080 LLC
2121 ROGER ST	018-2028-0883	Ladd Kevin J & Bolden Ladonna M aka Bolden Ladonna HW
2117 ROGER ST	018-2028-0884	Pinch-N-Post LLC
2115 ROGER ST	018-2028-0885	Vision Realty Int'l LLC
2109 ROGER ST	018-2028-0886	Vision Realty Int'l LLC
2105 ROGER ST	018-2028-0887	Vision Realty Int'l LLC
2101 ROGER ST	018-2028-0888	Paris Properties & Leasing LLC
2021 ROGER ST	018-2028-0889	Renew Inc

2017 ROGER ST	018-2028-0890	Pasadena LLC
2013 ROGER ST	018-2028-0891	Meredith Gene L & Judith
611 JOHNSON ST	018-2028-0892	Mudaliar Subhash Chand
605 JOHNSON ST	018-2028-0893	Celmer Jeannie & Kitt Cynthia & Jordanek Joseph A
601 JOHNSON ST	018-2028-0894	Rodriguez Saul
2122 ROGER ST	018-2028-0895	Gomez Guadalupe & Montoya-Rivera Cesar HW
2120 ROGER ST	018-2028-0896	Stephens Donald
2118 ROGER ST	018-2028-0897	Lichnerowicz Mary Jane And Betty Pawlis & John Lichnerowicz
2116 ROGER ST	018-2028-0898	LV Holdings LLC-S 2116 Roger LLC A Series of LV Holdings LLC
2114 ROGER ST	018-2028-0899	Executive Property Management of Michiana LLC
2110 ROGER ST	018-2028-0900	Vision Realty Int'l LLC
2106 ROGER ST	018-2028-0901	Harley Robert Jr
2102 ROGER ST	018-2028-0902	Harley Robert
2022 ROGER ST	018-2028-0903	Wambugu Mercy
2018 ROGER ST	018-2028-0904	Denson Carlton And Kathy
2014 ROGER ST	018-2028-0905	Lopez Victor
2012 ROGER ST	018-2028-0906	Lopez Victor M
523 JOHNSON ST	018-2028-0908	Stephens Linda M
2125 BERTRAND ST	018-2028-0909	Shurn LeRay Conroy
2119 BERTRAND ST	018-2028-0910	Shurn Helen F
2117 BERTRAND ST	018-2028-0911	IW South Bend LLC
2115 BERTRAND ST	018-2028-0912	Two Brothers Real Estate Investments LLP
2109 BERTRAND ST	018-2028-0913	Smith Adam
2105 BERTRAND ST	018-2028-0914	2105 Bertrand St Land Trust
2103 BERTRAND ST	018-2028-0915	Andrea Capital Investments LLC

2021 BERTRAND ST	018-2028-0916	The Housing Authority Of The City Of South Bend Indiana
2017 BERTRAND ST	018-2028-0917	Nixon William And Earle
2013 BERTRAND ST	018-2028-0918	Luster Billy R
517 JOHNSON ST	018-2028-0919	Cartwright Erin A
513 JOHNSON ST	018-2028-0920	Caradine Dwight and King Peggy Ann
511 JOHNSON ST	018-2028-0921	Nieves Blanca
414 HUEY ST	018-2028-0922	Miramontes Victor A Galicia
2122 BERTRAND ST	018-2028-0924	Vision Realty Int'l LLC
2120 BERTRAND ST	018-2028-0925	Vision Realty Int'l LLC
2114 BERTRAND ST	018-2028-0926	Lattimore Arthur
2110 BERTRAND ST	018-2028-0927	Fountain Investments LLC
2106 BERTRAND ST	018-2028-0928	Equity Trust Company Custodian FBO Pete Alexander IRA
2102 BERTRAND ST	018-2028-0929	Vision Realty Intl LLC
2022 BERTRAND ST	018-2028-0930	BM Rentals LLC
2018 BERTRAND ST	018-2028-0931	Pragma Real Estate LLC
2014 BERTRAND ST	018-2028-0932	Yenumula Venkat
507 JOHNSON ST	018-2028-0933	Danser Christina A & Martin Gerald G Sr HW
505 JOHNSON ST	018-2028-0934	Loiseau Michael A
501 JOHNSON ST	018-2028-0935	Gorny Tamara S
522 N OLIVE ST	018-2029-0955	Hairston Sandra J
516 N OLIVE ST	018-2029-0957	Montano-Cardoso Jesus & Cardozo- Garcia Sara
514 N OLIVE ST	018-2029-0958	Brown Roderick S & Mary K
2322 ROGER ST	018-2029-0960	Moreno Roberto
2314 ROGER ST	018-2029-0961	White Janeth E
2310 ROGER ST	018-2029-0962	Stelter Carol
2230 ROGER ST	018-2029-0965	Dotson LLC
2226 ROGER ST	018-2029-0966	Scott Lynn Frances

2214 ROGER ST	018-2029-0967	Mcginness Arthur H & Nancy C Trstes Arthur C Mcginness & Nancy C Mcginness Rev Living Trust
2214 ROGER ST	018-2029-0968	Mcginness Arthur H & Nancy C Trstes Arthur H Mcginness & Nancy C Mcginness Rev Living Trust
2214 ROGER ST	018-2029-0969	Mcginness Arthur H & Nancy C Trstes Arthur H Mcginness & Nancy C Mcginness Rev Living Trust
2208 ROGER ST	018-2029-0970	Rucker James Jr & Lizzie Rucker
2206 ROGER ST	018-2029-0971	Fuller Steven C
2204 ROGER ST	018-2029-0972	Campbell January
2202 ROGER ST	018-2029-0973	Hatcher-Palmer Tanya
512 N OLIVE ST	018-2030-0975	Ramos Guadalupe J and Mancada Flora
506 N OLIVE ST	018-2030-0977	Williams Albert and Ella
2321 BERTRAND ST	018-2030-0979	1st Choice Leasing USA LLC
2317 BERTRAND ST	018-2030-0980	Maefield Toni
2313 BERTRAND ST	018-2030-0981	Vision Realty Int'l LLC
2309 BERTRAND ST	018-2030-0982	Edmondson Stacey
2305 BERTRAND ST	018-2030-0983	Esparza Rene
2301 BERTRAND ST	018-2030-0984	R E Plus 3 LLC
2233 BERTRAND ST	018-2030-0985	Phillips Byga & Julia May
2229 BERTRAND ST	018-2030-0986	Phillips Byga And Julia Mae
2225 BERTRAND ST	018-2030-0987	Leggett Rubie Mae
2219 BERTRAND ST	018-2030-0988	Riviere Evans Cecil Jr & Marchelle Denise
2217 BERTRAND ST	018-2030-0989	Lindsey Marchelle D
2213 BERTRAND ST	018-2030-0990	Lindsey Marchelle D
2205 BERTRAND ST	018-2030-0991	Stone Dawn
422 N OLIVE ST	018-2030-0994	Lara Properties Corporation
420 N OLIVE ST	018-2030-0995	Lipscomb Katiki S

418 N OLIVE ST	018-2030-0996	Strong Indiana LLC
414 N OLIVE ST	018-2030-0997	Pruitt David L Jr
2322 BERTRAND ST	018-2030-0998	Chillis Herdisene C/O Elonda Hamilton
2318 BERTRAND ST	018-2030-0999	Vision Realty Int'l LLC
2316 BERTRAND ST	018-2030-1000	Vision Realty Int'l LLC
2310 BERTRAND ST	018-2030-1001	Nash Crystal Nicole
2302 BERTRAND ST	018-2030-1003	Active Solutions LLC
2232 BERTRAND ST	018-2030-1004	Creech Katherine MISC
2226 BERTRAND ST	018-2030-1005	Lunceford Teddy Ray
2226 BERTRAND ST	018-2030-1006	Lunceford Teddy Ray
2220 BERTRAND ST	018-2030-1007	Nash Juanita
2218 BERTRAND ST	018-2030-1008	Thomas Willie
2212 BERTRAND ST	018-2030-1009	Nash Juanita
421 HUEY ST	018-2030-1010	Miramontes Victor A Galicia
419 HUEY ST	018-2030-1011	Vision Realty Int'l LLC
417 HUEY ST	018-2030-1012	Zaina Mazen Said
415 HUEY ST	018-2030-1013	Cluxton Vince
638 HUEY ST	018-2036- 118701	Housing Authority Of South Bend
632 HUEY ST	018-2036- 118702	Housing Authority Of South Bend
639 OBRIEN ST	018-2036- 118801	Housing Authority Of Sb
	018-2036- 118802	St Joseph County
	018-2036-1189	Vision Realty Intl LLC
631 OBRIEN ST	018-2036-1190	Vision Realty Int'l LLC
629 OBRIEN ST	018-2036-1191	Vision Realty Int'l LLC
642 OBRIEN ST	018-2036-1192	Vision Realty Int'l LLC
	018-2036-1193	Vision Realty Int'l LLC
	018-2036-1194	Zaina Mazen Said
624 OBRIEN ST	018-2036-1195	Housing Authority Of Sb
636 OBRIEN ST	018-2036-1196	Lewandowski Brylee & Haley Lorene & Douglas Michael & Deena Anne & Nicokolas Alan & Brayden 1/6 int each
634 OBRIEN ST	018-2036-1197	Future Indiana Investments LLC

641 JOHNSON ST	018-2036-1198	Gonzalez Mario and Virginia
629 JOHNSON ST	018-2036-1199	Brian Quest LLC
627 JOHNSON ST	018-2036-1200	NYZP2 LLC
623 JOHNSON ST	018-2036-1201	Chavez Eusebio & Esmeralda Pedraza
619 JOHNSON ST	018-2036-1202	Regalado Victor
613 JOHNSON ST	018-2036-1203	Mudaliar Subhash Chand and Pino Cindy
615 JOHNSON ST	018-2036-120301	Perault Sue Ellen
622 HUEY ST	018-2036-1204	Davis Clarice D
625 OBRIEN ST	018-2036-1205	Vision Realty Int'l LLC
616 HUEY ST	018-2036-1206	Frison Amon R
	018-2036-1207	Vision Realty Int'l LLC
612 HUEY ST	018-2036-1208	Housing Authority South Bend
	018-2036-1209	Vision Realty Int'l LLC
231 N OLIVE ST	018-2038-1281	Vision Realty Int'l LLC
229 N OLIVE ST	018-2038-1282	Reed Percy
225 N OLIVE ST	018-2038-1283	Vision Realty Int'l LLC
221 N OLIVE ST	018-2038-1284	Sanders Anthony/Sanders Dwight
217 N OLIVE ST	018-2038-1285	Shurn Cleofus
213 N OLIVE ST	018-2038-1286	Reese William H
2415 LAWTON ST	018-2038-1290	Thomas Troy T
	018-2038-1291	Thomas Heather
2421 LAWTON ST	018-2038-1293	Weatherspoon Geraldine
2420 LAWTON ST	018-2038-1294	Thomas Heather
2423 LAWTON ST	018-2038-1296	Parks Victoria M
2424 LAWTON ST	018-2038-1297	Hunt John D & Rosie M
	018-2038-1299	Glispie Durell And Ora May
2427 LAWTON ST	018-2038-1302	Glispie Durell And Ora Mae
2501 LAWTON ST	018-2038-1305	Vision Realty Int'l LLC
	018-2038-1308	City of South Bend Board of Public Work
2509 LAWTON ST	018-2038-1311	Vision Realty Int'l LLC
2513 LAWTON ST	018-2038-1314	Davis Frank Sr & Davis Harold

2517 LAWTON ST	018-2038-1317	Wallace Jennifer
	018-2038-1320	Vision Realty Int'l LLC
	018-2038-1323	Vision Realty Int'l LLC
228 N MEADE ST	018-2038-1326	Vision Realty Int'l LLC
2525 KENWOOD AVE	018-2067-2461	Gogri Zenmah Guy
2521 KENWOOD AVE	018-2067-2462	Vanderheyden Robert S
2517 KENWOOD AVE	018-2067-2463	Hoogenboom Trent
2515 KENWOOD AVE	018-2067-2464	Salazar Raul
2505 KENWOOD AVE	018-2067-2466	Anderson Sheila D
2429 KENWOOD AVE	018-2067-246801	Int Free And Accepted Modern Masons Of S B
2421 KENWOOD AVE	018-2067-2470	Thompson Marvin Jr and Marvin Sr and Maurice
2417 KENWOOD AVE	018-2067-2471	Olive Johnnie
2413 KENWOOD AVE	018-2067-2472	Indiana Blue Real Estate LLC
2409 KENWOOD AVE	018-2067-2473	Kolar Ofir Zvi
2405 KENWOOD AVE	018-2067-2474	Lupercio Monica Cecilia Luna
401 N OLIVE ST	018-2067-2475	Olive Johnny & Maggie Bailey
2530 BERTRAND ST	018-2067-2477	Civil City of South Bend
2526 BERTRAND ST	018-2067-2478	Lynn Hamilton LLC
2524 BERTRAND ST	018-2067-2479	Housing Authority Sb
2518 BERTRAND ST	018-2067-2480	Vision Realty Int'l LLC
2516 BERTRAND ST	018-2067-2481	Taylor Jessie
2508 BERTRAND ST	018-2067-2482	Vision Realty Int'l LLC
2506 BERTRAND ST	018-2067-2483	Skyline Real Estate Services LLC
2502 BERTRAND ST	018-2067-2484	Vision Realty Int'l LLC
2430 BERTRAND ST	018-2067-2486	Dotson LLC
2418 BERTRAND ST	018-2067-2488	Dume Marc
2414 BERTRAND ST	018-2067-2489	R&A Olive Property LLC
2410 BERTRAND ST	018-2067-2490	R & A Olive Property LLC
2531 LINDEN AVE	018-2068-2494	Manjarrez-Carpinteiro Angel
2530 KENWOOD AVE	018-2068-2495	Salameh Ramadan
2527 LINDEN AVE	018-2068-2496	Lopez Jansel
	018-2068-2497	Salameh Ramadan
2525 LINDEN AVE	018-2068-2498	Benion Charles W
2522 KENWOOD AVE	018-2068-2499	Salameh Ramadan

2519 LINDEN AVE	018-2068-2500	Housing Authority Of Sb
2520 KENWOOD AVE	018-2068-2501	Salameh Ramadan
2518 KENWOOD AVE	018-2068-2502	Salameh Ramadan
2509 LINDEN AVE	018-2068-2503	Flores Soraida and Manjarrez Angel
2514 KENWOOD AVE	018-2068-2506	Welch Claudia
2505 LINDEN AVE	018-2068-2507	Anderson Geri
2504 KENWOOD AVE	018-2068-2508	Cook Maryann
2501 LINDEN AVE	018-2068-2509	Housing Authority Of South Bend
2502 KENWOOD AVE	018-2068-2510	BAILEY VERDA L
2429 LINDEN AVE	018-2068-2511	Williams Yvonne
2430 KENWOOD AVE	018-2068-2512	Corbitt Willie Lee & Rosetta
2425 LINDEN AVE	018-2068-2513	Rivera Ireneo & Herrera Maria
2426 KENWOOD AVE	018-2068-2514	Cuevas Luis G Tapia & Aparicio Maritza Farias HW
2419 LINDEN AVE	018-2068-2515	Vision Realty Int'l LLC
2422 KENWOOD AVE	018-2068-2516	Robinson Rochelle & Glispie Durell
2417 LINDEN AVE	018-2068-2517	Wani & Associates PC Cash Balance Plan
2418 KENWOOD AVE	018-2068-2518	Merriweather Dianna
2414 KENWOOD AVE	018-2068-2520	Skyblue Enterprises LLC
2409 LINDEN AVE	018-2068-2521	Deaver Michael R & Emily L HW
2408 KENWOOD AVE	018-2068-2522	Somersby LLC
323 N OLIVE ST	018-2068-2523	Mike Bajdek Mobile Service Inc
2404 KENWOOD AVE	018-2068-2524	Mike Bajdek Mobile Service Inc
323 N OLIVE ST	018-2068-2525	Mike Bajdek Mobile Service Inc
325 N OLIVE ST	018-2068-2526	Mike Bajdek Mobile Service Inc
2530 LINDEN AVE	018-2069-2537	HASKINS REMONA
2522 LINDEN AVE	018-2069-2539	Gillam Debra
2518 LINDEN AVE	018-2069-2540	Civil City of South Bend
2510 LINDEN AVE	018-2069-2542	Lopez Victor

2506 LINDEN AVE	018-2069-2543	Civil City of South Bend
2502 LINDEN AVE	018-2069-2544	Lopez Victor
2432 LINDEN AVE	018-2069-2546	Ford Alexandria
2422 LINDEN AVE	018-2069-2548	Shang Maoyu
2418 LINDEN AVE	018-2069-2549	Hairston Jennine
2414 LINDEN AVE	018-2069-2550	Lopez Victor
2410 LINDEN AVE	018-2069-2551	Blewett Nathan & Jill HW
2406 LINDEN AVE	018-2069-2552	Ledesma Cristhian M
311 N OLIVE ST	018-2069-2553	Ledesma Cristhian M
2532 ROGER ST	018-2070-2571	Housing Authority Of Sb
2536 ROGER ST	018-2070-2572	Lewandowski Nicholas and Rasheeda
2522 ROGER ST	018-2070-2573	Lewandowski Nicholas and Rasheeda
2518 ROGER ST	018-2070-257401	Dixon Rhonda
	018-2070-257501	Dixon Rhonda & Larry
2510 ROGER ST	018-2070-2576	Housing Authority Sb
	018-2070-2577	Rucker James and Rose
2502 ROGER ST	018-2070-2578	Rucker James and Rose
2430 ROGER ST	018-2070-2579	Lopez Alejandra Y
2426 ROGER ST	018-2070-2580	SGLIN LLC
2422 ROGER ST	018-2070-2581	Vision Realty Int'l LLC
2418 ROGER ST	018-2070-2582	Williams Cory Lee
2414 ROGER ST	018-2070-2583	Brown Roderick
	018-2070-2585	Brown Roderick
	018-2070-2586	Brown Roderick
2529 BERTRAND ST	018-2070-2587	Sanders Lois Ann
2525 BERTRAND ST	018-2070-2588	Homey LLC
2523 BERTRAND ST	018-2070-2589	Housing Authority Sb
2513 1/2 BERTRAND ST	018-2070-259001	Ricketts Tanya Ann
2513 BERTRAND ST	018-2070-259101	Ricketts Tanya Ann
2509 BERTRAND ST	018-2070-2592	Russell Raymond & Marceline HW
2503 BERTRAND ST	018-2070-2593	Vision Realty Int'l LLC
2501 BERTRAND ST	018-2070-2594	Vision Realty Int'l LLC

2429 BERTRAND ST	018-2070-2595	Vision Realty Int'l LLC
2425 BERTRAND ST	018-2070-2596	Vision Realty Int'l LLC
2421 BERTRAND ST	018-2070-2597	Vision Realty Int'l LLC
	018-2070-2598	Vision Realty Int'l LLC
2413 BERTRAND ST	018-2070-2599	Howell Dennis
2409 BERTRAND ST	018-2070-2600	Howell Dennis
511 N OLIVE ST	018-2070-2601	Howell Dennis and Lavern
501 N OLIVE ST	018-2070-2602	Huffer Sherri L

Appendix D – DEVELOPMENT AREA PLAN DOCUMENTS

The following plans cover all or some of the River West Development Area and provide further details on the activities, goals, and objectives within it:

CITYWIDE PLANS

- [Bike South Bend 2010-12 Plan](#) (2010)
- [South Bend Comprehensive Plan \(City Plan\)](#) (2006)
- [Housing and Community Development Plan](#) (2009)

NEIGHBORHOOD PLANS

- [Kennedy Park Neighborhood Plan](#) (2022)
- [Lincoln Park Neighborhood Revitalization Plan](#) (2012)
- [Monroe Park Edgewater Neighborhood Plan](#) (2023)
- [Southeast Neighborhood Master Plan](#) (2015)
- [Rum Village Neighborhood Plan](#) (2022)

COMMERCIAL CORRIDOR PLANS

- [West Side Main Streets \[Lincolnway West and Western Avenue\] Plan](#) (2014)

VENUES, PARKS & ARTS PLANS

- [City Cemetery Master Plan & Improvements \(View South Bend City Cemetery Page\)](#) (2015)
- [Riverfront Parks & Trails Conceptual Framework \(View Riverfront Parks & Trails Page\)](#) (2016)

RESIDENTIAL HOUSING ALLOCATION AREAS

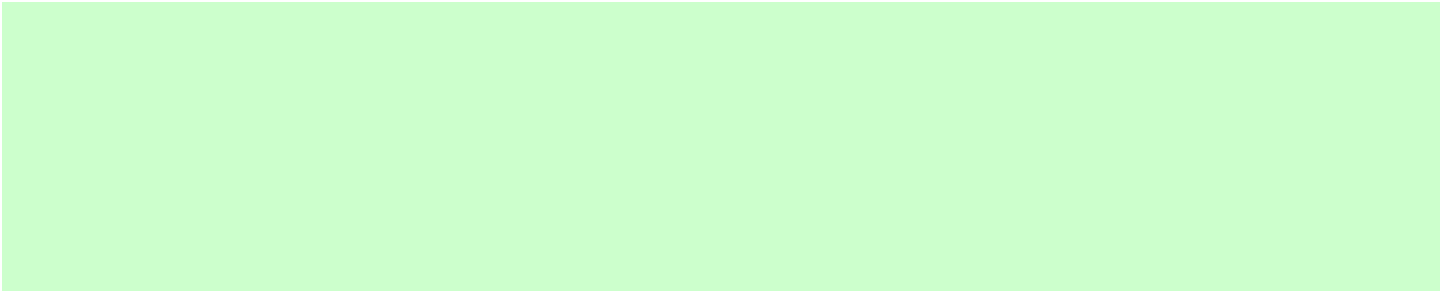
- Lincoln and Kennedy Park Residential Housing Development Program Plan

EXHIBIT D


Residential Program

Lincoln and Kennedy Park Residential Housing Development Program Area

(See Attached.)



LINCOLN AND KENNEDY PARK RESIDENTIAL HOUSING ECONOMIC DEVELOPMENT AREA PLAN



CITY OF SOUTH BEND
2025

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Introduction

The City of South Bend Redevelopment Commission (the “Redevelopment Commission”) proposes to establish a residential housing development program and related allocation area pursuant to IC 36-7-14-39 and IC 36-7-14-56 (the “Allocation Area”) within the City of South Bend, Indiana (the “City”), to be known as the “Lincoln and Kennedy Park Residential Housing Development Program” (the “Program”). The proposed Program is within the River West Development Area (the “River West TIF” or “Area”). This document serves as the plan for the Area (the “Plan”) as a component of the River West Development Area Plan (the “River West Plan”).

The Plan, as a component of the River West Plan, must be approved by the City’s Redevelopment Commission, the Plan Commission, and the Common Council pursuant to state law (IC 36-7-14-15 and IC 36-7-14-16). Upon approval, the Redevelopment Commission will hold a public hearing—pursuant to state law (IC 36-7-14-17)—before confirming (or modifying and confirming) the designation of the Area and the approval of the Plan.

Purpose

The purpose of the Lincoln and Kennedy Park Residential Housing Development Plan is as follows:

- To benefit public health, safety, and welfare of citizens;
- To increase the economic well-being of the City;
- To protect and increase property values in the City;
- To increase development of a variety of housing opportunities within the City;
- To promote high quality, impactful public improvement projects that benefit the residents of the Area;
- To attract and retain jobs;
- To increase the number of students within the associated school district; and
- To increase the property tax base.

Location of Lincoln and Kennedy Park Residential Housing Development Program

The Program includes parcels within both the Lincoln Park and Kennedy Park neighborhoods. The development area boundary is more specifically represented by the boundary map in Appendix A and in the legal description found in Appendix B.

Permissible Projects

The South Bend Redevelopment Commission may implement the use of TIF within a redevelopment area or economic development area pursuant to state law (I.C. 36-7-14).

Tax increment revenues from the Allocation Area or other sources of funds available to the Redevelopment Commission, may be used for the purposes permitted in state law (I.C. 36-7-14-53 through I.C. 36-7-14-56).

Tax increment revenues from the Allocation Area may be used to finance the cost of infrastructure improvements, as well as demolition, in or serving the Allocation Area for the following purposes:

1. Transportation enhancement projects, including but not limited to:
 - a. Curbs, gutters, shoulders, street paving and construction;
 - b. Bridge improvements;
 - c. Sidewalk and multiuse pathway improvement; and
 - d. Street lighting, traffic signals, and site improvements including landscape buffers.
2. Utility infrastructure projects, including but not limited to:
 - a. Utility relocation;
 - b. Water lines, water wells, water towers, and wastewater lines; and
 - c. Storm water lines, retention ponds, ditches, and storm water basin improvements.
3. Public park improvements and recreational equipment

Additional permitted uses for tax increment revenue within the Allocation Area include:

1. Offset payments by developers on promissory notes in connection with economic development revenue bond financings;
2. Pay principal or interest on economic development revenue bonds issued by the unit to provide incentives to developers;
3. The acquisition or construction of projects to enhance the cultural attractiveness of the Allocation Area;
4. The acquisition or construction of projects, including the acquisition of vehicles and equipment, to enhance the public safety of the Allocation Area. Note, tax increment revenues from the Allocation Area that are allocated for police and fire services located in or benefiting the Allocation Area, including the financing of capital expenditures and/or operating expenses of such services are also permitted;

5. The tax increment revenue available to the Commission may be used for activities to prepare individuals to participate in the global economy as described in I.C. 36-7-25-7; provided, however, that the Commission spends no more than 15% of the annual tax increment revenue it receives; and
6. All other projects and purposes permitted by law.

Activities, as well as goals and objectives, may be further detailed in the River West Plan and adopted neighborhood and master plans for areas within the River West Development Area. These plan documents are listed in Appendix D.

Tax Increment Financing (“TIF”) District

The South Bend Redevelopment Commission may implement the use of TIF within a redevelopment area or economic development area pursuant to state law (I.C. 36-7-14).

TIF allocation areas target areas needing redevelopment and economic development areas in order to transform them into viable areas making the community more appealing and attractive for economic development, which creates a better quality of life for the districts’ residents. TIF allocation areas are powerful and effective tools that may provide financing for infrastructure improvements within redevelopment projects which may, in turn, entice market dollars back into economic development areas and areas needing redevelopment, including abandoned and dilapidated areas. The lifespan of a TIF allocation area varies based upon the time of its creation.

TIF creates revenues for improvements without raising taxes, offers incentives for businesses and developers, and builds communities. TIF works by capturing additional property tax revenue due to the revitalization of a designated area. The base assessed value of the year in which the TIF allocation area is established is used as the base year, and tax revenues generated due to the increase in assessed value over the base year assessment of properties within the TIF allocation area are set aside to use for improvements that are located in that TIF allocation area. Thus, no new taxes or increases in tax rates occur, rather TIF funds are generated when property values improve due to the overall improvement of the TIF allocation area.

Statutory Findings

The Plan, as a component of the River West Plan, meets the following required findings by the Redevelopment Commission pursuant to state law (I.C. 36-7-14-41(b)):

1. The Plan and associated projects will create economic development, job growth, and increase the tax base of the City, meeting purposes outlined in state law (I.C. 36-7-14-2.5, I.C. 36-7-14-41, and I.C. 36-7-14-43);
2. The use of tax increment financing (TIF) from the Allocation Area is necessary to construct various projects within and benefitting the Allocation Area;

3. The public health and welfare will be benefitted by implementation of the Plan and construction of associated projects;
4. The accomplishment of the Plan, as a component of the River West Plan for the Area will be a public utility and benefit, measured by the attraction and retention of permanent job, an increase in the property tax base, improved diversity of the tax base, or other similar benefit; and
5. The Plan, as a component of the River West Plan, conforms to the comprehensive plan for the City and is designed to enhance the economic well-being of the City.

Acquisition List

This Plan does not currently contemplate any property acquisition. If the Redevelopment Commission were to acquire real property, it shall follow the procedures set forth in state law (I.C. 36-7-14-19 or I.C. 36-7-14-19.5). Because the Commission does not intend to acquire property for the potential projects, the Commission will not incur any costs of acquisition. However, the Commission will incur certain costs in connection with the development of potential projects. The estimated cost of the potential projects is not expected to exceed an amount that can be raised based on the amount of tax increment revenues generated in the Allocation Area.

Disposal of Property

If the Redevelopment Commission were to acquire real property, the Commission may dispose of it by sale or lease to the public according to state law (I.C. 36-7-14-22).

Procedure for Amendment of the Plan

The Lincoln and Kennedy Park Residential Housing Development Program Plan may be amended by the following procedures described in state law (I.C. 36-7-14-17.5) which currently has requirements for Council approval and the opportunity public input and comment. Any change affecting any property or contractual right may be made only in accordance with applicable state and local laws.

APPENDIX

Appendix A- Map of Development Area

Figure 1: River West Economic Development Area, Proposed Lincoln and Kennedy Park Residential Housing Development Program Allocation Area

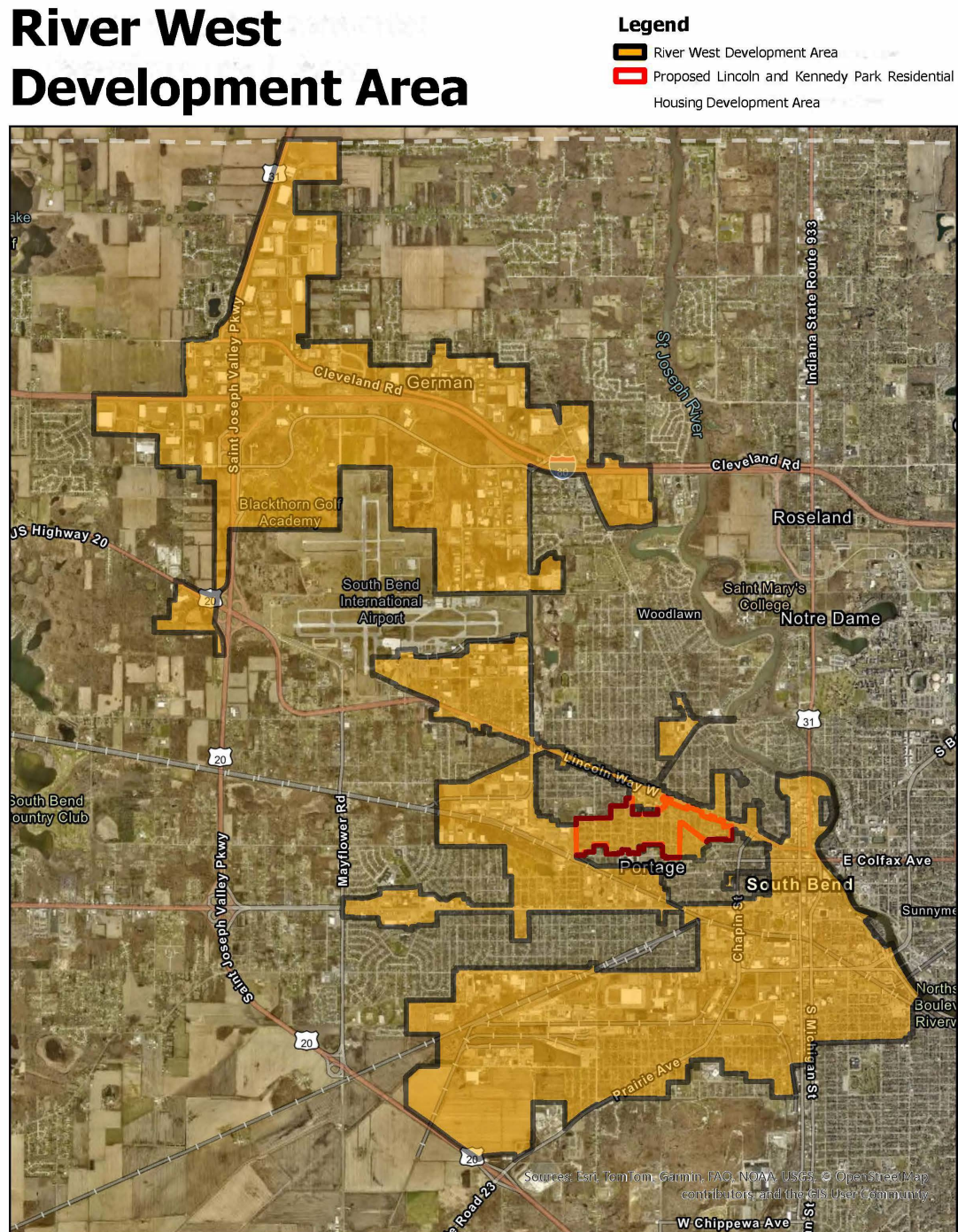
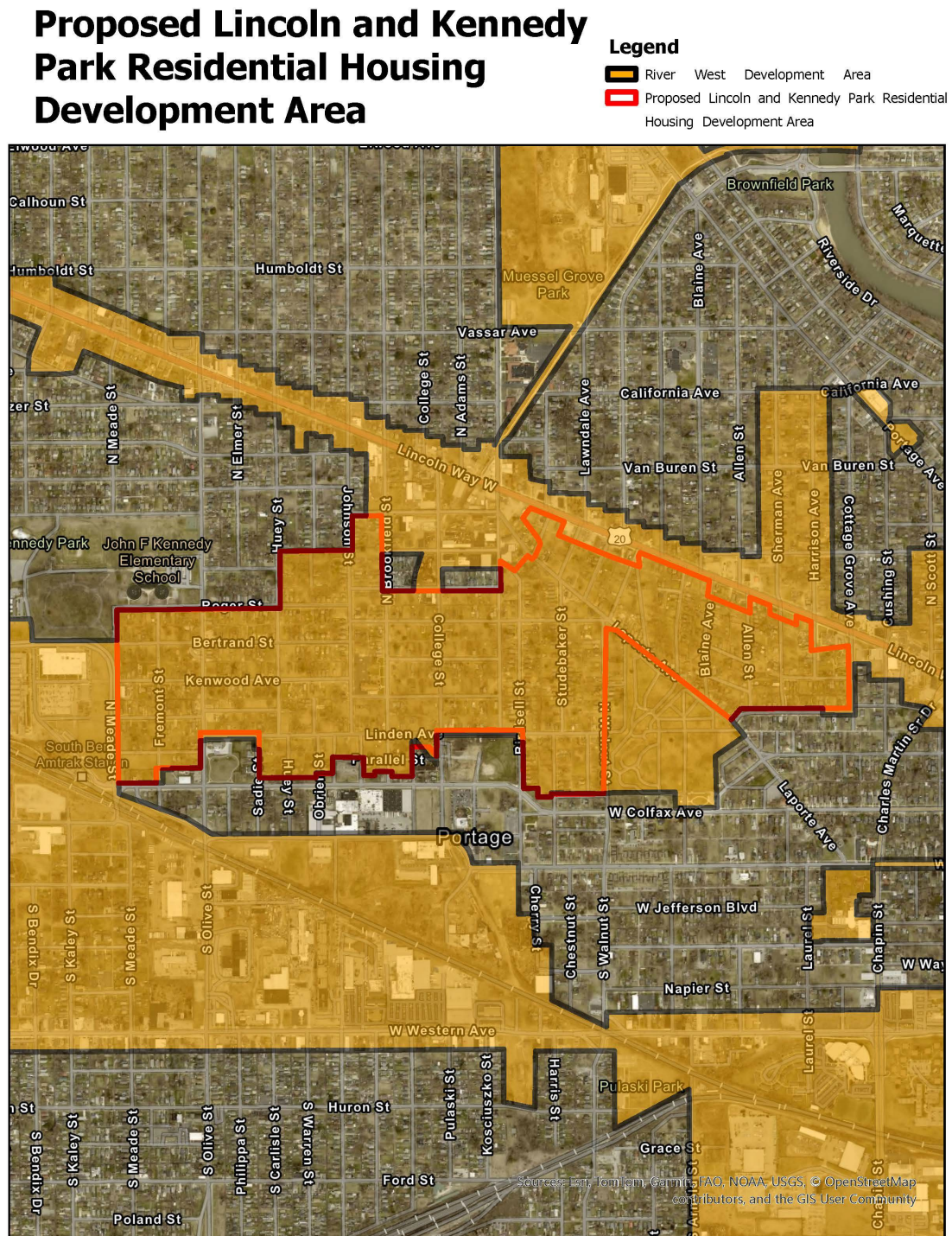


Figure 2: Proposed Lincoln and Kennedy Park Residential Housing Development Program Allocation Area



Appendix B- Legal Description of the Proposed Boundary

Housing Parcel 1:

Beginning at the Southeast corner of Lot # 6 of "Fuerbringer 2nd Addition" Subdivision as recorded in the records of the St. Joseph County, Indiana Recorder's Office; thence West along the North right-of-way line of Oak Street to the Southeast corner of Lot # 13 in said Plat; said corner also being on the East right-of-way line of a North-South Public Alley; thence North along said East line and its Northerly extension (Crossing Fuerbringer Street 40 Foot Wide) to a point on the North right-of-way line of said Street; thence West along said North line (Crossing Harrison Avenue 60 Foot Wide) to a point of intersection with the East right-of-way line of Sherman Avenue; thence North along said East line, to the Northwest corner of Lot # 21 in the Plat of "Witherill's 2nd Addition" Subdivision as recorded in the Records of said County, said corner also being on the Southerly right-of-way line of a Northwesterly-Southeasterly Public Alley; thence in a Northwesterly direction (Crossing Sherman Avenue 40.26 Foot Wide) to the Northeasterly corner of Lot # 22 in said Plat; said corner also being on the Southerly right-of-way of a Northwesterly-Southeasterly Public Alley; thence Northwesterly along said Southerly line to a point of intersection with the East right-of-way line of Allen Street; thence North along said East line to a point of intersection with the Southerly right-of-way line of Lincolnway West; thence Southeasterly along said Southerly line to the Northeasterly corner of a Parcel of Ground having a Tax Key Identification Number of 018-1034-1466 as shown in the records of the St. Joseph County, Indiana Auditor's Office; thence South along the East line of said Parcel to the North line of Lot # 24 in the Plat of "Witherill's 2nd Addition" Subdivision as recorded in the Records of said County; thence Southeasterly along the North line of said Lot and (Crossing Sherman Avenue 40.26 Foot Wide) to the Northwesterly corner of Lot # 23 in said Plat; thence Southerly along the North line of said Lot and its' Southeasterly extension to a point on the West line of Lot # 1 of the Plat of "Rockstroh & Nickol's 1st Addition" Subdivision as recorded in the records of said County; thence North along said West line to a point of intersection with the Southerly right-of-way line of said Lincolnway West; thence Southeasterly along said Southerly line to a point of intersection with the West right-of-way line of Harrison Avenue; thence South along said West line to the Southeast corner of Lot # 6 in said Plat of "Rockstroh & Nickol's 1st Addition" Subdivision; thence in a Northeasterly direction (Crossing Harrison Avenue 60 Foot Wide) to the Southwesterly corner of Lot # 1 of the Plat of "Colfax Cultural Minor Subdivision" as shown in the Records of said County, said corner also being on the Northerly right-of-way line of a 14 Foot Wide Northeasterly-Southwesterly Public Alley; thence Northeasterly along said Northerly line to a point of intersection with the West right-of-way line of Cottage Grove Avenue; thence South along said West Line to the point of beginning.

Containing 6.96 Acres more or less.

Housing Parcel 2:

Beginning at the intersection of the Westerly right-of-way line of Blaine Avenue with the Northerly right-of-way line of LaPorte Avenue; thence Northwesterly along said Northerly line to the Southwesterly corner of Lot # 29 in the Plat of "Orchard Heights Addition" Subdivision as recorded in the Records of the St. Joseph County, Indiana Recorder's Office; thence in a Westerly direction (Crossing La Porte Avenue 40 Foot Wide). to the Northeast corner of Lot # 101 in the Plat of "Swygart's 2nd Addition" Subdivision as recorded in the Records of said County; thence West along the North line of said Lot to the Northwest corner of said Lot, said corner also being on the East right-of-way line of Walnut Street; thence North along said East line to the Northwest corner of Lot # 102 in said Plat, said corner also being on the South right-of-way line of Fassnacht Avenue; thence East along said South line to the Northeast corner of said Lot # 102; thence

Northeasterly (Crossing La Porte Avenue 40 Foot Wide) to the Southwest corner of Lot # 33 in said Plat of "Orchard Heights Addition", said corner also being on the Easterly right-of-way line of Walnut Avenue; thence Northeasterly along said Easterly line to the Northwest Corner of Lot # 46 in said Plat; thence East along the North line of said Lot and its' Easterly extension (Crossing Euclid Avenue 40 Foot Wide) to a point on the East right-of-way line of said Euclid Avenue; thence in a Northerly and Northeasterly direction along said East line to the Southerly Right of Way Line of Lincolnway West; thence Southeasterly along said Southerly line (Crossing Cleveland Avenue 50 Foot Wide) to a point of intersection with the West right-of-way line of Blaine Avenue; thence Southwesterly and Southeasterly along said West line to the point of Beginning.

Containing 14.71 Acres more or less.

Housing Parcel 3:

Beginning at the Northwesterly corner of Lot # 45 in the Plat of "Pleasant Home Addition" Subdivision, said corner also being on the Southerly right-of-way line of Lincolnway West; thence Southeasterly along said Southerly line (Crossing Sancome Avenue 40 Foot Wide) to the Northeasterly corner of Lot # 24 in said Plat; thence Southwesterly along said East line to the Southeasterly corner of said Lot, said corner also being on the Northerly right-of-way line of a 12 Foot Wide Public Alley; thence Northwesterly along said Northerly line (Crossing Sancome Avenue 40 Foot Wide) to the Southeasterly corner of Lot # 42 in said Plat, said corner also being on the Westerly right-of-way line of Sancome Avenue; thence Southwesterly along said Westerly line to the Southeasterly corner of Lot # 40 in said Plat, said corner also being on the Northerly right-of-way line of a 10 Foot Wide Northwesterly-Southeasterly Public Alley; thence Northwesterly along said Northerly line and its Northwesterly extension to the Southwesterly corner of Lot # 45 in said Plat; thence Northeasterly along the West line of said Lot to the point of Beginning.

Containing 1.14 Acres More or less.

Housing Parcel 4:

Beginning at the Southwesterly corner of a Parcel of Ground having a Tax Key Identification Number of 018-1053-2282 as shown in the Records of the St. Joseph County, Indiana Auditor's Office; said corner also being on the East right-of-way line of Wilbur Street; thence North along said East line to the Northwesterly corner of a Parcel of Ground having a Tax Key Identification Number of 018-1053-2275 in the Records of said Auditor's Office; thence Southeasterly along the Northerly line of said Parcel to a point of intersection with the Westerly right-of-way line of Sancome Avenue; thence in a Southwesterly and Southeasterly direction along said Westerly line to a point of intersection with the Northerly right-of-way line of a 14 Foot Wide Northeasterly-Southwesterly Public Alley; thence Southwesterly along said Northerly line to the point of Beginning.

Containing 0.06 Acres More or less.

Housing Parcel 5:

Beginning at the Southwest corner of Lot # 21 of the Plat of " Hollowell & Smith's Subdivision" as recorded in the Records of the St. Joseph County, Indiana Recorder's Office, said corner also being the point of intersection of the North right-of-way line of Linden Street with the East right-of-way line of Olive Street;

thence North along said East line to the Northwest corner of said Lot, said corner also being on the South right-of-way line of a 12 Foot Wide East-West Public Alley; thence East along the South line of said Alley and its' Easterly extension to a point on the West line of Lot # 5 in said Plat; thence North to the Northwest corner of said Lot; thence East along the North line of said Lot to the Northeast corner of said Lot, said corner also being on the West right-of-way line of Huey Street; thence North along said West line to the Northeast corner of Lot # 3 in said Plat; thence East (Crossing Huey Street 52 Foot Wide) to the Northwest corner of Lot # 18 in the Plat of "Wheeler's Subdivision" as recorded in the Records of said County; thence East along the North line of said Lot and its' Easterly extension to a point on the West line of the Plat of "Werwinski's 2nd Subdivision" as recorded in the Records of said County, said line also being the East right-of-way line of a 14 Foot Wide North-South Public Alley; thence South along said East line to the Southwest corner of Lot # 10 in said Plat; thence East along the South line of said Lot to the Southeast corner of said Lot, said corner also being on the West right-of-way line of O'Brien Street; thence North along said West line to the Northeast corner of said Lot # 10; thence East (Crossing O'Brien Street 66 Foot Wide) to the Southwest corner of Lot # 18 in said Plat, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence East along said North line to the Southeast corner of Lot # 25 in said Plat, said corner also being on the West right-of-way line of Johnson Street; thence East (Crossing Johnson Street 60 Foot Wide) to the Southwest corner of Lot # 35 in the Plat of "Linden Place Addition" Subdivision as recorded in the Records of said County, said corner also being on the North right--of-way line of a 14 Foot Wide East-West Public Alley; thence East along said North line (Crossing Brookfield Street 66 Foot Wide and the now abandoned Penn Central Railroad Spur Line 66 Foot Wide) to the East right-of-way line of said abandoned Penn Central Railroad Spur Line; thence North and Northeasterly along said East line (Crossing Florence Street 60 Foot Wide, Sibley Street 60 Foot Wide and Fassnacht Street 60 Foot Wide) to a point of intersection with the South right-of-way line of Longley Avenue; thence East along said South line to a point of intersection with the West right-of-way line of College Street; thence South along said West line (Crossing Fassnacht Street 60 Foot Wide, Sibley Street 60 Foot Wide and Florence Street 60 Foot Wide to the Southeast corner of Lot # 54 in said "Linden Place Addition" Subdivision; thence East (Crossing College Street 66 Foot Wide) to the Southwest corner of Lot # 55 in said Plat, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence East along said North line (Crossing Wilbur Street) to a point on the East right-of-way line of said Wilbur Street; thence South along said East line to the Southwest corner of Lot # 2 of the Plat of "Swygart's Addition" Subdivision, as recorded in the Records of said County; thence East along said South line to the Southeast corner of said Lot, said corner also being on the West right-of-way line of Birdsell Street; thence North along said West line to the Northeast corner of Lot # 3 in said Plat; thence East (Crossing Birdsell Street 66 Foot Wide to the Southwest corner of Lot # 27 in said Plat, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence East along said North line (Crossing Studebaker Street 60 Foot Wide) to the Southeast corner of Lot # 52 in said Plat, said corner also being on the West right-of-way line of Walnut Street; thence South along said West line (Crossing Linden Street 60 Foot Wide to the Northeast corner of Lot # 68 in the Plat of "Arnold & Pagin's Subdivision" as recorded in the Records of said County; thence West along the North line of said Lot 50 feet; thence South 40 feet to the South line of said Lot; thence West along said South line 68 feet to the Southwest corner of said Lot and the East right-of-way line of Pagin Street; thence North along said East line 40 feet to the Northwest corner of said Lot; thence West (Crossing Pagin Street 50 Foot Wide) to the Northeast corner of Lot # 63 in said Plat; thence West along the North line of said Lot and its' Westerly extension (Crossing a 13 Foot Wide North-South Public Alley to the Northeast corner of Lot # 42 in said Plat; said corner also being on the West right-of-way line of said Public Alley; thence North along said West line 15 Feet to the Northeast corner of a Parcel of Ground having Tax Key Identification Number 018-1046-1966 as shown in the Records of the St. Joseph County, Indiana Auditor's Office; thence along the North line of said Parcel to the Northwest corner of said Parcel, said corner being on the East right-of-way line of Studebaker Street; thence West (Crossing

Studebaker Street 50 Foot Wide) to the Northeast corner of Lot # 37 in said Plat; thence West along the North line of said Lot and its' Westerly extension (Crossing a 14 Foot Wide North-South Public Alley to the Southeast corner of Lot # 15 in said Plat, said corner also being on the West right-of-way line of said Public Alley; thence North along said West line to the Northeast corner of said Lot; thence West along the North line of said Lot # 15 to the Northwest corner of said Lot, said corner also being on the East right-of-way line of Birdsell Street; thence North along said East line and its' Northerly extension (Crossing Linden Street 60 Feet Wide) to a point of intersection with the North right-of-way line of said Linden Street and the East right-of-way line of Birdsell Street; thence West (Crossing Birdsell Street 66 Foot Wide, Wilbur Street 38.86 Foot Wide and College Street 66 Foot Wide); thence South along the Southerly extension of the West line of said College Street (Crossing Linden Street 60 Foot Wide) to a point of intersection with the Southerly right-of-way line of the now abandoned Penn Central Railroad Spur Line; thence Northwesterly along said Southerly line to a point of intersection with the East right-of-way line of Jackson Street; thence Southwesterly (Crossing Jackson Street 33 Foot Wide) to the Southwest corner of a Parcel of Ground having Tax Key Identification Number 018-2007-0062.02 as shown in the Records of said County Auditor's Office; thence along the South line of said Parcel to the Southwest corner of said Parcel, said corner also being on the East right-of-way line of a 10 Foot Wide North-South Public Alley; thence North along said East line to a point directly East of the Southwest corner of a Parcel of Ground having Tax Key Identification Number 018-2007-0062 as shown in the Records of said County Auditor's Office; thence West (Crossing said Public Alley to said Southeast Parcel corner; thence West along the South line of said Parcel and its' Westerly extension (Crossing Brookfield Street 66 Foot Wide) to the West right-of-way line of said Brookfield Street; thence South along said West line to the Southeast corner of Lot # 5 in the Plat of "College Grove" Subdivision as shown in the Records of said County; thence West along the South Line of said Lot and its' Westerly extension (Crossing Johnson Street 66 Foot Wide) to the Southeast corner of Lot # 6 in said Plat; thence West along the South line of said Lot and its' Westerly extension (Crossing Grant Street 33 Foot Wide); thence South along said West line to the Southeast corner of Lot # 9 in the Plat of "College Grove Addition" Subdivision as recorded in the Records of said County, said corner also being on the North right-of-way line of a 12 Foot Wide East-West Public Alley; thence West along said North line and its' Westerly extension (Crossing a 12 Foot Wide North-South Public Alley) to the West right-of-way line of said Public Alley; thence North along said West line to the Northeast corner of Lot # 63 in the Plat of "Arnold's 2nd Addition" Subdivision as shown in the Records of said County; thence West along said North line 52 feet; thence North 8 feet along the East line of a Parcel of Ground having a Tax Key Identification Number 018-2023-0683.01 as shown in the records of said Auditor's Office to the Northeast corner of said parcel; thence West along the North line of said Parcel to the Northwest corner of said Parcel, said corner also being on the East right-of-way line of Sadie Street; thence North along said East line and its' Northerly extension (Crossing Linden Street 60 Foot Wide) to a point on the North right-of-way line of said Linden Street; thence West along said North line to the point of Beginning.

Containing 20.96 Acres More or less.

Housing Parcel 6:

Beginning at the Southwest corner of Lot # 52 in the Plat of "West End Subdivision" as recorded in the Records of the St. Joseph County, Indiana Recorder's Office, said corner also being the intersection of the North right-of-way line of Orange Street with the East right-of-way line of Meade Street; thence North along said East line to a point of intersection with the South right-of-way line of Lawton Street; thence East along said South line (Crossing Freemont Street 60 Foot Wide) to the Northeast corner of Lot # 38 in the Plat of said "West End Subdivision"; thence South along the East line of said Lot to the Southeast corner of said Lot, said corner also being on the North right-of-way line of a 14 Foot Wide East-West Public Alley; thence

West along said North line and its' Westerly extension (Crossing Freemont Street 60 Foot Wide) to a point of intersection with the West right-of-way line of said Freemont Street; thence South along said West line to a point of intersection with the North right-of-way line of Orange Street; thence West along said North line to the point of Beginning.

Containing 2.62 Acres more or less.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #1 ADDED TO RWDA:

BEGINNING AT THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF MEADE STREET WITH THE NORTH RIGHT-OF-WAY LINE OF BERTRAND STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF ROGERS STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION OF SAID SOUTH LINE WITH THE EAST RIGHT-OF-WAY LINE OF HUEY STREET; THENCE NORTH ALONG SAID EAST LINE OF HUEY STREET TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF WERWINSKI STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF JOHNSON STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF RUPEL STREET; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF BROOKFIELD STREET; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF LONGLEY AVENUE; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF THE NOW ABANDONED PENN CENTRAL RAILROAD SPUR; THENCE SOUTH ALONG SAID WESTERLY LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF THE FIRST EAST-WEST 14 FOOT WIDE PUBLIC ALLEY SOUTH OF FLORENCE STREET; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING JOHNSON STREET 60 FT. WIDE) TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF JOHNSON STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 25 IN THE PLAT OF "WERWINSKI 2ND SUBDIVISION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 10 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING O'BRIEN STREET 66 FT. WIDE) TO THE NORTHEAST CORNER OF LOT # 10 IN SAID PLAT, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF O'BRIEN STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE NORTHEAST CORNER OF LOT # 9 IN SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT TO THE NORTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT # 12 IN SAID PLAT; THENCE WEST (CROSSING SAID 14 FOOT WIDE NORTH-SOUTH ALLEY) TO THE NORTHEAST CORNER OF LOT # 18 IN THE PLAT OF "WHEELER'S SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST ALONG THE NORTH LINE OF SAID LOT AND ITS' WESTERLY EXTENSION (CROSSING HUEY STREET 52 FT. WIDE) TO THE NORTHEAST CORNER OF LOT # 3 IN THE PLAT OF "HOLLOWELL & SMITH'S SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF HUEY STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 4 IN SAID PLAT; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF A 12 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID EAST LINE AND THE WEST LINE OF LOT # 5 IN SAID PLAT 6.5 FEET MORE OR LESS TO A POINT WHICH IS DIRECTLY EAST OF THE SOUTHEAST CORNER OF LOT # 35 IN SAID PLAT; THENCE WEST 12 FEET TO SAID CORNER, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING OLIVE STREET 50 FT. WIDE) TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF OLIVE STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 13 IN THE PLAT OF "WEST END SUBDIVISION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID

NORTH LINE TO THE SOUTHEAST CORNER OF LOT # 35 IN SAID PLAT; THENCE NORTH ALONG THE EAST LINE OF SAID LOT AND ITS' NORTHERLY EXTENSION (CROSSING LAWTON STREET 42 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF SAID LAWTON STREET; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF LOT # 68 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF MEADE STREET; THENCE NORTH ALONG SAID EAST LINE TO THE POINT OF BEGINNING.

CONTAINING 78.3 ACRES MORE OR LESS.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #2 ADDED TO RWDA:

BEGINNING AT THE SOUTHWEST CORNER OF LOT # 55 IN THE PLAT OF "LINDEN PLACE ADDITION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF COLLEGE STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF LONGLEY AVENUE; THENCE EAST ALONG SAID SOUTH LINE TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF WILBUR STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 268 IN SAID PLAT; THENCE NORTHEASTERLY CROSSING WILBUR STREET TO A POINT ON THE WEST LINE OF LOT # 162 IN THE PLAT OF "SWYGART'S 2ND ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID POINT BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF WILBUR STREET WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF A 14 FOOT WIDE PUBLIC ALLEY; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE AND ITS' NORTHEASTERLY EXTENSION (CROSSING BIRDSSELL STREET 66 FT. WIDE) TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID STREET; THENCE NORTHWESTERLY ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID BIRDSSELL STREET TO A POINT OF INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF SANCOME AVENUE; THENCE NORTHEASTERLY ALONG SAID EASTERLY LINE TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF LA PORTE AVENUE; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE TO THE NORTHWEST CORNER OF LOT # 159 IN THE PLAT OF SAID "SWYGART'S 2ND ADDITION" THENCE NORTHWESTERLY (CROSSING SAID LA PORTE AVENUE 40 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF SAID LA PORTE AVENUE AND THE EASTERLY RIGHT-OF-WAY OF SAID SANCOME AVENUE; THENCE NORTHEASTERLY ALONG SAID EASTERLY LINE TO THE NORTHWESTERLY CORNER OF LOT # 27 IN THE PLAT OF "PLEASANT HOME ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE SOUTHERLY LINE OF A 12 FOOT WIDE NORTHWESTERLY-SOUTHEASTERLY PUBLIC ALLEY; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE TO THE NORTHEASTERLY CORNER OF LOT # 45 IN THE PLAT OF "ORCHARD HEIGHTS ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF WALNUT AVENUE; THENCE SOUTHWESTERLY ALONG SAID WESTERLY LINE TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF LA PORTE AVENUE; THENCE NORTHWESTERLY ALONG SAID NORTHERLY LINE TO A POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF THE WEST RIGHT-OF-WAY LINE OF WALNUT STREET; THENCE SOUTH ALONG SAID NORTHERLY EXTENSION AND ALONG THE WEST RIGHT-OF-WAY LINE OF SAID WALNUT STREET TO THE SOUTHEAST CORNER OF LOT # 52 IN THE PLAT OF SAID "SWYGART'S ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF LOT # 27 IN SAID PLAT; THENCE WEST (CROSSING BIRDSSELL STREET 66 FT. WIDE) TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID BIRDSSELL STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 2 IN SAID PLAT; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF WILBUR STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT DIRECTLY EAST OF THE SOUTHEAST CORNER OF LOT # 68 IN THE PLAT OF "LINDEN PLACE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE WEST (CROSSING WILBUR STREET) TO SAID SOUTHEAST LOT CORNER, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 14 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.

CONTAINING 44.2 ACRES MORE LESS.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #3 ADDED TO RWDA:

BEGINNING AT THE SOUTHEAST CORNER OF LOT # 12 OF THE PLAT OF "FUERBRINGER'S 2ND ADDITION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF OAK STREET; THENCE WEST AND SOUTHWEST ALONG SAID NORTH LINE (CROSSING SHERMAN AVENUE 40 FT. WIDE AND ALLEN STREET 50 FT. WIDE) TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF LA PORTE AVENUE; THENCE NORTHWESTERLY ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID LA PORTE AVENUE TO A POINT OF INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF BLAINE AVENUE; THENCE IN A NORTHWESTERLY AND NORTHEASTERLY DIRECTION ALONG SAID EASTERLY LINE TO THE NORTHWEST CORNER OF LOT # 27 IN THE PLAT OF "LEDERER'S SUBDIVISION OF OUTLOT "A"" AS RECORDED IN THE RECORDS OF SAID COUNTY, SAID LOT CORNER ALSO BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF A 12 FOOT WIDE SOUTHEASTERLY-NORTHWESTERLY PUBLIC ALLEY; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE TO THE NORTHEAST CORNER OF LOT # 22 IN THE PLAT OF "WITHERILL'S 2ND ADDITION" SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF SHERMAN AVENUE; THENCE SOUTH ALONG SAID WEST LINE TO POINT WHICH IS DIRECTLY WEST OF THE SOUTH RIGHT-OF-WAY LINE OF FUERBRINGER STREET; THENCE EAST (CROSSING SHERMAN AVENUE 40 FT. WIDE) AND CONTINUING ALONG SAID SOUTH LINE OF FUERBRINGER STREET TO THE NORTHEAST CORNER OF LOT # 22 OF SAID "FUERBRINGER'S 2ND ADDITION" SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE TO THE POINT OF BEGINNING.

CONTAINING 15.1 ACRES MORE OR LESS.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #4 ADDED TO RWDA:

BEGINNING AT THE SOUTHEAST CORNER OF LOT # 78 OF THE PLAT OF "ARNOLD & PAGIN'S SUBDIVISION" AS RECORDED IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE, SAID LOT CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF HINE STREET; THENCE WEST ALONG SAID NORTH LINE AND ITS' WESTERLY EXTENSION (CROSSING PAGIN STREET 50 FOOT WIDE AND STUDEBAKER STREET 50 FOOT WIDE) TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID STUDEBAKER STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 27 IN SAID PLAT, SAID LOT CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF A 16.5 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE WEST ALONG SAID NORTH LINE TO THE SOUTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE NORTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT # 28 IN SAID PLAT; THENCE WEST (CROSSING SAID 14 FOOT WIDE ALLEY) TO THE NORTHEAST CORNER OF LOT # 25 IN SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT TO THE NORTHWEST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE EAST RIGHT-OF-WAY LINE OF BIRDSSELL STREET; THENCE NORTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 14 IN SAID PLAT; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT TO THE SOUTHEAST CORNER OF SAID LOT, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE 40 FEET MORE OR LESS TO A POINT WHICH IS DIRECTLY WEST OF THE SOUTHWEST CORNER OF LOT # 38 IN SAID PLAT; THENCE EAST (CROSSING A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY) TO SAID SOUTHWEST LOT CORNER; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT AND ITS' EASTERLY EXTENSION (CROSSING STUDEBAKER STREET 50 FOOT WIDE) TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID STUDEBAKER STREET; THENCE NORTH ALONG SAID EAST LINE 30 FEET MORE OR LESS; TO A POINT ON THE NORTH LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 018-1047-1966

IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S, OFFICE; THENCE ALONG SAID NORTH LINE FOR THE NEXT THREE (3) COURSES, EAST 81 FEET MORE OR LESS; SOUTH 15 FEET MORE OR LESS AND EAST 37 FEET MORE OR LESS TO THE WEST RIGHT-OF-WAY LINE OF A 14 FOOT WIDE NORTH -SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE 15 FEET TO THE SOUTHEAST CORNER OF LOT # 41 IN SAID PLAT; THENCE EAST (CROSSING A 14 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY) TO THE NORTHWEST CORNER OF LOT # 63 IN SAID PLAT; THENCE EAST ALONG THE NORTH LINE OF SAID LOT AND ITS' EASTERLY EXTENSION (CROSSING PAGIN STREET 50 FOOT WIDE) TO THE EAST RIGHT-OF-WAY LINE OF PAGIN STREET; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTHWEST CORNER OF LOT # 68 IN SAID PLAT; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT 59 FEET MORE OR LESS; THENCE NORTH 40 FEET MORE OR LESS TO THE NORTH LINE OF SAID LOT; THENCE EAST ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF SAID LOT # 68, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF WALNUT STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE POINT OF BEGINNING.

CONTAINING 7.11 ACRES MORE OR LESS.

5-19-25 LEGAL DESCRIPTION FOR PARCEL #5 ADDED TO RWDA:

BEGINNING AT THE SOUTHWEST CORNER OF LOT # 56 OF THE PLAT OF "ARNOLD'S 2ND ADDITION" AS RECORDED IN THE ST. JOSEPH COUNTY, INDIANA RECORDER'S OFFICE; THENCE NORTH ALONG THE EAST RIGHT-OF-WAY LINE OF SADIE STREET TO THE SOUTHWEST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-1023-0682 IN THE RECORDS OF THE ST. JOSEPH COUNTY, INDIANA AUDITOR'S OFFICE; THENCE EAST ALONG THE SOUTH LINE OF SAID PARCEL 80 FEET MORE OR LESS TO THE WEST LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-1023-0684 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE SOUTH ALONG SAID WEST LINE 8 FEET MORE OR LESS TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE EAST ALONG THE SOUTH LINE OF SAID PARCEL TO THE SOUTHEAST CORNER OF SAID PARCEL, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF A 12 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY; THENCE SOUTH ALONG SAID WEST LINE TO A POINT WHICH IS DIRECTLY WEST OF THE NORTHWEST CORNER OF LOT # 41 OF THE PLAT OF "OAK GROVE ADDITION" AS RECORDED IN THE RECORDS OF SAID COUNTY, THENCE EAST (CROSSING SAID 12 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY) TO SAID NORTHWEST LOT CORNER, SAID LOT CORNER ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF A 12 FOOT WIDE EAST-WEST PUBLIC ALLEY; THENCE EAST ALONG SAID SOUTH LINE TO THE NORTHEAST CORNER OF LOT # 8 IN SAID PLAT, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF GRANT STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT WHICH IS DIRECTLY WEST OF THE NORTHWEST CORNER OF LOT # 7 OF THE PLAT OF "COLLEGE GROVE" AS RECORDED IN THE RECORDS OF SAID COUNTY; THENCE EAST (CROSSING GRANT STREET 33 FOOT WIDE) TO THE NORTHWEST CORNER OF SAID LOT; THENCE ALONG THE NORTH LINE OF SAID LOT AND ITS' EASTERLY EXTENSION (CROSSING JOHNSON STREET 66 FOOT WIDE) TO THE EAST RIGHT-OF-WAY LINE OF SAID JOHNSON STREET AND THE NORTHWEST CORNER OF LOT # 8 IN SAID PLAT; THENCE ALONG THE NORTH LINE OF SAID LOT TO THE NORTHEAST CORNER OF SAID LOT, SAID LOT CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF BROOKFIELD STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT WHICH IS DIRECTLY WEST OF THE SOUTHWEST CORNER A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-0062 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE EAST (CROSSING BROOKFIELD STREET 66 FOOT WIDE) TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE EAST ALONG THE SOUTH LINE OF SAID PARCEL AND ITS' EASTERLY EXTENSION (CROSSING A 10 FOOT WIDE NORTH-SOUTH PUBLIC ALLEY) TO A POINT ON THE EAST LINE OF SAID ALLEY; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE TO THE SOUTHWEST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-006202 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE EAST ALONG THE SOUTH LINE OF SAID PARCEL TO THE SOUTHEAST CORNER OF SAID PARCEL, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF JACKSON STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-006701 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL AND THE SOUTH LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2007-0067 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF BROOKFIELD STREET;

THENCE NORTH ALONG SAID EAST LINE TO A POINT DIRECTLY EAST OF THE NORTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006105 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST (CROSSING BROOKFIELD STREET 66 FOOT WIDE) TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE ALONG THE NORTH LINE OF SAID PARCEL AND THE NORTH LINE OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006104 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO THE NORTHWEST CORNER OF SAID PARCEL WITH TAX KEY NUMBER 18-2006-006104; THENCE SOUTH ALONG THE WEST LINE OF SAID PARCEL TO THE NORTHEAST CORNER OF A PARCEL OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006103 IN THE RECORDS OF SAID AUDITOR'S OFFICE; THENCE WEST ALONG THE NORTH OF SAID PARCEL AND THE NORTH LINE OF PARCELS OF GROUND IDENTIFIED BY TAX KEY NUMBER 18-2006-006102 AND 18-2006-006101 IN THE RECORDS OF SAID AUDITOR'S OFFICE TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF JOHNSON STREET; THENCE NORTH ALONG SAID EAST LINE TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF PARALLEL STREET; THENCE WEST (CROSSING JOHNSON STREET 66 FOOT WIDE) AND CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ITS' WESTERLY EXTENSION (CROSSING GRANT STREET 33 FOOT WIDE) TO THE WEST RIGHT-OF-WAY LINE OF SAID GRANT STREET; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF LOT # 3 OF THE PLAT OF SAID "OAK GROVE ADDITION"; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT AND ITS' WESTERLY EXTENSION (CROSSING O'BRIEN STREET 40 FOOT WIDE) TO THE WEST RIGHT-OF-WAY LINE OF SAID O'BRIEN STREET; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF ORANGE STREET; THENCE WEST ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.

CONTAINING 7.49 ACRES MORE OR LESS.

Appendix C- Parcel List

PROPERTY ADDRESS	PARCEL ID	OWNER OF RECORD
421 SHERMAN AVE	018-1034-1489	Civil City of South Bend
425 HARRISON AVE	018-1030-1315	Sosa Alfredo
506 N CLEVELAND AVE	018-1031-1367	Estrada Ismael Lopez
1125 BIRNER ST	018-1032-1406	Civil City of South Bend
431 ALLEN ST	018-1032-1401	Civil City of South Bend
425 SHERMAN AVE	018-1034-1488	Jones Emily
425 COTTAGE GROVE AVE	018-1030-1328	South Bend Mutual Homes LP
1013 FUERBRINGER ST	018-1034-1496	Lincoln Park Development LLC
426 HARRISON AVE	018-1030-1321	Civil City of South Bend
426 LA PORTE AVE	018-1031-1378	Civil City of South Bend
515 ALLEN ST	018-1035-1526	Vencel Joseph
602 N CLEVELAND AVE	018-1036-1569	Civil City of South Bend
1038 LINCOLN WAY W	018-1035-1509	Leal Roberto
425 ALLEN ST	018-1032-1411	Brown Marvin Jr & Cameron Shelby McKinney & Brown Jordan M Sr WROS
1036 LINCOLN WAY W	018-1035-1510	Hoover Turina
602 EUCLID AVE	018-1037-1623	Northwood Investments LLC
616 S WALNUT ST	018-1037-1614	Grom Solutions LLC
604 N CLEVELAND AVE	018-1036-1568	604 Cleveland Avenue Land Trust
611 BLAINE AVE	018-1036-1570	Sahota Properties LLC
1216 POPLAR ST	018-1036-1548	Garcilazo Ramon
915 OAK ST	018-1030-1347	Morse Charles Victor Henry
921 OAK ST	018-1030-1346	Barnaby Catherine E.K.
929 OAK ST	018-1030-1342	White Steven M & White David A & White Bruce A & White Jerry G 1/4 int each
923 OAK ST	018-1030-1345	South Bend Mutual Homes LP
441 COTTAGE GROVE AVE	018-1030-1324	South Bend Mutual Homes LP
612 N CLEVELAND AVE	018-1036-1566	Civil City of South Bend
1212 POPLAR ST	018-1036-1549	Chodzinski Patrick
409 COTTAGE GROVE AVE	018-1030-1350	Medich Andrew S

927 OAK ST	018-1030-1343	South Bend Mutual Homes LP
614 BLAINE AVE	018-1035-1511	Civil City of South Bend
620 N WALNUT ST	018-1037-1613	Grom Solutions LLC
911 W OAK ST	018-1030-1348	Morse Charles Victor Henry
931 W OAK ST	018-1030-1341	Lincoln Park Development LLC
511 CLEVELAND AVE	018-1031-1357	Civil City of South Bend
626 N WALNUT ST	018-1037-1611	Department of Redevelopment City of South Bend
909 W OAK ST	018-1030-1349	Smith Flordia M
519 SHERMAN AVE	018-1034-1475	Underly Thomas L and Constance L
420 LAPORTE AVE	018-1033-1425	Glasper Danny D
441 HARRISON AVE	018-1030-1312	Calderson U Belio
509 N CLEVELAND AVE	018-1031-1358	South Bend Rentals Inc
501 ALLEN ST	018-1032-1391	Anderson Sequoya L
414 BLAINE AVE	018-1033-1423	Guerra Martha Elizabeth
612 N WALNUT ST	018-1037-1615	612 Walnut Street Trust
515 HARRISON AVE	018-1030-1308	Nieves Ottoniel Oliveras
907 OAK ST	018-1030-1351	Stuckey Robert and Kimble Mercedes S TIC
550 N CLEVELAND AVE	018-1036-1573	Pilpil Glynis Luv
1044 LINCOLN WAY W	018-1035-1508	Koehler Ronald E
1014 FUERBRINGER ST	018-1034-1499	South Bend Mutual Homes LP
1122 BIRNER ST	018-1033-1435	REID RUBY AKA SMITH RUBY
418 ALLEN ST	018-1032-1421	Parahams Roberta
549 CLEVELAND AVE	018-1036-1552	Civil City of South Bend
1034 LINCOLN WAY W	018-1034-1466	Ivacic Jerome
1202 LINCOLN WAY W	018-1036-1562	Civil City of South Bend
606 EUCLID AVE	018-1037-1622	Northwood Investments LLC
1118 BIRNER ST	018-1033-1436	Civil City of South Bend
411 SHERMAN AVE	018-1034-1492	Civil City of South Bend
527 CLEVELAND AVE	018-1036-1559	Ortiz Aida Fabiola
516 EUCLID AVE	018-1037-1633	Northwood Investments LLC
1007 W OAK ST	018-1033-1462	Adkins Donna
1102 BIRNER ST	018-1033-1440	Civil City of South Bend

521 BLAINE AVE	018-1036-1586	Civil City of South Bend
528 N CLEVELAND AVE	018-1036-1582	Civil City of South Bend
1106 BIRNER ST	018-1033-1439	Acres Investments LLC
508 N CLEVELAND AVE	018-1031-1366	Civil City of South Bend
520 N CLEVELAND AVE	018-1031-1362	Civil City of South Bend
506 ALLEN ST	018-1035-1536	McCoy Cecil D
608 N CLEVELAND AVE	018-1036-1567	Smith Herman L
520 ALLEN ST	018-1035-1533	Civil City of South Bend
515 SHERMAN AVE	018-1034-1476	Underly Thomas L and Constance L
622 N WALNUT ST	018-1037-1612	Northwood Investments LLC
515 CLEVELAND AVE	018-1031-1356	Civil City of South Bend
1110 BIRNER ST	018-1033-1438	Civil City of South Bend
411 COTTAGE GROVE AVE	018-1030-1340	VIP Flip LLC
414 ALLEN ST	018-1032-1422	Civil City of South Bend
1116 BIRNER ST	018-1033-1437	South Bend Heritage Foundation Inc
429 HARRISON AVE	018-1030-1314	Sosa Alfredo Plata
429 COTTAGE GROVE AVE	018-1030-1327	South Bend Mutual Homes LP
510 SHERMAN AVE	018-1034-1483	Ocasio Noel
1033 OAK ST	018-1033-1456	Premier Property Company LLC
1109 BIRNER ST	018-1032-1410	Civil City of South Bend
507 BLAINE AVE	018-1031-1371	Civil City of South Bend
540 BLAINE AVE	018-1035-1516	Property Bros LLC
533 BLAINE AVE	018-1036-1578	Civil City of South Bend
525 SHERMAN AVE	018-1034-1469	Rez Xuefen
534 LAPORTE AVE	018-1037-1644	Department of Redevelopment
529 EUCLID AVE	018-1037-1626	529 Euclid Ave Trust
	018-1033-1424	Civil City of South Bend
	018-1031-1379	School City Of South Bend
	018-1032-1393	Civil City of South Bend
528 BLAINE AVE	018-1035-1520	SFR3-020 LLC
528 LAPORTE AVE	018-1037-1645	528 Laporte Ave Trust
1113 OAK ST	018-1033-1429	Johnson Melvin E & Patterson Kristen L w Life Estate to Linda Johnson WRTS
407 COTTAGE GROVE AVE	018-1030-1353	Heth Raleigh and Cianciolo-Heth Laura

1107 OAK ST	018-1033-1430	South Bend Mutual Homes LP
426 ALLEN ST	018-1032-1418	Anderson Barbara N
414 LAPORTE AVE	018-1033-1426	Wilson Doris A
1115 OAK ST	018-1033-1428	Swanson Debra A & Hernando D
1029 W OAK ST	018-1033-1457	Civil City of South Bend
430 SHERMAN AVE	018-1034-1493	Civil City of South Bend
525 ALLEN ST	018-1035-1523	Civil City of South Bend
407 COTTAGE GROVE AVE	018-1030-1352	Heth Raleigh and Cianciolo-Heth Laura
401 ALLEN ST	018-1033-1441	Civil City of South Bend
410 LA PORTE AVE	018-1033-1427	Wilson Doris A
1025 OAK ST	018-1033-1458	Schmitt Kathryn
1021 OAK ST	018-1033-1459	Gonzalez Sergio and Munoz Patricia
1015 OAK ST	018-1033-1461	South Bend Mutual Homes LP
630 EUCLID AVE	018-1037-1616	Department of Redevelopment City of South Bend
611 N CLEVELAND AVE	018-1036-1544	Civil City of South Bend
422 BLAINE AVE	018-1033-1431	Pershing Cody L
505 BLAINE AVE	018-1031-1372	Civil City of South Bend
534 N CLEVELAND AVE	018-1036-1580	Beristain Alejandro
526 ALLEN ST	018-1035-1531	Figuroa Dominic
529 BLAINE AVE	018-1036-1579	Civil City of South Bend
521 SHERMAN AVE	018-1034-1474	Comfy Homes LLC
601 N CLEVELAND AVE	018-1036-1551	Paredes Juventino and Angelita Cisneros Paredes see transfer note
906 FUERBRINGER ST	018-1030-1338	Illingworth Michael & Amber HW
922 FUERBRINGER ST	018-1030-1334	South Bend Mutual Homes LP
419 ALLEN ST	018-1032-1412	Poindexter Shawna
415 SHERMAN AVE	018-1034-1491	Indiana Summit Properties LLC
421 BLAINE AVE	018-1031-1376	Mortimore Carol
1129 BIRNER ST	018-1032-1405	1129 Birner Land Trust
1133 BIRNER ST	018-1032-1404	Arriaga Yadira M
503 BLAINE AVE	018-1031-1373	Betterley Suzanne C
506 BLAINE AVE	018-1032-1403	Lopez Victor M

1110 HARVEY ST	018-1032-1399	Civil City of South Bend
433 HARRISON AVE	018-1030-1313	Calderon U Belio
1118 HARVEY ST	018-1032-1397	O'Banion Patrick M
429 SHERMAN AVE	018-1034-1486	Civil City of South Bend
434 HARRISON AVE	018-1030-1319	Jimenez Josie
1122 HARVEY ST	018-1032-1396	Chamberlain Barry N
1132 HARVEY ST	018-1032-1394	Civil City of South Bend
511 BLAINE AVE	018-1031-1370	Civil City of South Bend
516 BLAINE AVE	018-1032-1392	Civil City of South Bend
513 BLAINE AVE	018-1036-1589	Civil City of South Bend
1109 HARVEY ST	018-1032-1389	Gates Mark H & Karen S
511 HARRISON AVE	018-1030-1309	Lopez Victor
536 N CLEVELAND AVE	018-1036-1576	Castro Paola Medina
524 LAPORTE AVE	018-1037-1646	Tanner Emma & Chad
528 EUCLID AVE	018-1037-1630	Lynn Hamilton LLC
1001 OAK ST	018-1033-1465	Jackson Wanda J Trustee for The Yellow Rose Estates Board of Trustees
1017 OAK ST	018-1033-1460	Whitaker Pamela
410 SHERMAN AVE	018-1033-1464	Adkins Donna G
1126 BIRNER ST	018-1033-1434	Robinson Kyle
524 EUCLID AVE	018-1037-1631	Troutt William E & Julia
912 FUERBRINGER ST	018-1030-1336	Calderon Maria & U Belio
930 FUERBRINGER ST	018-1030-1333	South Bend Mutual Homes LP
1002 FUERBRINGER ST	018-1030-1332	South Bend Mutual Homes LP
430 HARRISON AVE	018-1030-1320	Lopez Victor M
446 LAPORTE AVE	018-1031-1361	Lang Terrence E
427 SHERMAN AVE	018-1034-1487	Weber Pattie
1114 HARVEY ST	018-1032-1398	Blake Fred S
502 ALLEN ST	018-1032-1414	Williams Reginald Q
1126 HARVEY ST	018-1032-1395	SALGADO ERNESTO & LISA
516 N CLEVELAND AVE	018-1031-1364	Perez Rosa V
502 EUCLID AVE	018-1037-1637	Awald Matthew P & Tamara L
503 ALLEN ST	018-1032-1390	Venczel Josef
501 HARRISON AVE	018-1030-1311	South Bend Mutual Homes LP
504 EUCLID AVE	018-1037-1636	Awald Matt P
507 SHERMAN AVE	018-1034-1481	507 Sherman Ave Trust
1125 HARVEY ST	018-1032-1385	Chambers Fannie Mae
511 ALLEN ST	018-1035-1527	Venczel Josef

519 HARRISON AVE	018-1030-1307	Civil City of South Bend
521 ALLEN ST	018-1035-1524	Civil City of South Bend
526 SHERMAN AVE	018-1034-1473	Civil City of South Bend
536 BLAINE AVE	018-1035-1517	Civil City of South Bend
518 LA PORTE AVE	018-1037-1647	Civil City of South Bend
1006 FUERBRINGER ST	018-1030-1331	Civil City of South Bend
1010 FUERBRINGER ST	018-1030-1330	Guevara Jose
424 ALLEN ST	018-1032-1419	Civil City of South Bend
432 ALLEN ST	018-1032-1416	Estrada-Carlos Juan J
435 ALLEN ST	018-1032-1400	Civil City of South Bend
507 CLEVELAND AVE	018-1031-1359	Civil City of South Bend
502 SHERMAN AVE	018-1034-1485	Civil City of South Bend
450 LA PORTE AVE	018-1037-1639	Awald Matthew & Tamara
504 ALLEN ST	018-1032-1413	Civil City of South Bend
508 SHERMAN AVE	018-1034-1484	Civil City of South Bend
503 SHERMAN AVE	018-1034-1482	Civil City of South Bend
527 EUCLID AVE	018-1037-1627	Civil City of South Bend
1004 LINCOLN WAY W	018-1030-1306	Brooks Auradis
522 BLAINE AVE	018-1032-1381	Civil City of South Bend
914 FUERBRINGER ST	018-1030-1335	Calderon U. Belio
438 ALLEN ST	018-1032-1415	Board Of Commissioners Of St Joseph County
431 COTTAGE GROVE AVE	018-1030-1326	South Bend Mutual Homes LP
452 LA PORTE AVE	018-1037-1638	Awald Matthew P & Tamara L
438 HARRISON AVE	018-1030-1317	South Bend Heritage Foundation Inc
512 EUCLID AVE	018-1037-1634	JOHNSON KENNETH A
1113 HARVEY ST	018-1032-1388	Mckinney Chris
517 BLAINE AVE	018-1036-1588	Civil City of South Bend
519 BLAINE AVE	018-1036-1587	Civil City of South Bend
524 N CLEVELAND AVE	018-1036-1583	Guerrero Aida Fabiola Ortiz
506 LAPORTE AVE	018-1037-1650	Lara Properties Corporation
527 BLAINE AVE	018-1036-1585	Hernandez Miguel A
522 ALLEN ST	018-1035-1532	Harris Terry J
510 LAPORTE AVE	018-1037-1649	Rodriguez Cesar Gallardo & Gallardo Meghan
530 ALLEN ST	018-1035-1530	Boyd Eric
545 N CLEVELAND AVE	018-1036-1553	Guerrero Aida Fabiola Ortiz
532 BLAINE AVE	018-1035-1518	SFR3-020 LLC
534 ALLEN ST	018-1035-1529	PB Power LLC

538 N CLEVELAND AVE	018-1036-1575	Noble Indiana Investments LLC
601 BLAINE AVE	018-1036-1577	Cabral Alfredo Lopez & Lopez Raul
546 N CLEVELAND AVE	018-1036-1574	Civil City of South Bend
609 EUCLID AVE	018-1037-1610	Miller Jason
610 BLAINE AVE	018-1035-1512	Maldonado David & Madeline HW
605 N CLEVELAND AVE	018-1036-1550	Paredes Juventino and Angelita Cisneros Paredes
505 HARRISON AVE	018-1030-1310	Rodriguez Raul
510 ALLEN ST	018-1035-1535	Ryans Dennis
532 EUCLID AVE	018-1037-1629	Grove Charlie E & Ollie Mae
1204 LINCOLN WAY W	018-1036-1561	Williams Marie
520 SHERMAN AVE	018-1034-1478	Civil City of South Bend
1117 HARVEY ST	018-1032-1387	Civil City of South Bend
1133 HARVEY ST	018-1032-138201	Civil City of South Bend
508 EUCLID AVE	018-1037-1635	Department of Redevelopment City of South Bend
1121 HARVEY ST	018-1032-1386	Civil City of South Bend
505 ALLEN ST	018-1035-1528	Venczel Joe
516 SHERMAN AVE	018-1034-1479	Civil City of South Bend
516 ALLEN ST	018-1035-1534	Civil City of South Bend
502 LA PORTE AVE	018-1037-1651	Civil City of South Bend
1129 HARVEY ST	018-1032-1384	Fannie Chambers
525 CLEVELAND AVE	018-1036-1560	Ortiz Aida Fabiola
528 BLAINE AVE	018-1035-1519	Civil City of South Bend
522 SHERMAN AVE	018-1034-1477	Civil City of South Bend
529 CLEVELAND AVE	018-1036-1558	Civil City of South Bend
520 EUCLID AVE	018-1037-1632	Dream Haus Development LLC
533 CLEVELAND AVE	018-1036-1556	Ortiz Aida Fabiola
533 ALLEN ST	018-1035-1521	Lopez Victor
517 ALLEN ST	018-1035-1525	Civil City of South Bend
537 CLEVELAND AVE	018-1036-1555	Ortiz Aida Fabiola
529 ALLEN ST	018-1035-1522	Civil City of South Bend
602 BLAINE AVE	018-1035-1515	Civil City of South Bend
537 EUCLID AVE	018-1037-1625	Civil City of South Bend
608 BLAINE AVE	018-1035-1514	Civil City of South Bend
606 BLAINE AVE	018-1035-1513	Civil City of South Bend

610 EUCLID AVE	018-1037-1621	Department of Redevelopment City of South Bend
519 CLEVELAND AVE	018-1031-1355	Civil City of South Bend
541 CLEVELAND AVE	018-1036-1554	Mccollum Esther & Steele Dovie T Reserving Life Est
540 EUCLID AVE	018-1037-1628	Grove Charlie E And Ollie Mae
539 EUCLID AVE	018-1037-1624	Civil City of South Bend
626 EUCLID AVE	018-1037-1617	Active Solutions LLC & Mackrola Tom as Agent
1240 LINCOLN WAY W	018-1037-1590	Tanner Rentals LLC
618 EUCLID AVE	018-1037-1619	City of South Bend Indiana
1228 LINCOLN WAY W	018-1036-1538	Smith Leeson
1212 LINCOLN WAY W	018-1036-1542	Luer Properties Indiana I LLC
617 N CLEVELAND AVE	018-1036-1543	Civil City of South Bend
622 EUCLID AVE	018-1037-1618	Department of Redevelopment City of South Bend
1209 POPLAR ST	018-1036-1545	Lara Julie
1134 LINCOLN WAY W	018-1036-1564	PB KAAM LLC
1213 POPLAR ST	018-1036-1546	Allied Indiana Investments LLC
1217 POPLAR ST	018-1036-1547	SLM Management LLC
1216 LINCOLN WAY W	018-1036-1541	First York Capital LLC
1234 LINCOLN WAY W	018-1036-1537	BWB Properties LLC
634 N WALNUT ST	018-1037-1609	Perez Miguel S & Lyczynski Dorothy L
617 EUCLID AVE	018-1037-1608	Perez Miguel S & Lyczynski Dorothy L
644 N WALNUT ST	018-1037-1607	Perez Miguel S & Lyczynski Dorothy L
614 EUCLID AVE	018-1037-1620	Civil City of South Bend
634 EUCLID AVE	018-1037-1593	Civil City of South Bend
1224 LINCOLN WAY W	018-1036-1539	Civil City of South Bend
1130 LINCOLN WAY W	018-1036-1565	Civil City of South Bend
1136 LINCOLN WAY W	018-1036-1563	Civil City of South Bend
632 Euclid Ave	018-1037-1594	Civil City of South Bend
434 LAPORTE AVE	018-1031-1377	Tanner Emma L & Chad
420 ALLEN ST	018-1032-1420	Colon Jose
1238 LINCOLN WAY W	018-1037-1591	South Bend Heritage Foundation Inc

607 BLAINE AVE	018-1036-1571	Civil City of South Bend
417 SHERMAN AVE	018-1034-1490	South Bend Mutual Homes LP
425 BLAINE AVE	018-1031-1375	Diversified Assets West LLC
1113 BIRNER ST	018-1032-1409	Civil City of South Bend
502 N CLEVELAND AVE	018-1031-1368	Hernandez Virginia
424 HARRISON AVE	018-1030-1322	Harrison Family Trust & Positiveside Management LLC as Trustee
1117 BIRNER ST	018-1032-1408	Liang Melanie
1121 BIRNER ST	018-1032-1407	Johnson Monika
1220 LINCOLN WAY W	018-1036-1540	Civil City of South Bend
514 LAPORTE AVE	018-1037-1648	Hernandez Nayeli Delgado
423 COTTAGE GROVE AVE	018-1030-1329	South Bend Mutual Homes LP
915 FUERBRINGER ST	018-1030-1323	Medich Andrew S
1017 FUERBRINGER ST	018-1034-1494	Webber Pattie
501 BLAINE AVE	018-1031-1374	Clark Deborah L & Ware Shevawn A & Dungey Mark A & Dungey Wayne L & Seward Mia L-Life Est Melvin Dungey -MISC-----
531 CLEVELAND AVE	018-1036-1557	Ortiz Aida Fabiola
421 HARRISON AVE	018-1030-1316	Civil City of South Bend
429 ALLEN ST	018-1032-1402	Civil City of South Bend
430 ALLEN ST	018-1032-1417	Estrada-Carlos Juan J
	018-1034-1480	Lincoln Park Development LLC
	018-1036-155401	Civil City of South Bend
	018-1037-1643	610 Walnut Street Trust
	018-1037-1592	Civil City of South Bend
1020 FUERBRINGER ST	018-1034-1497	South Bend Mutual Homes LP
1018 FUERBRINGER ST	018-1034-1498	South Bend Mutual Homes LP
1012 LINCOLN WAY W	018-1030-1305	Civil City of South Bend
	018-1030-133801	Illingworth Michael & Amber HW
2121 ROGER ST	018-2028-0883	Ladd Kevin J & Bolden Ladonna M aka Bolden Ladonna HW

2117 ROGER ST	018-2028-0884	Pinch-N-Post LLC
2115 ROGER ST	018-2028-0885	Vision Realty Int'l LLC
2109 ROGER ST	018-2028-0886	Vision Realty Int'l LLC
2105 ROGER ST	018-2028-0887	Vision Realty Int'l LLC
2017 ROGER ST	018-2028-0890	Pasadena LLC
611 JOHNSON ST	018-2028-0892	Mudaliar Subhash Chand
2101 ROGER ST	018-2028-0888	Paris Properties & Leasing LLC
2021 ROGER ST	018-2028-0889	Renew Inc
2013 ROGER ST	018-2028-0891	Meredith Gene L & Judith
619 JOHNSON ST	018-2036-1202	Regalado Victor
2123 ROGER ST	018-2028-0882	SFR3-080 LLC
634 OBRIEN ST	018-2036-1197	Future Indiana Investments LLC
613 JOHNSON ST	018-2036-1203	Mudaliar Subhash Chand and Pino Cindy
627 JOHNSON ST	018-2036-1200	NYZP2 LLC
625 OBRIEN ST	018-2036-1205	Vision Realty Int'l LLC
636 OBRIEN ST	018-2036-1196	Lewandowski Brylee & Haley Lorene & Douglas Michael & Deena Anne & Nicokolas Alan & Brayden 1/6 int each
629 OBRIEN ST	018-2036-1191	Vision Realty Int'l LLC
616 HUEY ST	018-2036-1206	Frison Amon R
641 JOHNSON ST	018-2036-1198	Gonzalez Mario and Virginia
629 JOHNSON ST	018-2036-1199	Brian Quest LLC
622 HUEY ST	018-2036-1204	Davis Clarice D
624 OBRIEN ST	018-2036-1195	Housing Authority Of Sb
623 JOHNSON ST	018-2036-1201	Chavez Eusebio & Esmeralda Pedraza
612 HUEY ST	018-2036-1208	Housing Authority South Bend
615 JOHNSON ST	018-2036-120301	Perault Sue Ellen
632 HUEY ST	018-2036-118702	Housing Authority Of South Bend
631 OBRIEN ST	018-2036-1190	Vision Realty Int'l LLC
639 OBRIEN ST	018-2036-118801	Housing Authority Of Sb
638 HUEY ST	018-2036-118701	Housing Authority Of South Bend
642 OBRIEN ST	018-2036-1192	Vision Realty Int'l LLC
	018-2036-1207	Vision Realty Int'l LLC

	018-2036-1189	Vision Realty Intl LLC
	018-2036-1193	Vision Realty Int'l LLC
	018-2036-1209	Vision Realty Int'l LLC
	018-2036-118802	St Joseph County
	018-2036-1194	Zaina Mazen Said
2517 LAWTON ST	018-2038-1317	Wallace Jennifer
2513 LAWTON ST	018-2038-1314	Davis Frank Sr & Davis Harold
228 N MEADE ST	018-2038-1326	Vision Realty Int'l LLC
2509 LAWTON ST	018-2038-1311	Vision Realty Int'l LLC
2501 LAWTON ST	018-2038-1305	Vision Realty Int'l LLC
217 N OLIVE ST	018-2038-1285	Shurn Cleofus
2531 LINDEN AVE	018-2068-2494	Manjarrez-Carpinteiro Angel
2410 LINDEN AVE	018-2069-2551	Blewett Nathan & Jill HW
2406 LINDEN AVE	018-2069-2552	Ledesma Cristhian M
2410 BERTRAND ST	018-2067-2490	R & A Olive Property LLC
311 N OLIVE ST	018-2069-2553	Ledesma Cristhian M
2526 BERTRAND ST	018-2067-2478	Lynn Hamilton LLC
2530 BERTRAND ST	018-2067-2477	Civil City of South Bend
213 N OLIVE ST	018-2038-1286	Reese William H
231 N OLIVE ST	018-2038-1281	Vision Realty Int'l LLC
2423 LAWTON ST	018-2038-1296	Parks Victoria M
2421 LAWTON ST	018-2038-1293	Weatherspoon Geraldine
2415 LAWTON ST	018-2038-1290	Thomas Troy T
2424 LAWTON ST	018-2038-1297	Hunt John D & Rosie M
2420 LAWTON ST	018-2038-1294	Thomas Heather
221 N OLIVE ST	018-2038-1284	Sanders Anthony/Sanders Dwight
2500 LAWTON ST	018-2038-1327	Department of Redevelopment City of South Bend
2502 LAWTON ST	018-2038-1306	Department of Redevelopment City of South Bend
2430 LAWTON ST	018-2038-1303	Department of Redevelopment City of South Bend
2428 LAWTON ST	018-2038-1300	Department of Redevelopment City of South Bend
2427 LAWTON ST	018-2038-1302	Glispie Durell And Ora Mae

2426 KENWOOD AVE	018-2068-2514	Cuevas Luis G Tapia & Aparicio Maritza Farias HW
2414 KENWOOD AVE	018-2068-2520	Skyblue Enterprises LLC
2408 KENWOOD AVE	018-2068-2522	Somersby LLC
2404 KENWOOD AVE	018-2068-2524	Mike Bajdek Mobile Service Inc
2518 LINDEN AVE	018-2069-2540	Civil City of South Bend
2510 LINDEN AVE	018-2069-2542	Lopez Victor
2506 LINDEN AVE	018-2069-2543	Civil City of South Bend
2422 LINDEN AVE	018-2069-2548	Shang Maoyu
2414 LINDEN AVE	018-2069-2550	Lopez Victor
229 N OLIVE ST	018-2038-1282	Reed Percy
2430 KENWOOD AVE	018-2068-2512	Corbitt Willie Lee & Rosetta
2422 KENWOOD AVE	018-2068-2516	Robinson Rochelle & Glispie Durell
2418 KENWOOD AVE	018-2068-2518	Merriweather Dianna
325 N OLIVE ST	018-2068-2526	Mike Bajdek Mobile Service Inc
2522 LINDEN AVE	018-2069-2539	Gillam Debra
2530 LINDEN AVE	018-2069-2537	HASKINS REMONA
2432 LINDEN AVE	018-2069-2546	Ford Alexandria
2418 LINDEN AVE	018-2069-2549	Hairston Jennine
2502 LINDEN AVE	018-2069-2544	Lopez Victor
	018-2038-1323	Vision Realty Int'l LLC
	018-2038-1320	Vision Realty Int'l LLC
	018-2038-1308	City of South Bend Board of Public Work
	018-2038-1318	Department of Redevelopment City of South Bend
	018-2038-1315	Department of Redevelopment City of South Bend
	018-2038-1299	Glispie Durell And Ora May
	018-2038-1291	Thomas Heather
2527 LINDEN AVE	018-2068-2496	Lopez Jansel
2509 LINDEN AVE	018-2068-2503	Flores Soraida and Manjarrez Angel
2429 LINDEN AVE	018-2068-2511	Williams Yvonne
2419 LINDEN AVE	018-2068-2515	Vision Realty Int'l LLC
2417 LINDEN AVE	018-2068-2517	Wani & Associates PC Cash Balance Plan

2409 LINDEN AVE	018-2068-2521	Deaver Michael R & Emily L HW
2525 LINDEN AVE	018-2068-2498	Benion Charles W
2519 LINDEN AVE	018-2068-2500	Housing Authority Of Sb
2505 LINDEN AVE	018-2068-2507	Anderson Geri
2501 LINDEN AVE	018-2068-2509	Housing Authority Of South Bend
2425 LINDEN AVE	018-2068-2513	Rivera Ireneo & Herrera Maria
323 N OLIVE ST	018-2068-2525	Mike Bajdek Mobile Service Inc
2504 KENWOOD AVE	018-2068-2508	Cook Maryann
2430 BERTRAND ST	018-2067-2486	Dotson LLC
2418 BERTRAND ST	018-2067-2488	Dume Marc
2417 KENWOOD AVE	018-2067-2471	Olive Johnnie
2413 KENWOOD AVE	018-2067-2472	Indiana Blue Real Estate LLC
2409 KENWOOD AVE	018-2067-2473	Kolar Ofir Zvi
2405 KENWOOD AVE	018-2067-2474	Lupercio Monica Cecilia Luna
2530 KENWOOD AVE	018-2068-2495	Salameh Ramadan
2514 KENWOOD AVE	018-2068-2506	Welch Claudia
2502 KENWOOD AVE	018-2068-2510	BAILEY VERDA L
2414 BERTRAND ST	018-2067-2489	R&A Olive Property LLC
2421 KENWOOD AVE	018-2067-2470	Thompson Marvin Jr and Marvin Sr and Maurice
2522 KENWOOD AVE	018-2068-2499	Salameh Ramadan
2520 KENWOOD AVE	018-2068-2501	Salameh Ramadan
2518 KENWOOD AVE	018-2068-2502	Salameh Ramadan
401 N OLIVE ST	018-2067-2475	Olive Johnny & Maggie Bailey
2429 KENWOOD AVE	018-2067-246801	Int Free And Accepted Modern Masons Of S B
2525 BERTRAND ST	018-2070-2588	Homey LLC
2513 BERTRAND ST	018-2070-259101	Ricketts Tanya Ann
2509 BERTRAND ST	018-2070-2592	Russell Raymond & Marceline HW
2503 BERTRAND ST	018-2070-2593	Vision Realty Int'l LLC
511 N OLIVE ST	018-2070-2601	Howell Dennis and Lavern
2430 ROGER ST	018-2070-2579	Lopez Alejandra Y
2426 ROGER ST	018-2070-2580	SGLIN LLC
2422 ROGER ST	018-2070-2581	Vision Realty Int'l LLC
2418 ROGER ST	018-2070-2582	Williams Cory Lee

501 N OLIVE ST	018-2070-2602	Huffer Sherri L
2529 BERTRAND ST	018-2070-2587	Sanders Lois Ann
2523 BERTRAND ST	018-2070-2589	Housing Authority Sb
2532 ROGER ST	018-2070-2571	Housing Authority Of Sb
2522 ROGER ST	018-2070-2573	Lewandowski Nicholas and Rasheeda
2518 ROGER ST	018-2070-257401	Dixon Rhonda
2510 ROGER ST	018-2070-2576	Housing Authority Sb
2502 ROGER ST	018-2070-2578	Rucker James and Rose
2513 1/2 BERTRAND ST	018-2070-259001	Ricketts Tanya Ann
2501 BERTRAND ST	018-2070-2594	Vision Realty Int'l LLC
2429 BERTRAND ST	018-2070-2595	Vision Realty Int'l LLC
2425 BERTRAND ST	018-2070-2596	Vision Realty Int'l LLC
2421 BERTRAND ST	018-2070-2597	Vision Realty Int'l LLC
2413 BERTRAND ST	018-2070-2599	Howell Dennis
2409 BERTRAND ST	018-2070-2600	Howell Dennis
2525 KENWOOD AVE	018-2067-2461	Gogri Zenmah Guy
2521 KENWOOD AVE	018-2067-2462	Vanderheyden Robert S
2517 KENWOOD AVE	018-2067-2463	Hoogenboom Trent
2515 KENWOOD AVE	018-2067-2464	Salazar Raul
2505 KENWOOD AVE	018-2067-2466	Anderson Sheila D
2518 BERTRAND ST	018-2067-2480	Vision Realty Int'l LLC
2516 BERTRAND ST	018-2067-2481	Taylor Jessie
2524 BERTRAND ST	018-2067-2479	Housing Authority Sb
2508 BERTRAND ST	018-2067-2482	Vision Realty Int'l LLC
2506 BERTRAND ST	018-2067-2483	Skyline Real Estate Services LLC
2502 BERTRAND ST	018-2067-2484	Vision Realty Int'l LLC
2521 ORANGE ST	018-2038-1322	1620 Belmont LLC
2515 ORANGE ST	018-2038-1316	2515 W Orange St Trust
2501 ORANGE ST	018-2038-1307	Castro Elidia & Irma
2517 ORANGE ST	018-2038-1319	Bigham Bonita Kaye
2529 LAWTON ST	018-2038-1328	Department of Redevelopment City of South Bend
2507 ORANGE ST	018-2038-1313	Department of Redevelopment City of South Bend
225 N OLIVE ST	018-2038-1283	Vision Realty Int'l LLC
323 N OLIVE ST	018-2068-2523	Mike Bajdek Mobile Service Inc
	018-2068-2497	Salameh Ramadan

2536 ROGER ST	018-2070-2572	Lewandowski Nicholas and Rasheeda
2414 ROGER ST	018-2070-2583	Brown Roderick
	018-2070-2598	Vision Realty Int'l LLC
	018-2070-2585	Brown Roderick
	018-2070-2586	Brown Roderick
	018-2070-257501	Dixon Rhonda & Larry
	018-2070-2577	Rucker James and Rose
2525 ORANGE ST	018-2038-1325	Department of Redevelopment City of South Bend
2505 ORANGE ST	018-2038-1310	Department of Redevelopment City of South Bend
210 HUEY ST	018-2019-0574	Clark Tamla M
210 SADIE ST	018-2023-0698	Munoz Juan Carlos & Palacios Carmen Marquez Palacios HW
2012 LINDEN AVE	018-2006-0054	Carter Carl
2010 LINDEN AVE	018-2006-005401	Plummer Robert L
2008 LINDEN AVE	018-2006-005402	May J Findley Jr
2326 KENWOOD AVE	018-2026-0824	Active Solutions LLC
2318 KENWOOD AVE	018-2026-0828	Vision Realty Int'l LLC
2310 KENWOOD AVE	018-2026-0832	Hernandez Enrique
2314 KENWOOD AVE	018-2026-0830	Hernandez Enrique
2325 KENWOOD AVE	018-2026-0825	Vicsek Rebecca L.
2322 KENWOOD AVE	018-2026-0826	Zaina Mazen Said
338 N OLIVE ST	018-2026-0819	Hughes Jeffrey Mark and Tabitha Ann
2333 KENWOOD AVE	018-2026-0821	Vision Realty Intl LLC
414 N OLIVE ST	018-2026-0823	Indiana United Corp
223 OBRIEN ST	018-2019-0563	Vision Realty Intl LLC
222 OBRIEN ST	018-2019-0564	Veltri Shane Eric Rev Trust
513 JOHNSON ST	018-2028-0920	Caradine Dwight and King Peggy Ann
506 N OLIVE ST	018-2030-0977	Williams Albert and Ella
224 SADIE ST	018-2023-0692	Lynn Hamilton LLC
309 HUEY ST	018-2025-0812	Don Fernando LLC
422 N OLIVE ST	018-2030-0994	Lara Properties Corporation
2310 BERTRAND ST	018-2030-1001	Nash Crystal Nicole
2322 BERTRAND ST	018-2030-0998	Chillis Herdisene C/O Elonda Hamilton

2318 BERTRAND ST	018-2030-0999	Vision Realty Int'l LLC
2316 BERTRAND ST	018-2030-1000	Vision Realty Int'l LLC
226 OBRIEN ST	018-2019-0560	Wilderness Donnell
213 HUEY ST	018-2019-0569	Vision Realty Intl LLC
214 HUEY ST	018-2019-0570	Abundant Living Real Estate LLC
215 OBRIEN ST	018-2019-0571	Vision Realty Intl LLC
2115 BERTRAND ST	018-2028-0912	Two Brothers Real Estate Investments LLP
2109 BERTRAND ST	018-2028-0913	Smith Adam
2105 BERTRAND ST	018-2028-0914	2105 Bertrand St Land Trust
2103 BERTRAND ST	018-2028-0915	Andrea Capital Investments LLC
517 JOHNSON ST	018-2028-0919	Cartwright Erin A
2301 BERTRAND ST	018-2030-0984	R E Plus 3 LLC
2205 BERTRAND ST	018-2030-0991	Stone Dawn
206 HUEY ST	018-2019-0578	McCombs Monika
205 OBRIEN ST	018-2019-0579	Lynn Hamilton LLC
2307 LINDEN AVE	018-2025-0792	Munguia Olivia
2227 LINDEN AVE	018-2025-0795	A2Z Home Improvements LLC
214 SADIE ST	018-2023-0696	Scott Anthony B
214 OBRIEN ST	018-2019-0572	Deberry Geraldine
2021 BERTRAND ST	018-2028-0916	The Housing Authority Of The City Of South Bend Indiana
2013 BERTRAND ST	018-2028-0918	Luster Billy R
2217 LINDEN AVE	018-2025-0806	Garcia Jaime N & Juana Garcia
2305 BERTRAND ST	018-2030-0983	Esparza Rene
2219 BERTRAND ST	018-2030-0988	Riviere Evans Cecil Jr & Marchelle Denise
2213 BERTRAND ST	018-2030-0990	Lindsey Marchelle D
2119 BERTRAND ST	018-2028-0910	Shurn Helen F
206 SADIE ST	018-2023-0700	CARR SHEILA & JAMES
2309 LINDEN AVE	018-2025-0789	Faith Temple Church Of God In Christ
2017 BERTRAND ST	018-2028-0917	Nixon William And Earle
2229 BERTRAND ST	018-2030-0986	Phillips Byga And Julia Mae
2225 BERTRAND ST	018-2030-0987	Leggett Rubie Mae
205 HUEY ST	018-2019-0577	Vision Realty Intl LLC
2221 LINDEN AVE	018-2025-0801	Vertex Equity Partners LLC

2215 SMITH ST	018-2025-0803	Wisdom Anthony
2125 BERTRAND ST	018-2028-0909	Shurn LeRay Conroy
238 SADIE ST	018-2023-068301	United States Of America
2006 LINDEN AVE	018-2006-005403	Farrow Misti
2002 LINDEN AVE	018-2006-005404	Farrow Misti
505 JOHNSON ST	018-2028-0934	Loiseau Michael A
331 JOHNSON ST	018-2024-0734	Davis Ramon
218 HUEY ST	018-2019-0566	Vision Realty Intl LLC
221 HUEY ST	018-2019-0561	Vision Realty Intl LLC
227 OBRIEN ST	018-2019-0559	Vision Realty Inc LLC
309 JOHNSON ST	018-2024-0761	309 Johnson Street Trust
330 JOHNSON ST	018-2009-0094	Diocese of Fort Wayne South Bend Inc
220 HUEY ST	018-2019-0562	City of South Bend Board of Public Work
225 HUEY ST	018-2019-0557	Macturch Estella
222 HUEY ST	018-2019-0558	Smith Pierre
405 JOHNSON ST	018-2024-0732	Howell Dennis P
226 SADIE ST	018-2023-0690	Cunegin James
232 HUEY ST	018-2019-0545	Wilderness Donnell
2117 BERTRAND ST	018-2028-0911	IW South Bend LLC
224 HUEY ST	018-2019-0554	Vision Realty Intl LLC
229 OBRIEN ST	018-2019-0555	Wilderness Donnell
230 OBRIEN ST	018-2019-0556	Wilderness Donnell
2208 LINDEN AVE	018-2023-0684	Scott Patricia & Johnson Tellara JT
235 HUEY ST	018-2019-0541	Scott Patricia & Johnson Tellara JT
2110 LINDEN AVE	018-2019-0547	Wilderness Donnell
2102 LINDEN AVE	018-2019-0549	Wilderness Donnell Jr
2203 SMITH ST	018-2025-0816	Fair Ridge Management LLC
2020 LINDEN AVE	018-2019-0552	Cernak Ricky
2115 LINDEN AVE	018-2024-0748	Vision Realty Intl LLC
2330 KENWOOD AVE	018-2026-0822	Vertex Equity Partners LLC
2027 LINDEN AVE	018-2024-0762	Humble Hands/Hill Diamond
2023 LINDEN AVE	018-2024-0763	Vision Realty Intl LLC
2019 LINDEN AVE	018-2024-0764	Money Solutions Llc
2009 LINDEN AVE	018-2024-0767	Vision Realty Intl LLC
2121 KENWOOD AVE	018-2027-0861	Vision Realty Int'l LLC
2117 KENWOOD AVE	018-2027-0863	Vertex Equity Partners LLC
2115 KENWOOD AVE	018-2027-0865	Vision Realty Intl LLC

2113 KENWOOD AVE	018-2027-0867	Vision Realty Int'l LLC
2111 KENWOOD AVE	018-2027-0869	Zaina Mazen Said
2105 KENWOOD AVE	018-2027-0871	Robles Manuel A Chavez & Vargas Sheyla Brigitte Chavez JTWROS
2021 KENWOOD AVE	018-2027-0873	Vision Realty Int'l LLC
2017 KENWOOD AVE	018-2027-0874	Kimble Carl & Anna
2013 KENWOOD AVE	018-2027-0875	Hershberger Alexis D
2009 KENWOOD AVE	018-2027-0877	Vision Realty Int'l LLC
2007 KENWOOD AVE	018-2027-0878	Everhart Terry & Walter
310 OBRIEN ST	018-2024-0760	Bailey Eddie L
229 HUEY ST	018-2019-0553	Lukas Kenneth S
230 SADIE ST	018-2023-0688	Brown Jasmine K
2028 LINDEN AVE	018-2019-0550	MJ Property Solutions LLC
2022 LINDEN AVE	018-2019-0551	Pfeifer Charles & Ella
305 OBRIEN ST	018-2024-0749	Imani and Unidad Inc
2317 LINDEN AVE	018-2025-0774	Jones James E And Gates Helen
2315 LINDEN AVE	018-2025-0777	Jones James E And Gates Helen
2013 LINDEN AVE	018-2024-0765	Romans Debbie
2011 LINDEN AVE	018-2024-0766	Broadnax Gregory D Jr
1923 LINDEN AVE	018-2009-0102	Dixson Willie B And Rebecca
313 HUEY ST	018-2025-0813	Hue2 LLC
2101 KENWOOD AVE	018-2027-0872	TDB Enterprises LLC
2011 KENWOOD AVE	018-2027-0876	Covington Terry
233 HUEY ST	018-2019-0542	Scott Patricia & Johnson Tellara JT
218 N GRANT ST	018-2006-005501	Vision Realty Intl LLC
242 SADIE ST	018-2023-0682	Brown Jasmine and Samuel L
2207 SMITH ST	018-2025-0808	Wisdom Anthony
2205 SMITH ST	018-2025-0815	Vision Realty Intl LLC
2201 SMITH ST	018-2025-0817	Fair Ridge Management LLC
326 HUEY ST	018-2024-0735	Medina Francisco
2325 LINDEN AVE	018-2025-0768	Vision Realty Intl LLC
2323 LINDEN AVE	018-2025-0769	Vision Realty Intl LLC
314 OBRIEN ST	018-2024-0758	Wright Charles R Jr
311 JOHNSON ST	018-2024-0759	Harris Tesha
316 N OLIVE ST	018-2025-0770	Rodriguez Amancio
2314 SMITH ST	018-2025-0781	Martin Scott

2224 SMITH ST	018-2025-0796	Tanner Chadd
2123 LINDEN AVE	018-2024-0742	Rhodes Gene
2121 LINDEN AVE	018-2024-0743	Jackson Kodell
2117 LINDEN AVE	018-2024-0744	Nationwide Community Revitalization LLC
317 OBRIEN ST	018-2024-0745	Vision Realty Intl LLC
2317 KENWOOD AVE	018-2026-0829	Vision Realty Int'l LLC
2315 KENWOOD AVE	018-2026-0831	Lopez Marvyn E Mejia
2305 KENWOOD AVE	018-2026-0835	Mendoza Pablo & Diaz Nora
2235 KENWOOD AVE	018-2026-0839	Lithiums Properties LLC
2229 KENWOOD AVE	018-2026-0841	Vision Realty Int'l LLC
2225 KENWOOD AVE	018-2026-0843	Vertex Equity Partners LLC
2221 KENWOOD AVE	018-2026-0845	Vision Realty Intl LLC
329 OBRIEN ST	018-2024-0737	Sanchez Eduardo Gomez
321 JOHNSON ST	018-2024-0751	Perez Rosa
2233 BERTRAND ST	018-2030-0985	Phillips Byga & Julia May
2217 BERTRAND ST	018-2030-0989	Lindsey Marchelle D
	018-2019-0573	Lynn Hamilton LLC
	018-2025-0798	Vision Realty Intl LLC
311 OBRIEN ST	018-2024-074701	Lynn Hamilton LLC
338 N OLIVE ST	018-2026-0818	Charette Matthew
2313 LINDEN AVE	018-2025-0783	Trustees Of South Bend Faith And Temple Church
	018-2006-005502	Vision Realty Intl LLC
	018-2019-0540	Scott Patricia & Johnson Tellara JT
	018-2019-0544	Wilderness Donnell
	018-2024-072601	Stonerock Properties LLC
	018-2025-0786	South Bend Faith Temple Church Inc
	018-2025-0780	South Bend Faith Temple Church Inc
	018-2024-0733	Thomas William
322 OBRIEN ST	018-2024-0756	Freiberg Laurie
313 JOHNSON ST	018-2024-0757	Harris Tesha
322 JOHNSON ST	018-2009-0096	Diocese of Fort Wayne South Bend Inc
315 JOHNSON ST	018-2024-0755	Vision Realty Intl LLC
324 JOHNSON ST	018-2009-0095	R & R Homes LLC
323 OBRIEN ST	018-2024-0740	Vision Realty Intl LLC
324 N OLIVE ST	018-2025-0772	Anderson Frank & Lane Brooke

325 OBRIEN ST	018-2024-0738	Sanchez Micaela
328 N OLIVE ST	018-2025-0773	Anderson Frank & Lane Brooke
2319 SMITH ST	018-2025-0776	Fernandez Santos
319 HUEY ST	018-2025-0814	Housing Authority South Bend
2208 SMITH ST	018-2025-0807	Mallard Malinda L
		Knight Frances J
		James Knight reserves a life estate
316 JOHNSON ST	018-2009-0097	MISC
2301 KENWOOD AVE	018-2026-0837	Trotter Sean Pierre
2305 SMITH ST	018-2025-0788	Perry Diane V and Perry Lisa R
2301 SMITH ST	018-2025-0791	City of South Bend Board of Public Work
319 OBRIEN ST	018-2024-0741	Civil City of South Bend
322 HUEY ST	018-2024-0739	Medina Francisco & Bertha
326 OBRIEN ST	018-2024-0752	Words Amber
319 JOHNSON ST	018-2024-0753	Payton Alfredia
2302 SMITH ST	018-2025-0790	We House America LLC
2218 SMITH ST	018-2025-0799	Vision Realty Intl LLC
2212 SMITH ST	018-2025-0802	Vertex Equity Partners LLC
2315 SMITH ST	018-2025-0782	Vision Realty Intl LLC
2227 SMITH ST	018-2025-0794	Wisdom Anthony
2223 SMITH ST	018-2025-0797	Wisdom Anthony
2221 SMITH ST	018-2025-0800	Wisdom Anthony
2210 SMITH ST	018-2025-0805	Mallard Malinda L
2306 KENWOOD AVE	018-2026-0834	Zoa Transportation
2224 KENWOOD AVE	018-2026-0838	Green Deneen & Cherie
2206 KENWOOD AVE	018-2026-0852	Flanner-Grace LLC
2130 KENWOOD AVE	018-2027-0858	Bonilla Fabian Crespo & Pesante Carmen Maria Valentin
2126 KENWOOD AVE	018-2027-0860	Bonilla Fabian Crespo & Pesante Carmen Maria Valentin
2114 KENWOOD AVE	018-2027-0866	Mendoza Miguel

2026 KENWOOD AVE	018-2024-0726	Arceo Jose and Guardado Cindy
2020 KENWOOD AVE	018-2024-0728	Mendoza Tyler & Juarez Marvelia JTWROS
407 JOHNSON ST	018-2024-0731	Mamka Yossef
2217 KENWOOD AVE	018-2026-0847	IW South Bend LLC
2209 KENWOOD AVE	018-2026-0851	Active Solutions LLC
2205 KENWOOD AVE	018-2026-0853	Henry Baron and Kelley Tanisha
2129 KENWOOD AVE	018-2027-0857	Vertex Equity Partners LLC
2125 KENWOOD AVE	018-2027-0859	Vision Realty Int'l LLC
501 JOHNSON ST	018-2028-0935	Gorny Tamara S
418 N OLIVE ST	018-2030-0996	Strong Indiana LLC
2220 BERTRAND ST	018-2030-1007	Nash Juanita
2218 BERTRAND ST	018-2030-1008	Thomas Willie
2212 BERTRAND ST	018-2030-1009	Nash Juanita
421 HUEY ST	018-2030-1010	Miramontes Victor A Galicia
414 HUEY ST	018-2028-0922	Miramontes Victor A Galicia
2122 BERTRAND ST	018-2028-0924	Vision Realty Int'l LLC
2120 BERTRAND ST	018-2028-0925	Vision Realty Int'l LLC
2114 BERTRAND ST	018-2028-0926	Lattimore Arthur
2110 BERTRAND ST	018-2028-0927	Fountain Investments LLC
2106 BERTRAND ST	018-2028-0928	Equity Trust Company Custodian FBO Pete Alexander IRA
2102 BERTRAND ST	018-2028-0929	Vision Realty Intl LLC
2022 BERTRAND ST	018-2028-0930	BM Rentals LLC
2018 BERTRAND ST	018-2028-0931	Pragma Real Estate LLC
2014 BERTRAND ST	018-2028-0932	Yenumula Venkat
507 JOHNSON ST	018-2028-0933	Danser Christina A & Martin Gerald G Sr HW
516 N OLIVE ST	018-2029-0957	Montano-Cardoso Jesus & Cardozo-Garcia Sara
511 JOHNSON ST	018-2028-0921	Nieves Blanca
2302 KENWOOD AVE	018-2026-0836	Nestor Felipe
2118 KENWOOD AVE	018-2027-0864	Womack Chataqua
2110 KENWOOD AVE	018-2027-0868	Benedict XVI LLC
2012 KENWOOD AVE	018-2024-0730	Benion Charles W & Cynthia M Benion
514 N OLIVE ST	018-2029-0958	Brown Roderick S & Mary K
2321 KENWOOD AVE	018-2026-0827	Vicsek Rebecca L.

2215 KENWOOD AVE	018-2026-0849	Luczkowski Ervin C & Rita T
2005 KENWOOD AVE	018-2027-0879	JENKINS RUDOLPH
415 N BROOKFIELD ST	018-2009-0093	Diocese Of Fort Wayne So Bend Inc
420 N OLIVE ST	018-2030-0995	Lipscomb Katiki S
		Creech Katherine
2232 BERTRAND ST	018-2030-1004	MISC
2222 KENWOOD AVE	018-2026-0840	Vertex Equity Partners LLC
2220 KENWOOD AVE	018-2026-0842	Vision Realty Int'l LLC
2214 KENWOOD AVE	018-2026-0848	Vision Realty Int'l LLC
2210 KENWOOD AVE	018-2026-0850	Zaina Mazen Said
2202 KENWOOD AVE	018-2026-0854	Vision Realty Int'l LLC
2134 Kenwood Ave	018-2027-0856	Vision Reatly Intl LLC
2106 KENWOOD AVE	018-2027-0870	Vertex Equity Partners LLC
415 HUEY ST	018-2030-1013	Cluxton Vince
417 HUEY ST	018-2030-1012	Zaina Mazen Said
419 HUEY ST	018-2030-1011	Vision Realty Int'l LLC
2302 BERTRAND ST	018-2030-1003	Active Solutions LLC
2226 BERTRAND ST	018-2030-1006	Lunceford Teddy Ray
2218 KENWOOD AVE	018-2026-0846	Civil City of South Bend
2201 KENWOOD AVE	018-2026-0855	Scott Tony
512 N OLIVE ST	018-2030-0975	Ramos Guadalupe J and Mancada Flora
2321 BERTRAND ST	018-2030-0979	1st Choice Leasing USA LLC
2317 BERTRAND ST	018-2030-0980	Maefield Toni
2313 BERTRAND ST	018-2030-0981	Vision Realty Int'l LLC
2309 BERTRAND ST	018-2030-0982	Edmondson Stacey
2322 ROGER ST	018-2029-0960	Moreno Roberto
2314 ROGER ST	018-2029-0961	White Janeth E
2310 ROGER ST	018-2029-0962	Stelter Carol
2230 ROGER ST	018-2029-0965	Dotson LLC
2204 ROGER ST	018-2029-0972	Campbell January
2202 ROGER ST	018-2029-0973	Hatcher-Palmer Tanya
2122 ROGER ST	018-2028-0895	Gomez Guadalupe & Montoya-Rivera Cesar HW
2116 ROGER ST	018-2028-0898	LV Holdings LLC-S 2116 Roger LLC A Series of LV Holdings LLC

		Executive Property Management of Michiana LLC
2114 ROGER ST	018-2028-0899	
2014 ROGER ST	018-2028-0905	Lopez Victor
2012 ROGER ST	018-2028-0906	Lopez Victor M
523 JOHNSON ST	018-2028-0908	Stephens Linda M
522 N OLIVE ST	018-2029-0955	Hairston Sandra J
2226 ROGER ST	018-2029-0966	Scott Lynn Frances
2208 ROGER ST	018-2029-0970	Rucker James Jr & Lizzie Rucker
2206 ROGER ST	018-2029-0971	Fuller Steven C
2120 ROGER ST	018-2028-0896	Stephens Donald
2118 ROGER ST	018-2028-0897	Lichnerowicz Mary Jane And Betty Pawlis & John Lichnerowicz
2102 ROGER ST	018-2028-0902	Harley Robert
2022 ROGER ST	018-2028-0903	Wambugu Mercy
2018 ROGER ST	018-2028-0904	Denson Carlton And Kathy
2110 ROGER ST	018-2028-0900	Vision Realty Int'l LLC
2214 ROGER ST	018-2029-0967	Mcginness Arthur H & Nancy C Trstes Arthur C Mcginness & Nancy C Mcginness Rev Living Trust
2106 ROGER ST	018-2028-0901	Harley Robert Jr
221 OBRIEN ST	018-2019-0567	NWI RE4 LLC
218 OBRIEN ST	018-2019-0568	Veltri Shane Eric Rev Trust
209 OBRIEN ST	018-2019-0575	Lynn Hamilton LLC
231 HUEY ST	018-2019-0543	Scott Patricia & Johnson Tellara JT
217 HUEY ST	018-2019-0565	Wright Lateesha D
230 HUEY ST	018-2019-0546	Brown Alberta Jackson
218 SADIE ST	018-2023-0694	Gordon Leroy And Ernestine
223 JOHNSON ST	018-2006-0055	Farrow Misti
	018-2024-0747	Lynn Hamilton LLC
	018-2025-0793	We House America LLC
	018-2024-0736	Medina Francisco
	018-2025-0785	Perry Diane V & Lisa R Perry
414 N OLIVE ST	018-2030-0997	Pruitt David L Jr
2226 BERTRAND ST	018-2030-1005	Lunceford Teddy Ray
2001 KENWOOD AVE	018-2027-0881	Housing Authority City Of So Bend

	018-2025-0779	Fernandez Santos
2214 ROGER ST	018-2029-0969	Mcginness Arthur H & Nancy C Trstes Arthur H Mcginness & Nancy C Mcginness Rev Living Trust
	018-2029-0968	Mcginness Arthur H & Nancy C Trstes Arthur H Mcginness & Nancy C Mcginness Rev Living Trust
	018-2025-0784	South Bend Faith Temple Church
229 COLLEGE ST	018-2007-006401	BM Rentals LLC
231 N JACKSON ST	018-2007-006202	Vision Realty Int'l LLC
220 N BROOKFIELD ST	018-2007-006302	Miramontes Jose & Navarrete Angelica
214 N BROOKFIELD ST	018-2007-0066	Vision Realty Int'l LLC
213 N JACKSON ST	018-2007-006601	Butler Daisy
206 N BROOKFIELD ST	018-2007-0067	Appiah Ruth
210 N BROOKFIELD ST	018-2007-006602	Zania Mazen Said
205 N JACKSON ST	018-2007-006701	Vision Realty Int'l LLC
209 N JACKSON ST	018-2007-006603	Vision Realty Int'l LLC
208 JOHNSON ST	018-2006-0061	City of South Bend The
1914 LINDEN AVE	018-2006-0056	SLM Management LLC D/B/A Renters First Choice
1910 LINDEN AVE	018-2006-005601	Kennedy Park Neighborhood Association Inc
1906 LINDEN AVE	018-2006-005602	Kennedy Park Neighborhood Association Inc
1902 LINDEN AVE	018-2006-005603	Kennedy Park Neighborhood Association Inc
230 N BROOKFIELD ST	018-2007-0062	Vision Realty Int'l LLC
212 JOHNSON ST	018-2006-006002	Logan Earl Steven
213 N BROOKFIELD ST	018-2006-006003	Douglas Jason
217 N JACKSON ST	018-2007-006303	Vision Realty Int'l LLC
227 COLLEGE ST	018-2007-006402	Scott Maurice
226 N BROOKFIELD ST	018-2007-006201	Greymorr Real Estate LLC
227 N JACKSON ST	018-2007-006203	Vision Realty Int'l LLC
	018-2006-006001	Martin Alfreeman Jr & Janet

		Brooks Jacquetta Shanell Jasmine Kanoelani
211 N BROOKFIELD ST	018-2006-006005	see transfer note
1909 PARALLEL ST	018-2006-005701	Mborothi Simon
222 N BROOKFIELD ST	018-2007-0063	Navarrete Austin
1911 PARALLEL ST	018-2006-0057	Vision Realty Int'l LLC
1907 PARALLEL ST	018-2006-005702	Kennedy Park Neighborhood Association Inc
217 N BROOKFIELD ST	018-2006-005704	Zaina Mazen Said
223 N JACKSON ST	018-2007-006301	Vision Realty Int'l LLC
225 COLLEGE ST	018-2007-006403	Vision Realty Int'l LLC
223 COLLEGE ST	018-2007-006501	Vision Realty Int'l LLC
	018-2006-005703	Zaina Mazen Said
323 N BROOKFIELD ST	018-2009-0098	Diocese of Fort Wayne South Bend Inc
1901 LINDEN AVE	018-2009-0109	Marshall Anthony
315 N BROOKFIELD ST	018-2009-0101	Diocese of Fort Wayne South Bend Inc
1909 LINDEN AVE	018-2009-0107	Torres Miguel Nava & Zagal Maria Del Rosario
1905 LINDEN AVE	018-2009-0108	Cuevas Luis G Tapia & Aparicio Maritza Farias HW
317 N BROOKFIELD ST	018-2009-0100	Diocese of Fort Wayne South Bend Inc
	018-2009-0099	Civil City Of South Bend % City Attorneys Office
1921 LINDEN AVE	018-2009-0103	Vision Realty Int'l LLC
1917 LINDEN AVE	018-2009-0104	Kenny Mateen
1915 LINDEN AVE	018-2009-0105	Wigfall Farrin D
601 JOHNSON ST	018-2028-0894	Rodriguez Saul
605 JOHNSON ST	018-2028-0893	Celmer Jeannie & Kitt Cynthia & Jordanek Joseph A
518 JOHNSON ST	018-2009-0124	Indiana Tax Auction LLC
521 N BROOKFIELD ST	018-2009-0125	Palicki Mary (1/2) & Monique Inc (1/2) % The Omega Group
606 JOHNSON ST	018-2009-0112	Jennings Boris/Jennings Chester Jr % Boris Jennings

608 JOHNSON ST	018-2009-0110	Neely William H & Magnolia
602 JOHNSON ST	018-2009-0114	Zoa Transportation
530 JOHNSON ST	018-2009-0116	Hall Miranda & Messer Kayd JTWROS
609 N BROOKFIELD ST	018-2009-0117	Marshall Barbara J
510 JOHNSON ST	018-2009-0130	Tropic Life Investments LLC
511 N BROOKFIELD ST	018-2009-0131	Kayfi LLC
616 JOHNSON ST	018-2014-0378	MGS Investments LLC
629 N BROOKFIELD ST	018-2014-0379	Ibarra Christian
613 N BROOKFIELD ST	018-2009-0115	Young Elicia
522 JOHNSON ST	018-2009-0120	Montano Pedro Castillo
601 N BROOKFIELD ST	018-2009-0121	Dutchboy Investments LLC
	018-2009-0113	621 Brookfield Land Trust
621 N BROOKFIELD ST	018-2009-0111	621 Brookfield Land Trust
718 JOHNSON ST	018-2014-0346	OSB Construction Incorporated
719 N BROOKFIELD ST	018-2014-0347	Kowalik Dolores H Rev Trust & as Trustee
505 N BROOKFIELD ST	018-2009-0135	Paniagua Julio Gutierrez
508 JOHNSON ST	018-2009-0132	Active Solutions LLC & Mackrola Tom as Agent
512 JOHNSON ST	018-2009-0128	Vision Realty Intl LLC
514 JOHNSON ST	018-2009-0126	Wallace Venita and Wallace Veronica
504 JOHNSON ST	018-2009-0134	St Stanislaus Bishop & Martyr Catholic Church
501 N BROOKFIELD ST	018-2009-0137	Hernandez Sergio und 1/3 int & Hernandez Alma und 1/3 int & Hernandez Juana und 1/3 int
507 N BROOKFIELD ST	018-2009-0133	Rushing Duncan Bryant & Marda Kay
515 N BROOKFIELD ST	018-2009-0129	Gaines Robert T
519 N BROOKFIELD ST	018-2009-0127	Benedict XVI LLC
415 N BROOKFIELD DR	018-2009-0136	Diocese Of Fort Wayne So Bend Inc
520 JOHNSON ST	018-2009-0122	Billinium Records LLC
526 JOHNSON ST	018-2009-0118	Perez Juan A Tafaya
625 N BROOKFIELD ST	018-2014-0381	Robinson Sherika Chonette
612 JOHNSON ST	018-2014-0380	MGS Investments LLC
523 N BROOKFIELD ST	018-2009-0123	ANM Rentals Inc

605 N BROOKFIELD ST	018-2009-0119	Hastings Willie Robert & Geraldine
618 JOHNSON ST	018-2014-0376	MGS Investments LLC
702 JOHNSON ST	018-2014-0362	Green Benyamin
713 N BROOKFIELD ST	018-2014-0353	Buitendorp Alexandre
641 N BROOKFIELD ST	018-2014-0371	Civil City of South Bend
630 JOHNSON ST	018-2014-0370	Civil City of South Bend
634 JOHNSON ST	018-2014-0368	Martinez Daniel G
622 JOHNSON ST	018-2014-0374	Villagrana Junior Sanchez & Camarillo Maria Brenda Murillo
635 N BROOKFIELD ST	018-2014-0375	Clear Equity Partners LLC
626 JOHNSON ST	018-2014-0372	Murillo Maria B
639 N BROOKFIELD ST	018-2014-0373	Lynn Hamilton LLC
643 N BROOKFIELD ST	018-2014-0369	643 Brookfield Land Trust w Birchwood Capital LLC as Trustee
631 N BROOKFIELD ST	018-2014-0377	Ruiz Jose M & Artemia
712 JOHNSON ST	018-2014-0352	Dominguez Pedro
653 N BROOKFIELD ST	018-2014-0363	Juarez Roberto & Laura
636 JOHNSON ST	018-2014-0366	Vision Realty Intl LLC
645 N BROOKFIELD ST	018-2014-0367	Conley Beverly J
705 N BROOKFIELD ST	018-2014-0359	Ochoa Edward Morgan
706 JOHNSON ST	018-2014-0358	Vision Realty Intl LLC
710 JOHNSON ST	018-2014-0354	SB231 Holdings LLC
709 N BROOKFIELD ST	018-2014-0355	OSB Construction
707 N BROOKFIELD ST	018-2014-0357	Randle Quentin
708 JOHNSON ST	018-2014-0356	247 Investments LLC
714 JOHNSON ST	018-2014-0350	Ds Blues Bistro
715 N BROOKFIELD ST	018-2014-0351	Castro Rosa Hilda Chic
717 N BROOKFIELD ST	018-2014-0349	Vera Janette
647 N BROOKFIELD ST	018-2014-0365	Juarez Roberto & Laura
638 JOHNSON ST	018-2014-0364	Vision Realty Intl LLC
		OSRB LLC
701 N BROOKFIELD ST	018-2014-0361	see transfer note
704 JOHNSON ST	018-2014-0360	Johnson 2 LLC
	018-2014-0348	OSB Construction Incorporated
1810 FLORENCE AVE	018-2010-0151	Habitat For Humanity of St Joseph County Inc

1808 1/2 FLORENCE AVE	018-2010-0155	Habitat For Humanity of St Joseph County Inc
1815 LINDEN AVE	018-2010-0142	Bowker Maria
320 N BROOKFIELD ST	018-2010-0139	Zheng Wei
1818 FLORENCE ST	018-2010-0143	Van Norman William A
1816 FLORENCE ST	018-2010-0147	Allied Indiana Investments LLC
1819 LINDEN AVE	018-2010-0138	Bowker Maria
1813 LINDEN AVE	018-2010-0146	Arambula Israel and Ramirez Margarita
1801 LINDEN AVE	018-2010-0158	Oneal Xavier T Sr & Oneal Julius Jr
	018-2010-0159	Habitat For Humanity of St Joseph County Inc
	018-2010-0150	Oneal Xavier t Sr & Oneal Julius Jr
1802 SIBLEY ST	018-2010-0161	Moman Daryl K and Janie M
1818 SIBLEY AVE	018-2010-0145	Haithcox Anthony Gordon and Jo Anne
1816 SIBLEY AVE	018-2010-0149	Habitat for Humanity of St Joseph County Inc
1810 SIBLEY AVE	018-2010-0153	Habitat For Humanity of St Joseph County Inc
1806 SIBLEY AVE	018-2010-0157	Habitat for Humanity of St Joseph County Inc
1714 SIBLEY AVE	018-2010-0173	Smith Florida
1713 SIBLEY AVE	018-2012-0275	Zakrocki Benjamin And Claude
1805 SIBLEY ST	018-2012-0259	1805 Sibley Street Trust
1817 SIBLEY ST	018-2012-0247	Pearson Tracey
1823 SIBLEY AVE	018-2012-0243	Vision Realty Intl LLC
1811 SIBLEY AVE	018-2012-0251	Vision Realty Intl LLC
1809 SIBLEY AVE	018-2012-0255	Vision Realty Intl LLC
	018-2012-0263	Vision Realty Intl LLC
1822 LONGLEY AVE	018-2012-0246	White Timothy S
1814 LONGLEY AVE	018-2012-0254	Vision Realty Int'l LLC
1810 LONGLEY AVE	018-2012-0258	Lindsey Bryan
1818 LONGLEY AVE	018-2012-0250	Chism James
1806 LONGLEY AVE	018-2012-0262	Diveley Donovan B & Doreen A
1802 LONGLEY AVE	018-2012-0266	Civil City of South Bend
619 COLLEGE ST	018-2012-0286	Faith Apostolic Temple Inc

1817 FLORENCE ST	018-2010-0144	Lugar Real Estate Investments & SRVC LLC
1813 FLORENCE ST	018-2010-0148	Lugar Real Estate Investments & SRVC LLC
1811 FLORENCE ST	018-2010-0152	Lugar Real Estate Investments & SRVC LLC
1809 FLORENCE ST	018-2010-0156	VanNorman William
1801 FLORENCE ST	018-2010-0160	VanNorman William
1823 FLORENCE ST	018-2010-0140	St Stanislaus Bishop & Martyr Catholic Church
1824 SIBLEY ST	018-2010-0141	Haithcox Anthony Gordon and JoAnne
1823 FASSNACHT AVE	018-2012-0245	Aviles Juana R & Rios Gerardo jt w/fros not tic
1817 FASSNACHT AVE	018-2012-0249	Castaneda Luis and Salvador
1809 FASSNACHT AVE	018-2012-0257	Vision Realty Intl LLC
1805 FASSNACHT AVE	018-2012-0261	Vision Realty Intl LLC
1801 FASSNACHT AVE	018-2012-0265	MJY Management LLC
1705 FASSNACHT AVE	018-2012-0277	Flores Gabriel
1806 FASSNACHT AVE	018-2012-0260	Williams Brenda and Cotton Tina jtwros
1714 FASSNACHT AVE	018-2012-0276	Washington Carl E
1813 FASSNACHT AVE	018-2012-0253	Donnell Marvin Randall
1822 FASSNACHT AVE	018-2012-0244	Vision Realty Intl LLC
1818 FASSNACHT AVE	018-2012-0248	Vision Realty Intl LLC
1814 FASSNACHT AVE	018-2012-0252	Vision Realty Intl LLC
1810 FASSNACHT AVE	018-2012-0256	Vision Realty Intl LLC
1802 FASSNACHT AVE	018-2012-0264	Duggal Shiv Kumar & Surabhi HW
1705 FASSNACHT AVE	018-2012-0285	Flores Gabriel
1710 FASSNACHT AVE	018-2012-0280	Washington Carl E & Rosemary
1628 FASSNACHT AVE	018-2013-0312	1628 Fassnacht Avenue Land Trust
1604 FASSNACHT AVE	018-2013-0339	Noble Indiana Investments LLC
516 COLLEGE ST	018-2013-0293	Causey Beatrice
1634 FASSNACHT AVE	018-2013-0301	Vision Realty Int'l LLC
1632 FASSNACHT AVE	018-2013-0305	Vision Realty Int'l LLC
1630 FASSNACHT AVE	018-2013-0309	Vision Realty Intl LLC
1626 FASSNACHT AVE	018-2013-0316	Vision Realty Intl LLC
1620 FASSNACHT AVE	018-2013-0320	Vision Realty Intl LLC

1616 FASSNACHT AVE	018-2013-0323	Vision Realty Intl LLC
1614 FASSNACHT AVE	018-2013-0327	Vision Realty Int'l LLC
1610 FASSNACHT AVE	018-2013-0331	Madison Court Enterprises LLC
1608 FASSNACHT AVE	018-2013-0335	Vision Realty Intl LLC
1602 FASSNACHT AVE	018-2013-0343	Vision Realty Intl LLC
1615 FLORENCE ST	018-2011-0221	Habitat For Humanity of St Joseph County Inc
1609 FLORENCE ST	018-2011-0229	Lazy J Ranch Corporation
1603 FLORENCE ST	018-2011-0237	Habitat for Missionaries Inc
1631 FASSNACHT AVE	018-2013-0306	Vision Realty Int'l LLC
1629 FASSNACHT AVE	018-2013-0310	Vision Realty Int'l LLC
1625 FASSNACHT AVE	018-2013-0317	Vision Realty Intl LLC
1615 FASSNACHT AVE	018-2013-0324	Becerril Dilan Cruz Torres
1613 FASSNACHT AVE	018-2013-0328	Espinoza-Zamarripa Isael
1609 FASSNACHT AVE	018-2013-0332	Vision Realty Intl LLC
1607 FASSNACHT AVE	018-2013-0336	Vision Realty Intl LLC
1603 FASSNACHT AVE	018-2013-0340	Hunter Home Management LLC
1601 FASSNACHT AVE	018-2013-0344	BM Rentals LLC
1613 FLORENCE ST	018-2011-0225	Davis James And Clara
1627 FASSNACHT AVE	018-2013-0313	Mojica William
1619 FASSNACHT AVE	018-2013-0321	Carter Floyd And Leola
1619 FLORENCE AVE	018-2011-0217	Habitat For Humanity of St Joseph County Inc
1607 FLORENCE AVE	018-2011-0233	Habitat for Missionaries Inc
1623 FLORENCE AVE	018-2011-0209	Civil City of South Bend
422 COLLEGE ST	018-2011-0190	Frison Amon Rashad & Hoang Yen
611 BIRDSSELL ST	018-1052-2226	Lopez Victor
1637 LINDEN AVE	018-2011-0187	Smith Legacy Project LLC
1635 LINDEN AVE	018-2011-0191	Smith Legacy Project LLC
1627 LINDEN AVE	018-2011-0207	Malone Annette M
1625 LINDEN AVE	018-2011-0211	Malone Annette
1525 LINDEN AVE	018-2011-0219	Hurd Michael A
1523 LINDEN AVE	018-2011-0223	Hurd Michael A
1519 LINDEN AVE	018-2011-0231	Lee Jalen & Scott Maurice Jr TIC
1626 SIBLEY ST	018-2011-0210	Powell Tony
1622 SIBLEY ST	018-2011-0214	Powell Tony
1620 SIBLEY ST	018-2011-0218	Vision Realty Intl LLC

1616 SIBLEY ST	018-2011-0222	1616 Sibley Street Land Trust
	018-2011-0213	Civil City of South Bend
1636 LONGLEY AVE	018-2013-0299	Vision Realty Int'l LLC
1634 LONGLEY AVE	018-2013-0303	Vision Realty Int'l LLC
1632 LONGLEY AVE	018-2013-0307	Vision Realty Int'l LLC
1630 LONGLEY AVE	018-2013-0311	Civil City of South Bend
1628 LONGLEY AVE	018-2013-0314	Vision Realty Int'l LLC
1620 LONGLEY AVE	018-2013-0322	Vision Realty Intl LLC
1614 LONGLEY AVE	018-2013-0329	Ashner Idan
1610 LONGLEY AVE	018-2013-0333	Vision Realty Intl LLC
1608 LONGLEY AVE	018-2013-0337	Trevino Maria Magdalena
1636 FLORENCE ST	018-2011-0192	Sims James & Viola
1626 FLORENCE ST	018-2011-0208	Guardado Salvador & Rodriquez Alicia
1622 FLORENCE ST	018-2011-0212	Vision Realty Intl LLC
1616 FLORENCE ST	018-2011-0220	Vision Realty Intl LLC
1610 FLORENCE ST	018-2011-0228	Fountain Investments LLC
1602 FLORENCE ST	018-2011-0240	Rustman Maria A
1633 LINDEN AVE	018-2011-0195	Tyes Frank And Floyd Tyes
1631 LINDEN AVE	018-2011-0199	Tanner Ray & Emma
1629 LINDEN AVE	018-2011-0203	Tanner Ray & Emma
1521 LINDEN AVE	018-2011-0227	Oneal Eddie Sr & Hopkins Jeffrey Lynn As Tenants In Common
1517 LINDEN AVE	018-2011-0235	Lee Jalen & Scott Maurice Jr
1515 LINDEN AVE	018-2011-0239	Lee Jalen & Scott Maurice Jr
1628 SIBLEY ST	018-2011-0206	Coleman Gertrude, Mary Elizabeth Merritt & Francesca Merritt
1614 SIBLEY ST	018-2011-0226	Smith Douglas E
1610 SIBLEY ST	018-2011-0230	Douglas Clinton III
1640 LONGLEY AVE	018-2013-0296	Wright Yvonne Living Trust & as Trustee
1626 LONGLEY AVE	018-2013-0318	Coles Rose L & Butler Lonnie R as JT W/ROS
1616 LONGLEY AVE	018-2013-0325	Chester John W & Chester Christopher G
1634 FLORENCE ST	018-2011-0196	Brotherton Jeanine M
1628 FLORENCE ST	018-2011-0204	Harder Cliff

1618 FLORENCE ST	018-2011-0216	Paris Properties & Leasing LLC
1612 FLORENCE ST	018-2011-0224	Gatlin Harry T
1608 SIBLEY AVE	018-2011-0234	Vision Realty Int'l LLC
1606 SIBLEY AVE	018-2011-0238	Vision Realty Intl LLC
1602 SIBLEY AVE	018-2011-0242	Vision Realty Intl LLC
1608 FLORENCE AVE	018-2011-0232	Vision Realty Int'l LLC
1631 FLORENCE ST	018-2011-0201	Habitat For Humanity of St Joseph County Inc
1634 SIBLEY ST	018-2011-0198	Oliva Santos & Trejo Guadalupe JTWROS
1632 SIBLEY ST	018-2011-0202	Theragene Fritz
616 WILBER ST	018-1053-2282	Stokes Jame And Lillian
1601 FLORENCE AVE	018-2011-0241	Vision Realty Intl LLC
1641 FLORENCE AVE	018-2011-0189	Habitat For Humanity of St Joseph County Inc
1635 FLORENCE AVE	018-2011-0193	Habitat For Humanity of St Joseph County Inc
1633 FLORENCE AVE	018-2011-0197	Lakeside Portfolio Management LLC
1609 SIBLEY ST	018-2013-0330	Amaya Hernan E
609 BIRDSSELL ST	018-1052-2227	Columbia Ross & Abby
1633 FASSNACHT AVE	018-2013-0302	Plump Tracy Lamar
1615 SIBLEY ST	018-2013-0319	Reed Timothy & Pope Sheri
1601 SIBLEY ST	018-2013-0342	Ross Gerald D
1639 FASSNACHT AVE	018-2013-0295	Awald Matt & Tamara L
1635 FASSNACHT AVE	018-2013-0298	Coles Rose L
1637 SIBLEY AVE	018-2013-0291	Habitat for Humanity of St Joseph County Inc
1641 SIBLEY AVE	018-2013-0297	Vision Realty Int'l LLC
1633 SIBLEY AVE	018-2013-0300	Zaina Mazen Said
1631 SIBLEY AVE	018-2013-0304	Vision Realty Int'l LLC
1621 SIBLEY AVE	018-2013-0315	Vision Realty Intl LLC
1613 SIBLEY AVE	018-2013-0326	Amaya Hernan E
1607 SIBLEY AVE	018-2013-0334	Amaya Hernan E
1603 SIBLEY AVE	018-2013-0338	Amaya Hernan E
514 COLLEGE ST	018-2013-0292	Vision Realty Int'l LLC
1625 SIBLEY AVE	018-2013-0308	Hairston Dorothy
1604 LONGLEY AVE	018-2013-0341	Vision Realty Intl LLC
1602 LONGLEY AVE	018-2013-0345	Vision Realty Intl LLC
639 SANCOME AVE	018-1053-2275	Lopez Victor
	018-2011-0205	Civil City of South Bend

421 COLLEGE ST	018-2010-0186	Longdog Home Solutions LLC
1702 FLORENCE AVE	018-2010-0184	Hayes Christian N
1701 FLORENCE AVE	018-2010-0185	Ms Humble Hands
1701 FASSNACHT AVE	018-2012-0289	Flores Gabriel
1701 SIBLEY AVE	018-2012-0287	Vision Realty Int'l LLC
1702 FASSNACHT AVE	018-2012-0288	Vision Realty Int'l LLC
413 COLLEGE ST	018-2010-0181	Torres Miguel Nava
1709 SIBLEY ST	018-2012-0279	1st Choice Leasing USA LLC
1706 FASSNACHT AVE	018-2012-0284	Martin Autumn
1707 SIBLEY AVE	018-2012-0283	Vision Realt Intl LLC
1710 SIBLEY ST	018-2010-0177	Brown Fiona
1709 LINDEN AVE	018-2010-0174	Oneal Eveline & Julius Jr
1705 LINDEN AVE	018-2010-018301	Oneal Eveline & Julius Jr
	018-2010-0178	Oneal Eveline & Julius Jr
	018-2010-0170	Oneal Eveline & Julius Jr
1714 FLORENCE AVE	018-2010-0171	Habitat For Humanity of St Joseph County Inc
1710 FLORENCE AVE	018-2010-0175	Habitat For Humanity of St Joseph County Inc
1706 FLORENCE AVE	018-2010-0179	Nino Ignacio R and Concepcion G
1709 FLORENCE AVE	018-2010-0172	Vision Realty Intl LLC
1713 FLORENCE AVE	018-2010-0176	Vision Realty Intl LLC
1703 FLORENCE AVE	018-2010-0180	MS Humble Hands
1701 LINDEN AVE	018-2010-0183	Oneal Eveline & Julius Jr
219 STUDEBAKER ST	018-1047-2042	Vision Realty Intl LLC
204 PAGIN ST	018-1046-2007	Hottie-Jan LLC
216 STUDEBAKER ST	018-1046-1974	Kenny Mateen
214 PAGIN ST	018-1046-2005	Woodson Alecsander
	018-1046-200501	Vision Realty Intl LLC
247 N WALNUT ST	018-1046-1994	Bailey Eddie Lee And Rosie
230 PAGIN ST	018-1046-2000	Civil City of South Bend
202 STUDEBAKER ST	018-1046-1977	Glasco Terry
201 PAGIN ST	018-1046-1992	Pickens Alice
222 PAGIN ST	018-1046-2002	Perez Fredy Otoniel Mazariegos & Castro Gabriela Elizabeth Perez JTWROS
205 STUDEBAKER ST	018-1047-2047	Gandy George & Sonja
1311 HINE ST	018-1046-2009	Vision Realty Intl LLC
221 N WALNUT ST	018-1046-2003	Farabee John L Jr

212 BIRDSSELL ST	018-1047-2027	Escalante Elisa
209 PAGIN ST	018-1046-1990	Gonzalez Romelia Reyes
211 STUDEBAKER ST	018-1047-2044	Dream Haus Development LLC
206 BIRDSSELL ST	018-1047-2028	Hoerstman Layne
215 STUDEBAKER ST	018-1047-2043	Kenny Mateen
218 PAGIN ST	018-1046-200401	Woodson Alecsander
225 STUDEBAKER ST	018-1047-2041	Williams Development Family LLC
212 STUDEBAKER ST	018-1046-1975	Blount George, Blount Kenneth, Blount Dennis, Blount Russell & Blount Vicki
1319 HINE ST	018-1046-1989	Blount George W Sr & Vicki L (jt Tenants W/Survivorship)
218 BIRDSSELL ST	018-1047-2025	Waters Robert & Hill Joanna B
202 BIRDSSELL ST	018-1047-2029	Hernandez Mario
220 STUDEBAKER ST	018-1046-1973	Malone Tori & Dewayne & Diamond
225 PAGIN ST	018-1046-198701	Trust No 120199 by Indiana Land Trust Company as Trustee
154 BIRDSSELL ST	018-1047-2030	Smith Lester And Amelia
211 S WALNUT ST	018-1046-2006	Woodson Alecsander
217 N WALNUT ST	018-1046-2004	Vision Realty Intl LLC
1408 LINDEN AVE	018-1047-2036	360 Invision Properties
250 STUDEBAKER ST	018-1046-1964	SFR3-040 LLC
1328 LINDEN AVE	018-1046-1965	Grey Oak Real Estate LLC
1322 LINDEN AVE	018-1046-1978	Vision Realty Int'l LLC
1320 LINDEN AVE	018-1046-1979	Esteban David Flor
1310 LINDEN AVE	018-1046-1980	Esteban David Flor
206 STUDEBAKER ST	018-1046-1976	Lara Properties Corporation
205 PAGIN ST	018-1046-1991	Pickens Alice
150 BIRDSSELL ST	018-1047-2031	Wigfall Marvin
207 STUDEBAKER ST	018-1047-2045	Zaina Mazen Said
214 BIRDSSELL ST	018-1047-2026	Waters Robert & Hill Joanna B
227 STUDEBAKER ST	018-1047-2040	Kessick Angela
230 STUDEBAKER ST	018-1046-1970	Dream Haus Development LLC

229 PAGIN ST	018-1046-1984	Vertex Equity Partners LLC
229 STUDEBAKER ST	018-1047-2039	Cole Roshadd
203 N WALNUT ST	018-1046-2008	Balanced Life Organization LLC
240 PAGIN ST	018-1046-1997	Civil City of South Bend
234 STUDEBAKER ST	018-1046-1969	Glasco Terry L
233 PAGIN ST	018-1046-1983	Dream Haus Development LLC
227 N WALNUT ST	018-1046-1999	Gonzalez Wilma
222 BIRDSSELL ST	018-1047-2024	Waters Robert and Hill Waters Joanna
235 STUDEBAKER ST	018-1047-2038	Williams Development Family LLC
240 STUDEBAKER ST	018-1046-1968	240 Studebaker Street Trust
237 PAGIN ST	018-1046-1982	Dream Haus Development LLC
230 BIRDSSELL ST	018-1047-2022	Boykins Lamonte
246 STUDEBAKER ST	018-1046-1966	Williams Development Family LLC
1418 LINDEN AVE	018-1047-2021	Mack Charles
1416 LINDEN AVE	018-1047-2034	Kenny Mateen
1412 LINDEN AVE	018-1047-2035	1st Choice Leasing USA LLC
234 PAGIN ST	018-1046-199901	Bailey Eddie
226 STUDEBAKER ST	018-1046-1971	Vision Realty Intl LLC
226 PAGIN ST	018-1046-2001	Young Brittany
224 STUDEBAKER ST	018-1046-1972	Redding Rosie M
226 BIRDSSELL ST	018-1047-2023	Imani & Unidad Inc
223 N WALNUT ST	018-1046-200101	Odom Malcom
239 STUDEBAKER ST	018-1047-2037	Lucky 21 Properties LLC
242 STUDEBAKER ST	018-1046-1967	Dream Haus Development LLC
241 PAGIN ST	018-1046-1981	Vertex Equity Partners LLC
	018-1046-1996	Bailey Eddie
1302 LINDEN AVE	018-1046-1993	Bean Alfred La Ron & Cindy HW
421 N WALNUT ST	018-1050-2143	Westminster Holdings LLC
522 BIRDSSELL ST	018-1052-2250	360 Invision Properties LLC
525 STUDEBAKER ST	018-1052-2257	Dominguez Andriana
322 STUDEBAKER ST	018-1050-2139	Luer Properties Indiana I LLC

525 BIRDSSELL ST	018-1052-2231	RX Investments LLC
1325 LINDEN AVE	018-1050-2154	Givens Property Investors LLC
1420 FASSNACHT AVE	018-1052-2249	Johnson Kenneth and Jamie
332 BIRDSSELL ST	018-1049-2104	Collins Nathan
406 BIRDSSELL ST	018-1049-2102	Golden Goose Properties LLC
324 BIRDSSELL ST	018-1049-2106	Elias Cesar de Jesus Bonilla
321 STUDEBAKER ST	018-1049-2118	Morton Rafael
329 STUDEBAKER ST	018-1049-2116	Reed Ernest Jack & Mary E
307 BIRDSSELL ST	018-1049-2095	Jones Adeline W
407 BIRDSSELL ST	018-1049-2087	Vision Realty Int'l LLC
405 STUDEBAKER ST	018-1049-2114	Green Clover Properties IN LLC
521 BIRDSSELL ST	018-1052-2232	Wisdom Anthony
1431 LINDEN AVE	018-1049-2122	Hernandez Cesar Rodrigo
332 STUDEBAKER ST	018-1050-2137	Searer Thomas Jay
333 N WALNUT ST	018-1050-2149	DSN IRA LLC
401 BIRDSSELL ST	018-1049-2088	Garcia Marco and Garcia Ma Guadalupe
334 STUDEBAKER ST	018-1050-2136	SFR3-030 LLC
401 N WALNUT ST	018-1050-2148	401 Walnut Land Trust
1501 LINDEN AVE	018-1049-2096	Imani & Unidad Inc
327 BIRDSSELL ST	018-1049-2090	Winston Sam L & Clara B Williams
330 BIRDSSELL ST	018-1049-2105	Pfeifer Charlotte
325 STUDEBAKER ST	018-1049-2117	Morton Rafael and Ruth jtw fros and not as tic
402 BIRDSSELL ST	018-1049-2103	Taylor Raydisha Lee 33/39 & Pfeifer Pamela 3/39 & Mitchell Viola 1/39 & mitchell Keith 1/39 & Mitchell Raishawn 1/39
403 STUDEBAKER ST	018-1049-2115	Reed Ernest Jack And Mary E
510 STUDEBAKER ST	018-1051-2209	Dickinson Jesselen R
509 N WALNUT ST	018-1051-2213	Swanson Lucinda
314 BIRDSSELL ST	018-1049-2121	Sheehan Edward J III
1421 LINDEN AVE	018-1049-2124	Hernandez Miguel A
1411 LINDEN AVE	018-1049-2125	Civil City of South Bend
1407 LINDEN AVE	018-1049-2127	Robinson Rochelle

1405 LINDEN AVE	018-1049-2128	S & R Solutions LLC
1321 LINDEN AVE	018-1050-2155	Givens Property Investors LLC
1319 LINDEN AVE	018-1050-2156	Kuyenda Steve
1317 LINDEN AVE	018-1050-2157	Active Solutions LLC & Mackrola Tom as Agent
1315 LINDEN AVE	018-1050-2158	Fidelis Properties LLC
1301 LINDEN AVE	018-1050-2161	Davis Ryce
313 BIRDSSELL ST	018-1049-2094	Talabera Jose Alberto Galicia and Galicia Javier
509 BIRDSSELL ST	018-1052-2235	Green Jerry and Maudie
328 STUDEBAKER ST	018-1050-2138	Reyes Zayda and Vargas Juan
331 BIRDSSELL ST	018-1049-2089	Garcia Marco
317 BIRDSSELL ST	018-1049-2093	Lopez Francisco J Garcia
313 STUDEBAKER ST	018-1049-2120	Vision Realty Int'l LLC
317 N WALNUT ST	018-1050-2153	Treviso Marta
319 BIRDSSELL ST	018-1049-2092	Lopez Francisco J Garcia
317 STUDEBAKER ST	018-1049-2119	Luer Properties Indiana I LLC
320 STUDEBAKER ST	018-1050-2140	Lawzar Enterprises LLC
321 N WALNUT ST	018-1050-2152	Garcia Rolando Eduardo Lopez
323 BIRDSSELL ST	018-1049-2091	Blessed Homes LLC
325 N WALNUT ST	018-1050-2151	Santos Galdino & Ramirez Ivette Adali
1423 LINDEN AVE	018-1049-2123	Clark O'Neal Funeral Home Inc
1409 LINDEN AVE	018-1049-2126	Washington Edward & Andrea
		Lottie Harvey With Life Estate
1401 LINDEN AVE	018-1049-2129	for Goldie Lottie
1309 LINDEN AVE	018-1050-2159	Hogan Ardisha L
1307 LINDEN AVE	018-1050-2160	Davis Ryce E Sr
510 BIRDSSELL ST	018-1052-2253	Jones Norris Gloria
316 STUDEBAKER ST	018-1050-2141	E3 League LLC
322 BIRDSSELL ST	018-1049-2107	Jones Adeline
413 BIRDSSELL ST	018-1049-2085	Hoerstman Layne
329 N WALNUT ST	018-1050-2150	Gardina Joseph
		Whole Skys Venture LLC
411 BIRDSSELL ST	018-1049-2086	11-25-09*

410 STUDEBAKER ST	018-1050-2134	Diaz Juan R
409 N WALNUT ST	018-1050-2146	409 Walnut Street Land Trust
421 BIRDSSELL ST	018-1049-2083	Scutchfield Carter
422 STUDEBAKER ST	018-1050-2131	Luer Properties Indiana I LLC
425 BIRDSSELL ST	018-1049-2082	NexGen Holdings LLC
426 BIRDSSELL ST	018-1049-2097	Montoya Alfonso
501 STUDEBAKER ST	018-1052-2263	Erbach Edward
502 STUDEBAKER ST	018-1051-2211	Guzman Miguel
501 N WALNUT ST	018-1051-2215	Hall Gregory M
506 STUDEBAKER ST	018-1051-2210	Lambert Michael
505 BIRDSSELL ST	018-1052-2236	505 N Birdsellstreet Trust
505 N WALNUT ST	018-1051-2214	Waite Antoinette
518 BIRDSSELL ST	018-1052-2252	Cole Ryan A
521 STUDEBAKER ST	018-1052-2258	521 Studebaker Street Land Trust
410 BIRDSSELL ST	018-1049-2101	Dudley Geneva
409 STUDEBAKER ST	018-1049-2113	Douglas Clinton III
501 BIRDSSELL ST	018-1052-2237	Invision 360 Properties LLC
509 STUDEBAKER ST	018-1052-2261	Stewart Nancy K
417 STUDEBAKER ST	018-1049-2111	Moore Arthur And Odessa
426 STUDEBAKER ST	018-1050-2130	Vision Realty Int'l LLC
425 N WALNUT ST	018-1050-2142	Barefoot Holdings LLC
426 WILBER ST	018-1049-2081	Frame Orville E Jr & Maureen
502 BIRDSSELL ST	018-1052-2255	Zaina Mazen Said
506 BIRDSSELL ST	018-1052-2254	Calixte Kaciny
514 STUDEBAKER ST	018-1051-2208	514 N Studebaker St LLC
513 N WALNUT ST	018-1051-2212	Bethesda Christian Ministry
517 STUDEBAKER ST	018-1052-2259	Rios Maria D
517 BIRDSSELL ST	018-1052-2233	517 Birdsell Land Trust
529 STUDEBAKER ST	018-1052-2256	Tropic Life Investments LLC
1320 FASSNACHT AVE	018-1051-2202	Pedroza-Elguero Humberto
1312 FASSNACHT AVE	018-1051-2203	Harris Tony and June
517 N WALNUT ST	018-1051-2206	Williams Gilbert Jr
513 STUDEBAKER ST	018-1052-2260	Wheeler James E Jr And Joanna
513 BIRDSSELL ST	018-1052-2234	Wisdom Anthony
1332 FASSNACHT AVE	018-1051-2199	Wisdom Anthony

1328 FASSNACHT AVE	018-1051-2200	Wisdom Anthony
1324 FASSNACHT AVE	018-1051-2201	Wisdom Anthony
1310 FASSNACHT AVE	018-1051-2204	Harris Tony and June
1308 FASSNACHT AVE	018-1051-2205	Williams Gilbert Jr
1334 FASSNACHT AVE	018-1051-2198	Civil City of South Bend
408 STUDEBAKER ST	018-1050-2135	Lipsey Bre Aira
422 BIRDELL ST	018-1049-2098	Ruiz Anastacio J Montoya and de La O Maria D Rivera
405 N WALNUT ST	018-1050-2147	Gardina Joseph
414 BIRDELL ST	018-1049-2100	Whole Skys Venture LLC
411 STUDEBAKER ST	018-1049-2112	Luer Properties Indiana I LLC
414 STUDEBAKER ST	018-1050-2133	Mitchell Alesia
418 STUDEBAKER ST	018-1050-2132	Luer Properties Indiana I LLC
417 N WALNUT ST	018-1050-2144	Kroll Amit
418 BIRDELL ST	018-1049-2099	Scales Jimmy L
415 N WALNUT ST	018-1050-2145	Gardina Joseph
417 BIRDELL ST	018-1049-2084	Caldera Maria
531 LA PORTE AVE	018-1051-2216	Civil City of South Bend
1511 FASSNACHT AVE	018-1052-2228	Carter Jessica
1503 FASSNACHT AVE	018-1052-223001	Harvell Larry Jr and Monique
1507 FASSNACHT AVE	018-1052-2229	Gardina Joseph
	018-1052-2230	Smith John C & Thelma J
610 LAPORTE AVE	018-1037-1640	Northwood Investments LLC
606 LA PORTE AVE	018-1037-1641	Northwood Investments LLC
662 LAWDALE AVE	018-1039-1727	Civil City of South Bend
609 STUDEBAKER ST	018-1051-2186	Tyes Richard A & Johnson Classie M JTWROS
623 DIAMOND AVE	018-1038-1664	Mack Alfonso
643 LAPORTE AVE	018-1051-2189	Bailey Tyria
617 STUDEBAKER ST	018-1051-2184	Resheff Holdings LLC
629 DIAMOND AVE	018-1038-1663	Invision 360 Properties LLC
644 LAPORTE AVE	018-1039-1723	Peterdy Oliver
714 SANCOME AVE	018-1039-1704	Zaina Mazen Said
607 STUDEBAKER ST	018-1051-2187	Indiana Property Investment NO 4 LLC
609 LAPORTE AVE	018-1051-2197	Northwood Investments LLC

613 LAPORTE AVE	018-1051-2196	Northwood Investments LLC
635 STUDEBAKER ST	018-1051-2180	UKAN LLC
633 N WALNUT ST	018-1037-1601	Northwood Investments LLC
613 STUDEBAKER ST	018-1051-2185	NnN18 LLC
627 STUDEBAKER ST	018-1051-2182	Mehalev Zohar
614 LAPORTE AVE	018-1038-1678	Northwood Investments LLC
619 N WALNUT ST	018-1037-1605	Phelps Tanisha A
601 STUDEBAKER ST	018-1051-2188	Gardina Joseph
624 DIAMOND AVE	018-1038-1672	Widerquist Tim
1333 FASSNACHT AVE	018-1051-2190	Widerquist Tim
1329 FASSNACHT AVE	018-1051-2191	Widerquist Tim
1325 FASSNACHT AVE	018-1051-2192	Widerquist Tim
1323 FASSNACHT AVE	018-1051-2193	Widerquist Tim
1321 FASSNACHT AVE	018-1051-2194	Widerquist Tim
619 LA PORTE AVE	018-1051-2195	Widerquist Tim
602 LA PORTE AVE	018-1037-1642	Northwood Investments LLC
617 N WALNUT ST	018-1037-1606	Young Robert
666 LAPORTE AVE	018-1039-1703	Harris Karen & Terry
668 LAPORTE AVE	018-1039-1702	Carruthers Angela & Harris Terry
633 DIAMOND AVE	018-1038-1661	Dotson Adrian J
636 DIAMOND AVE	018-1038-1669	Cluxton Vince
635 N WALNUT ST	018-1037-1600	635 Walnut Street Trust
626 DIAMOND AVE	018-1038-1671	626 Diamond Avenue Land Trust
631 N WALNUT ST	018-1037-1602	SFR3-020 LLC
638 DIAMOND AVE	018-1038-1668	Woodson Alecsander
648 LAPORTE AVE	018-1039-1721	Dream Haus Development LLC
654 LAWNDAL AVE	018-1039-1725	Civil City of South Bend
645 DIAMOND AVE	018-1038-1659	Walker Earl E Jr & Deborah Walker A/K/A Debra K Walker
667 LAPORTE AVE	018-1052-2238	Newbill Bobby and Debra J
631 STUDEBAKER ST	018-1051-2181	BAILEY TYRIA
630 DIAMOND AVE	018-1038-1670	Glover Jenneisha C
640 DIAMOND AVE	018-1038-1667	Walker Earl Jr
639 DIAMOND AVE	018-1038-1660	Walker Earl E Jr
620 LA PORTE AVE	018-1038-1677	Widerquist Tim

613 DIAMOND AVE	018-1038-1675	Northwood Investments LLC
623 N WALNUT ST	018-1037-1604	Active Solutions LLC & Mackrola Tom as Agent
656 LA PORTE AVE	018-1039-1711	Harris Terry James
652 LAWDALE AVE	018-1039-1724	Yaw Aurora
654 LA PORTE AVE	018-1039-1712	Harris Terry James
624 LA PORTE AVE	018-1038-1676	Widerquist Tim
661 LA PORTE AVE	018-1051-2179	Wisdom Anthony
625 N WALNUT ST	018-1037-1603	Steward Resources LLC
617 DIAMOND AVE	018-1038-1674	Northwood Investments LLC
621 DIAMOND AVE	018-1038-1673	Northwood Investments LLC
720 SANCOME AVE	018-1039-1706	Castro Ana Gloria
715 SANCOME AVE	018-1039-1694	Hutchinson Joseph Wayne
643 N WALNUT ST	018-1037-1598	Elizabeth Memorial Church Of God In Christ
644 DIAMOND AVE	018-1038-1666	Faith Apostolic Temple Inc
663 LA PORTE AVE	018-1051-2178	Civil City of South Bend
658 LAWDALE AVE	018-1039-1726	Garcias Compra y Venta LLC
661 LAWDALE AVE	018-1039-1716	Wiper Corporation
673 LAWDALE AVE	018-1039-1717	673 Lawndale Ave Trust
1420 LINCOLN WAY W	018-1039-1708	Castro Ana Gloria
669 LAPORTE AVE	018-1053-2280	Civil City of South Bend
649 LAWDALE AVE	018-1039-1713	Tanner Ray Sr
646 DIAMOND AVE	018-1038-1665	Active Solutions LLC & Mackrola Tom as Agent
660 LA PORTE AVE	018-1039-1710	Harris Terry James
718 SANCOME AVE	018-1039-1705	Green Monique
717 SANCOME AVE	018-1039-1695	Hutchinson Joseph Wayne
1414 LINCOLN WAY W	018-1039-1709	Szucs Stefan
1422 LINCOLN WAY W	018-1039-1707	Alshawi Auto Sales Llc % Stefan Szucs
1502 LINCOLN WAY W	018-1039-1699	Castelan Marcoantonio Millan
1510 LINCOLN WAY W	018-1039-1698	Hutchinson Joseph Wayne
1514 LINCOLN WAY W	018-1039-1697	Northwood Investments LLC
641 N WALNUT ST	018-1037-1599	Cluxton Vince
647 DIAMOND AVE	018-1038-1658	Walker Earl
653 LAWDALE AVE	018-1039-1714	Vision Realty Intl LLC

672 LAPORTE AVE	018-1039-1701	Harris Terry James
657 LAWNDAL AVE	018-1039-1715	Harris Terry James
668 LAWNDAL AVE	018-1039-1728	Harris Terry James
672 LAWNDAL AVE	018-1039-1729	Vision Realty Intl LLC
623 STUDEBAKER ST	018-1051-2183	Walking with Jesus Ministries
	018-1053-2281	Newbill Debbi
614 BIRDSSELL ST	018-1052-2244	614 Birdsell St LLC
628 BIRDSSELL ST	018-1052-2240	JM Vati Co LLC
604 BIRDSSELL ST	018-1052-2246	Wisdom Anthony
616 BIRDSSELL ST	018-1052-2243	Dutchboy Investments LLC
602 BIRDSSELL ST	018-1052-2247	Taylor Rafaela
606 BIRDSSELL ST	018-1052-2245	Alexander Richard And Sarah Lee
1417 FASSNACHT AVE	018-1052-2248	Wisdom Anthony
624 BIRDSSELL ST	018-1052-2242	Perkins Raymond
626 BIRDSSELL ST	018-1052-2241	Frison George & Emma
630 BIRDSSELL ST	018-1052-2239	Brantley Kathleen
619 BIRDSSELL ST	018-1052-2225	Wisdom Anthony
623 BIRDSSELL ST	018-1052-2224	Wisdom Anthony
642 SANCOME AVE	018-1053-2278	Somech Gal Izchaki
640 SANCOME AVE	018-1053-2279	Zaina Mazen Said