

STAFF REPORT
CONCERNING APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

Date: 13 June 2018

Application Number: 2018-0613

Property Location: 504 East LaSalle Avenue

Architectural Style/Date/Architect or Builder: Italianate/Neoclassical/1900/1924/J.C. Lauber Company

Property Owner: Greater Lowell Holdings, LLC

Landmark or District Designation: Local Landmark, Ordinance #7591-1986; National Register East Bank Multiple Property Listing

Rating: Contributing

DESCRIPTION OF STRUCTURE/SITE: The J.C. Lauber Company building is described in the National Register listing as a unique example of the Commercial-Functional style of architecture that combines utility with ornament. The structure is comprised of several additions with the primary LaSalle Street facing constructed as a one-story, rectangular-plan, commercial building with a foundation of concrete and rubble, walls are brick and block. A metal cornice stretches seventy feet across the façade. Roof is flat. LaSalle Street façade features modillions on ends of dentilled cornice with scroll end brackets. The front elevation has a strong horizontal emphasis. Windows are divided into nine bays and are wood framed, fixed plate glass with solid transoms above. Front entrance is a wood double door with glass. The 1924 addition, directly behind the 1900 building, is a one-story, rectangular-plan, constructed of concrete block, with a flat roof. Windows are metal with multi-panels. The rear of the building is organized by multiple additions and incorporate various garage doors. Signage exists on all sides, both attached to and painted directly on the structure, reflecting different eras of the former J.C. Lauber business.

ALTERATIONS: COA 2005-1031 approved demolition of portion of building constructed in 1882 at northwest corner of LaSalle and Niles. COA 2006-0413 approved reinstallation of J.C. Lauber Sheet Metal sign, formerly on west side of 1882 portion of building. COA 2016-1128 to demolish 5,000 sq. ft. building was not executed. Retroactive approval of 180 l.f. of commercial grade ornamental aluminum fence enclosing northwest corner.

APPLICATION ITEMS: See attached plans by John Werntz dated June 6, 2018. An application was made and conditionally approved at the April 16th meeting of the HPC. The only exterior changes made since that date are the West elevation whereby the plans now call for the installation of overhead doors in lieu of a double glass door and Three (3) windows as previously submitted.

DESCRIPTION OF PROPOSED PROJECT:

1. West (Nile) façade

Install new openings on west wall. One single door full glass panel aluminum with bronze finish was previously approved. Install three new overhead doors with full glass panel aluminum with bronze finish to match all others. This was originally an interior wall. The Structural Engineer recommends installing openings in between interior structural columns to maintain the integrity of the elevation to protect the wall from “twisting under the weight”.

SITE VISIT REPORT: n/a

STANDARDS AND GUIDELINES, GROUP B:

A. Maintenance

The maintenance of any historical structure or site shall in no way involve any direct physical change except for the general cleaning and upkeep of the landmark. The Commission shall encourage the proper maintenance of all structure or sites.

B. Treatment

Treatment shall be defined as any change of surface materials that will not alter the style or original form. Such improvements include re-roofing, glazing, or landscaping lawns and may involve a change that can potentially enhance or detract from the character of the landmark. A treatment change of any surface whether on the landmark

or in its environment may require a Certificate of Appropriateness if it significantly alters the appearance of the landmark. Although these kinds of changes may not require a Building Permit, a Certificate of Appropriateness may be necessary. The commission should review the proposed treatment for character and style consistency with the original surfaces.

C. Renovation and Additions

Renovation is the modification of a structure, which does not alter the general massing while an addition, is a change in mass. A modification, which involves the removal of a part of the landmark, should be considered under demolition (see demolition). Additions to landmarks should not detract from the original form and unity of the landmark and should not cover singular examples of architectural detail. Additions to landmarks should be added in a manner that does not disrupt the visible unity of overall appearance of the site. The proportions, materials and ratios of the existing structures should be carried through in the additions. Care should be taken not to change or alter the following:

- 1. Structure—Necessary structural improvements, where safety demands should be accomplished in such a way as to cause minimal visual change to the original style and construction.**
- 2. Material—Additions and improvements involving any new material in the landmark should be of the same material as the original. It should be the same size and texture. An alternative material may be allowed if it duplicates the original.**
 - a. wood—all wood trim should conform with existing trim in shape and size.**
 - b. siding materials—the Commission discourages the covering or alteration of original materials with additional siding. Structures already sided with incompatible materials should be returned to a siding similar to the original when renovation is considered.**

D. Demolition

Historic landmarks shall not be demolished. When a landmark poses a threat to the public safety, and demolition is the only alternative, documentation by way of photographs, measured drawings, or other descriptive methods should be made of both the exterior and interior of the landmark. The person or agency responsible for demolition of the landmark shall be responsible for this documentation.

E. Moving

The moving of landmarks is discouraged, however, moving is preferred to demolition. When moving is necessary, the owner of the landmark must apply to the Commission for a Certificate of Appropriateness.

F. Signs

No neon or flashing signs will be permitted unless they are original to the structure. Billboards and super-graphics will also be disallowed. Only one appropriate identifying sign will be permitted per business.

G. Building Site and Landscaping

1. Required

Major landscaping items, trees, fencing, walkways, private yard lights, signs (house numbers) and benches which reflect the property's history and development shall be retained. Dominant land contours shall be retained. Structures such as: gazebos, patio decks, fixed barbecue pits, swimming pools, tennis courts, green houses, new walls, fountains, fixed garden furniture, trellises, and other similar structures shall be compatible to the historic character of the site and neighborhood and inconspicuous when viewed from a public way.

2. Recommended

New site work should be based upon actual knowledge of the past appearance of the property found in photographs, drawings, and newspapers. Plant materials and trees in close proximity to the building that are causing deterioration to the buildings historic fabric should be removed. However, trees and plant materials that must be removed should be immediately replaced by suitable flora. Front yard areas should not be fenced except in cases where historic documentation would indicate such fencing appropriate. Fencing should be in character with the buildings style, materials, and scale.

3. Prohibited

No changes may be made to the appearance of the site by removing major landscaping items, trees, fencing, walkways, outbuildings, and other elements before evaluating their importance to the property's history and development. Front yard areas shall not be transformed into parking lots nor paved nor blacktopped. The installation of unsightly devices such as TV reception dishes and solar collectors shall not be permitted in areas where they can be viewed from public thoroughfares.

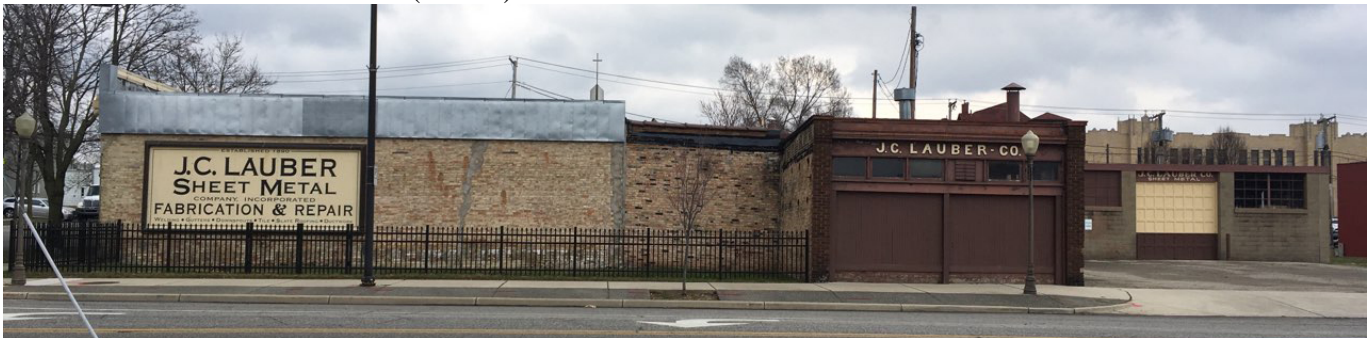
STAFF RECOMMENDATION: Staff recommends approval as the design of doors are the same as doors approved on South elevation and maintain the industrial style.

Written by
Elicia Feasel
Historic Preservation Administrator

NORTH (LASALLE) FAÇADE



WEST (NILES) FACADE – AREA OF PROPOSED WORK



EAST FACADE



SOUTH (REAR) FACADE





HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

County—City Building, South Bend, IN 46601
<http://www.southbendin.gov/government/department/community-investment>
Phone: 574/235.9371 Fax: 574/235.9021
Email: hpcbsjc@southbendin.gov

Timothy S. Klusczynski, President

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation
Administrator

APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS

OFFICE USE ONLY>>>>>>>DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX<<<<<<<OFFICE USE ONLY

Date Received: _____ Application Number: _____

Past Reviews: YES (Date of Last Review) _____ NO

Staff Approval authorized by: _____ Title: _____

Historic Preservation Commission Review Date: _____

Local Landmark Local Historic District (Name) _____

National Landmark National Register District (Name) _____

Certificate Of Appropriateness: Denied Tabled Sent To Committee Approved and issued: _____

Address of Property for proposed work: _____
(Street Number—Street Name—City—Zip)

Name of Property Owner(s): _____ Phone #: _____

Address of Property Owner(s): _____
(Street Number—Street Name—City—Zip)

Name of Contractor(s): _____ Phone #: _____

Contractor Company Name: _____

Address of Contractor Company: _____
(Street Number—Street Name—City—Zip)

Current Use of Building: _____
(Single Family—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)

Type of Building Construction: _____
(Wood Frame—Brick—Stone—Steel—Concrete—Other)

Proposed Work: (more than one box may be checked) Landscape New Replacement (not in-kind) Demolition

Description of Proposed Work: _____

Owner e-mail: _____ and/or Contractor e-mail: _____

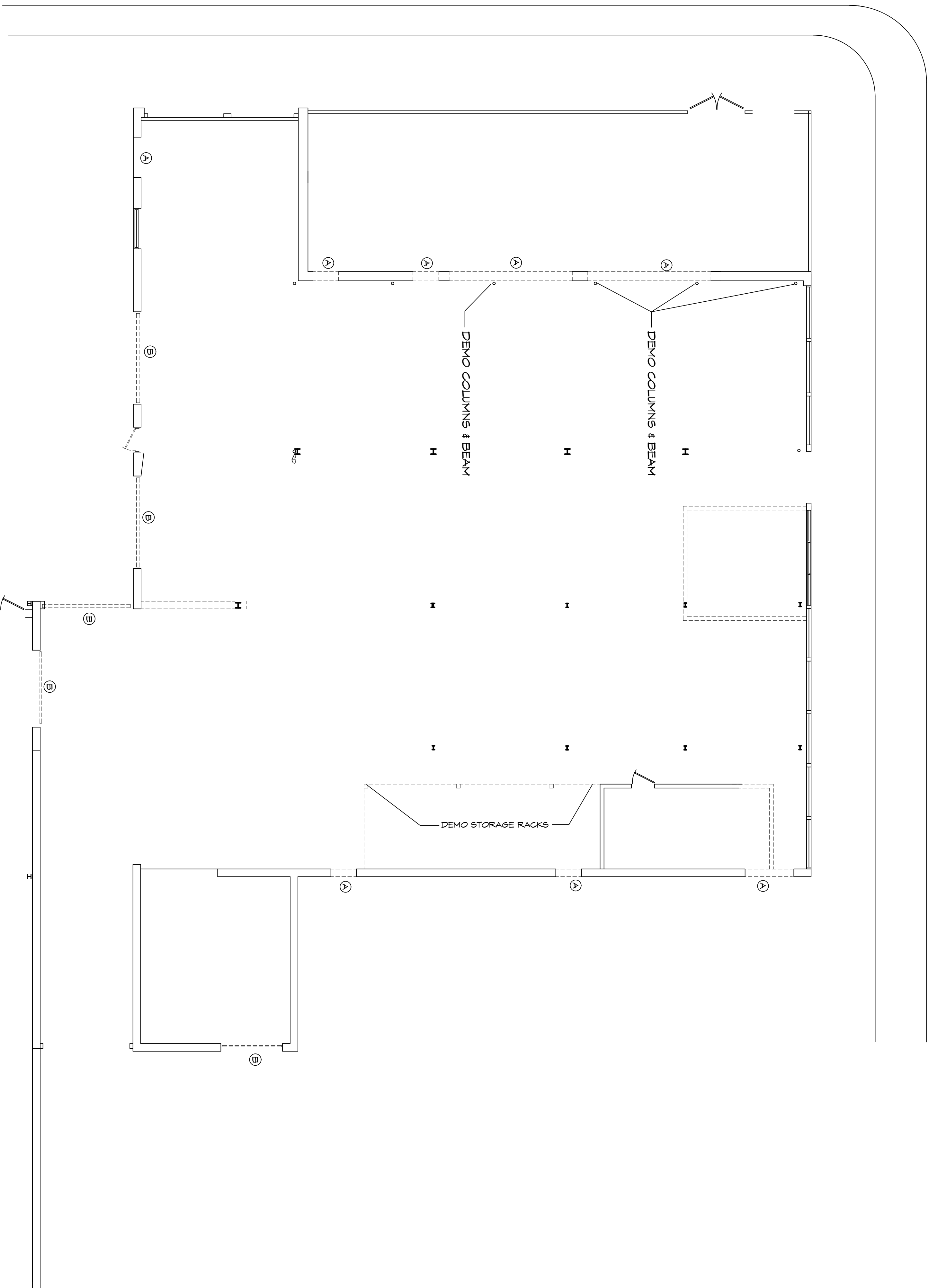
X _____ and/or X _____
Signature of Owner Signature of Contractor

By signing this application I agree to abide by all local regulations related to project and to obtain a Building Department Permit, if applicable.

—APPLICATION REQUIREMENTS ARE LISTED ON REVERSE SIDE—

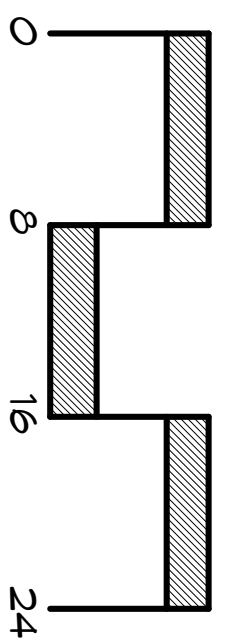
LASALLE ST.

NILES AVE



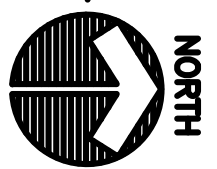
DEMO NOTES

- Ⓐ CUT IN NEW OPENINGS/PATCH MASONRY
INSTALL LINTEL
- Ⓑ DEMO OVERHEAD DOORS
- Ⓑ DEMO DOORS
- DEMOLITION OF WALLS



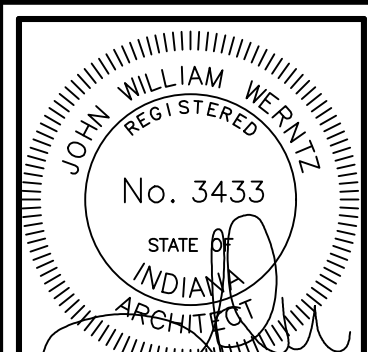
DEMO PLAN

SCALE: 1/8" = 10"



DATE	ISSUE
3-01-2018	
5-20-2018	
6-05-2018	

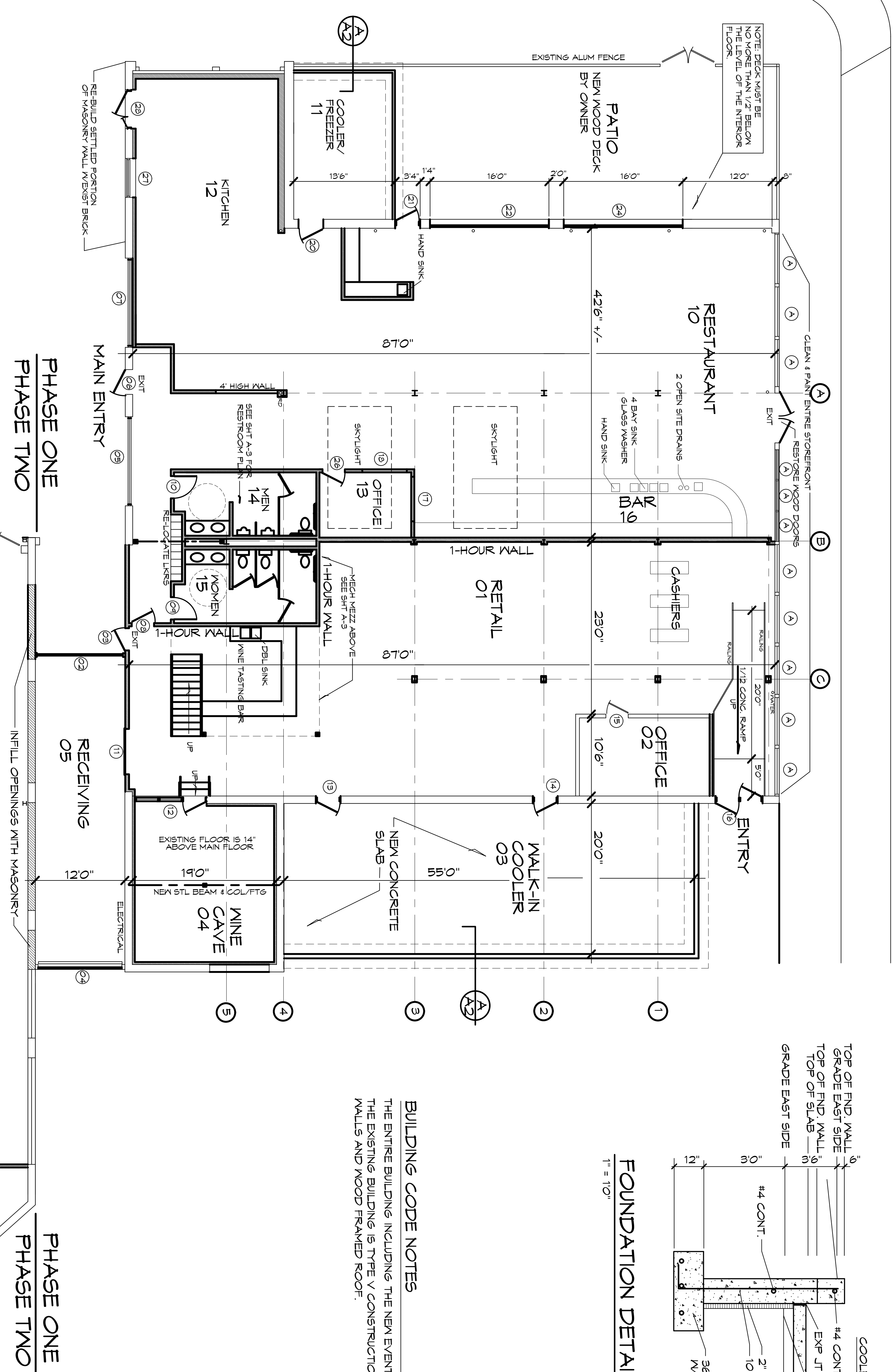
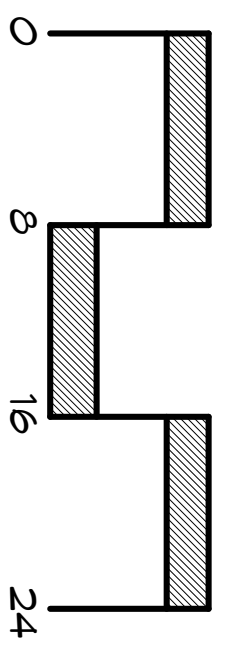
■ John W. Wertz
 ARCHITECT
 52075 Farmington Square Road
 Granger, Indiana 46530
 ■ (574) 340-7849 johnwertz@comcast.net



J.C. LAUBER BLDG
 SOUTH BEND, INDIANA

DEMO PLAN

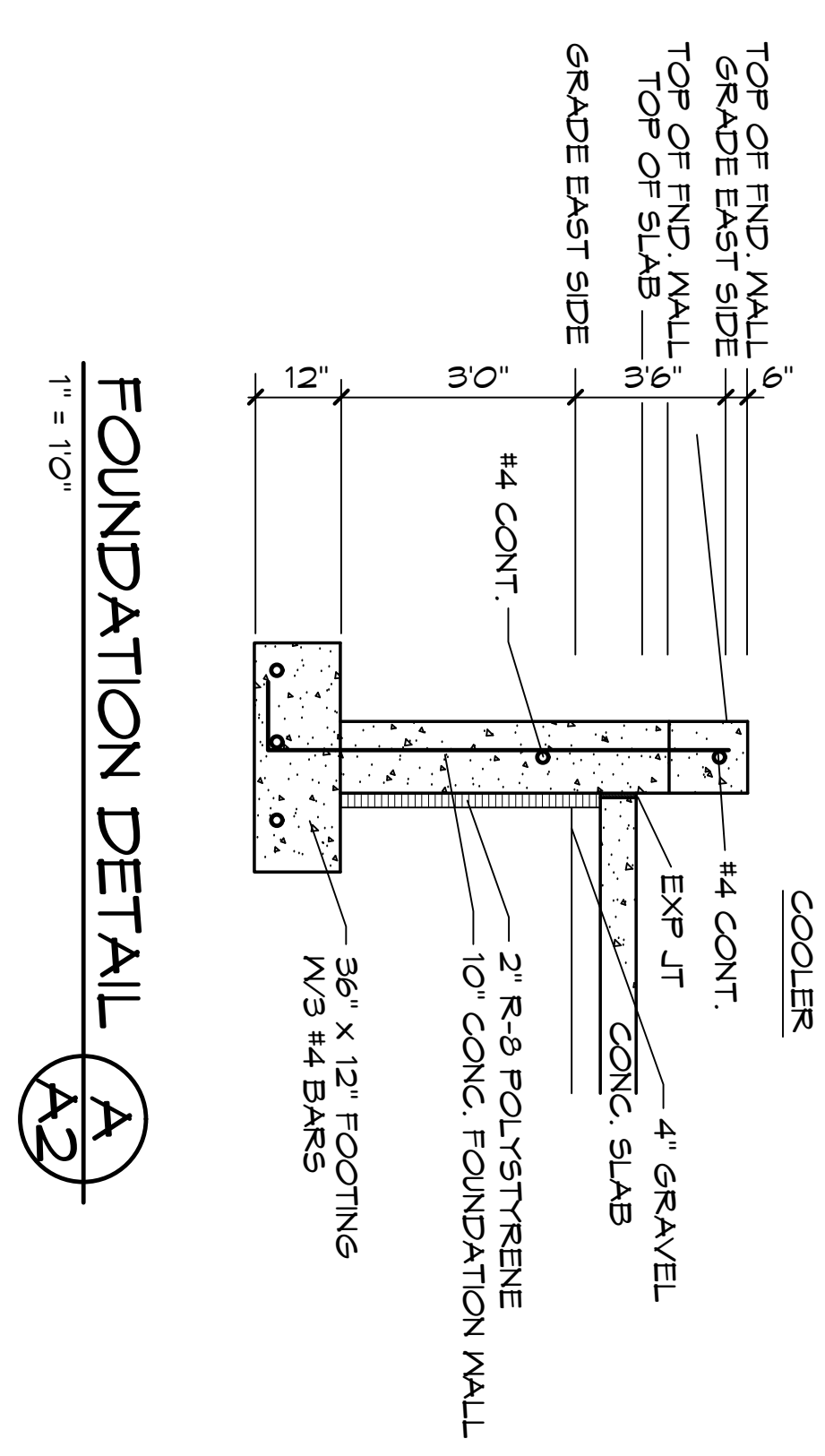
A1
 SHEET



- CONSTRUCTION NOTES**
- EXISTING TO REMAIN
 - NEW WOOD WALL FRAMING OR FURRING
 - CONC. BLOCK INFILL
 - NEW DOORS OR WINDOWS-SEE SCHEDULE
 - RE-GLAZE EXISTING WINDOWS W/INSULATING GLASS
 - CLEAN & RE-PAINT WINDOW TRIM

DEMO PLAN

SCALE: 1/8" = 10"



BUILDING CODE NOTES

THE ENTIRE BUILDING INCLUDING THE NEW EVENT ROOM IS FULLY SPRINKLED. THE EXISTING BUILDING IS TYPE V CONSTRUCTION, WITH MASONRY WALLS AND WOOD FRAMED ROOF.

REMOVE EXISTING ROOF STRUCTURE & COLUMNS

EVENT ROOM, ADD NEW CONC. SLAB, ROOF TRUSSES, RESTROOMS ETC.

SEE SHEET A-6 FOR STRUCTURAL PLANS

SEE SHEET A-3 FOR RESTROOM PLAN

EXISTING WINDOWS TYPICAL T2 SILL HL. 5'4" HL.

DATE	ISSUE
3-01-2018	
5-20-2018	
6-05-2018	
6-06-2018	

John W. Wertz
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JOHN WILLIAM WERTZ
REGISTERED ARCHITECT
No. 3433
STATE OF INDIANA

J.C. LAUBER BLDG

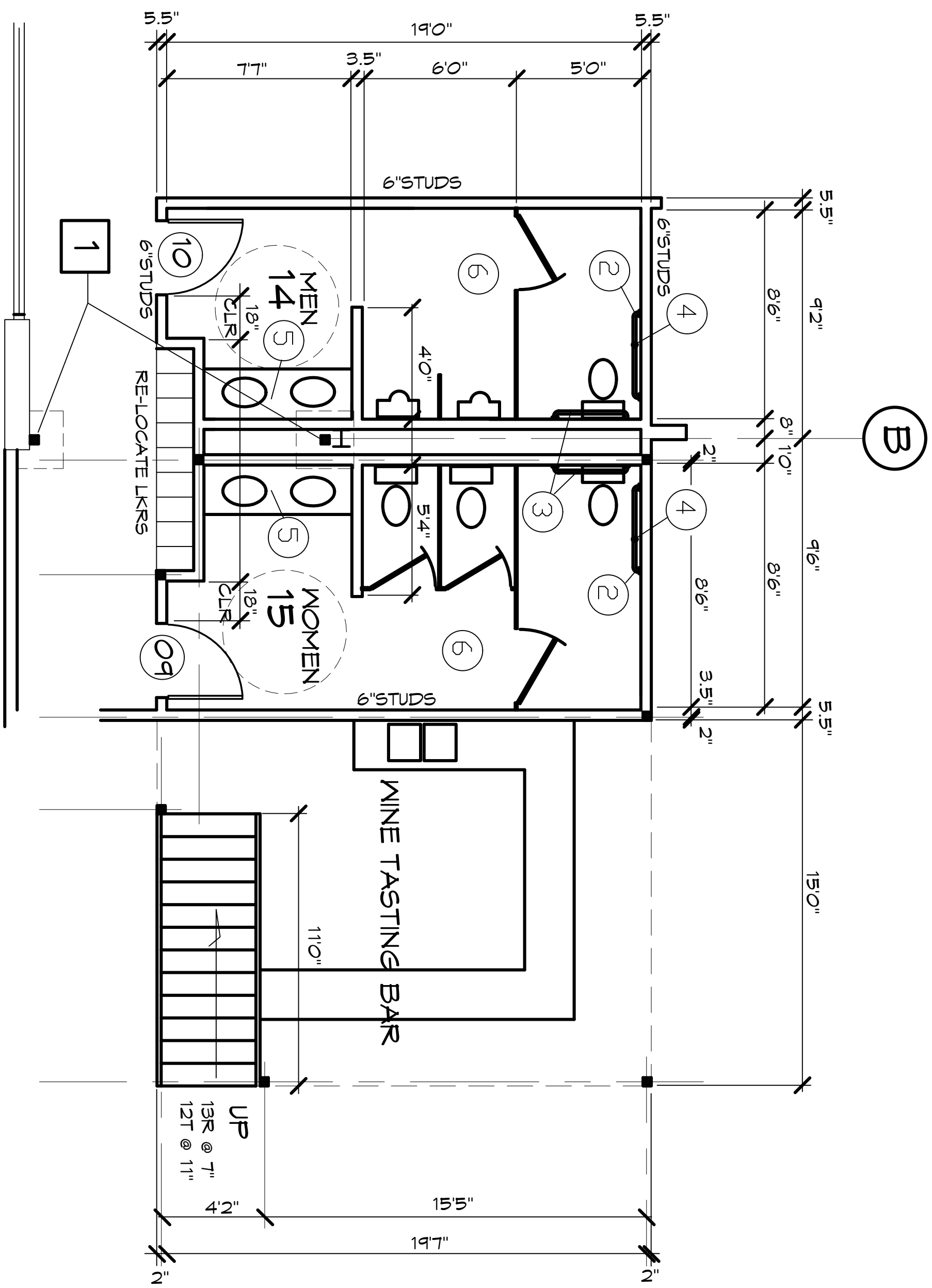
SOUTH BEND, INDIANA

DEMO PLAN

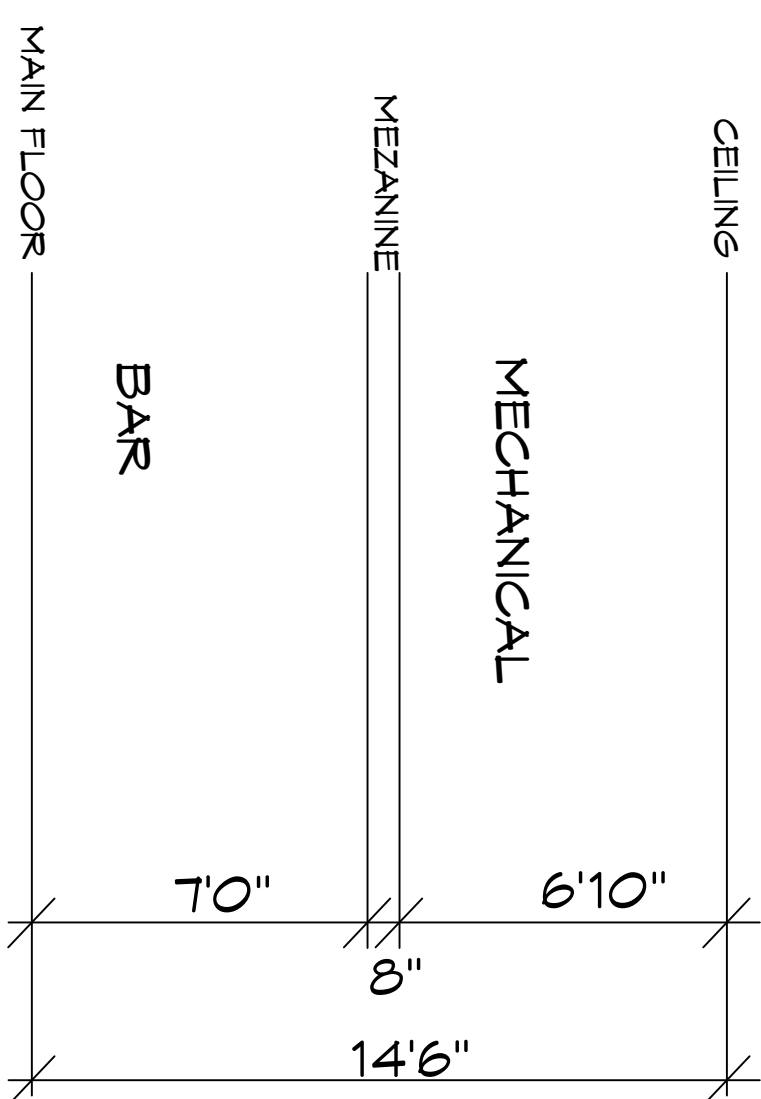
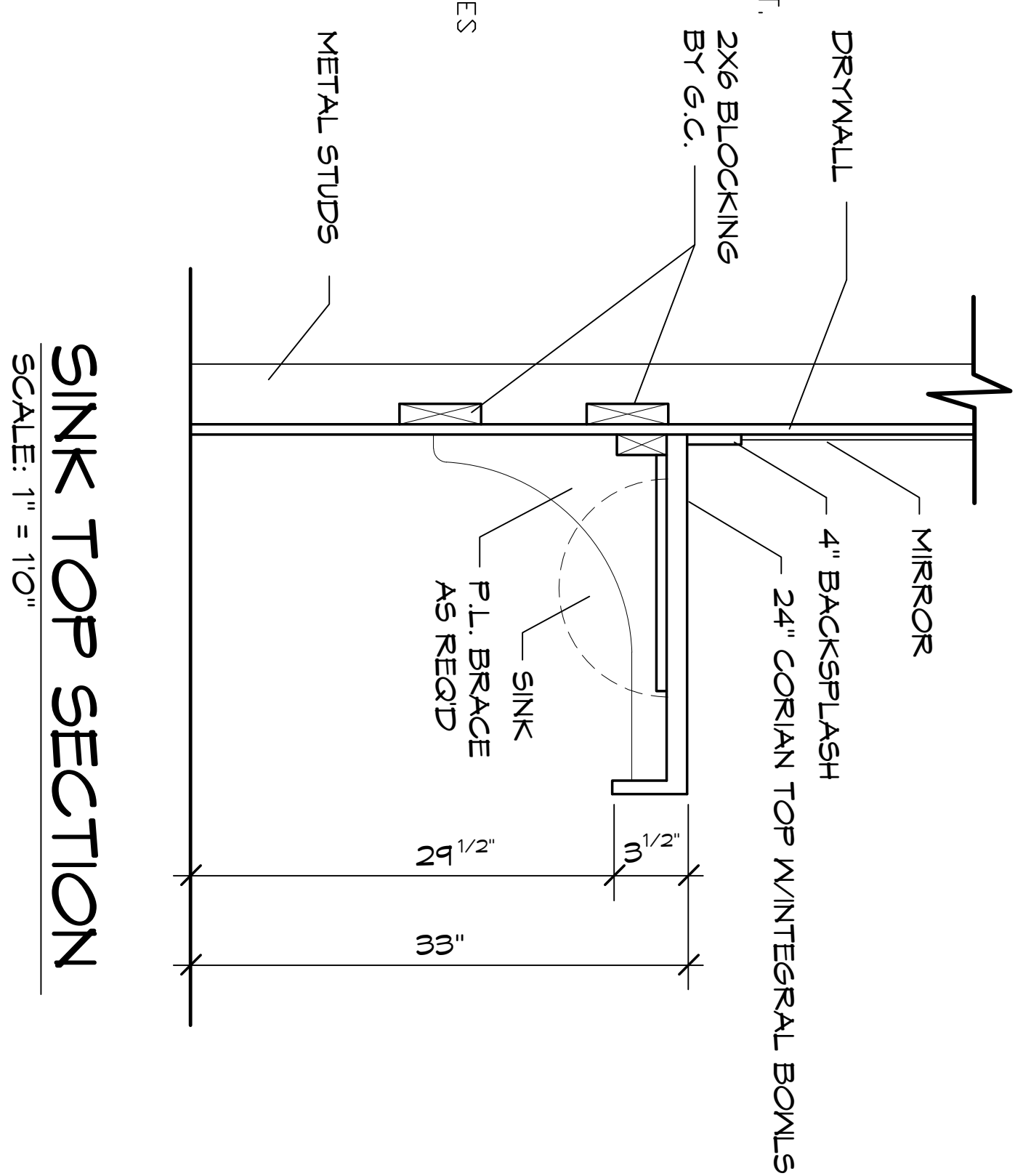
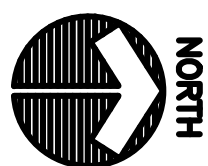
SHEET **A1**

RESTROOM KEY NOTES

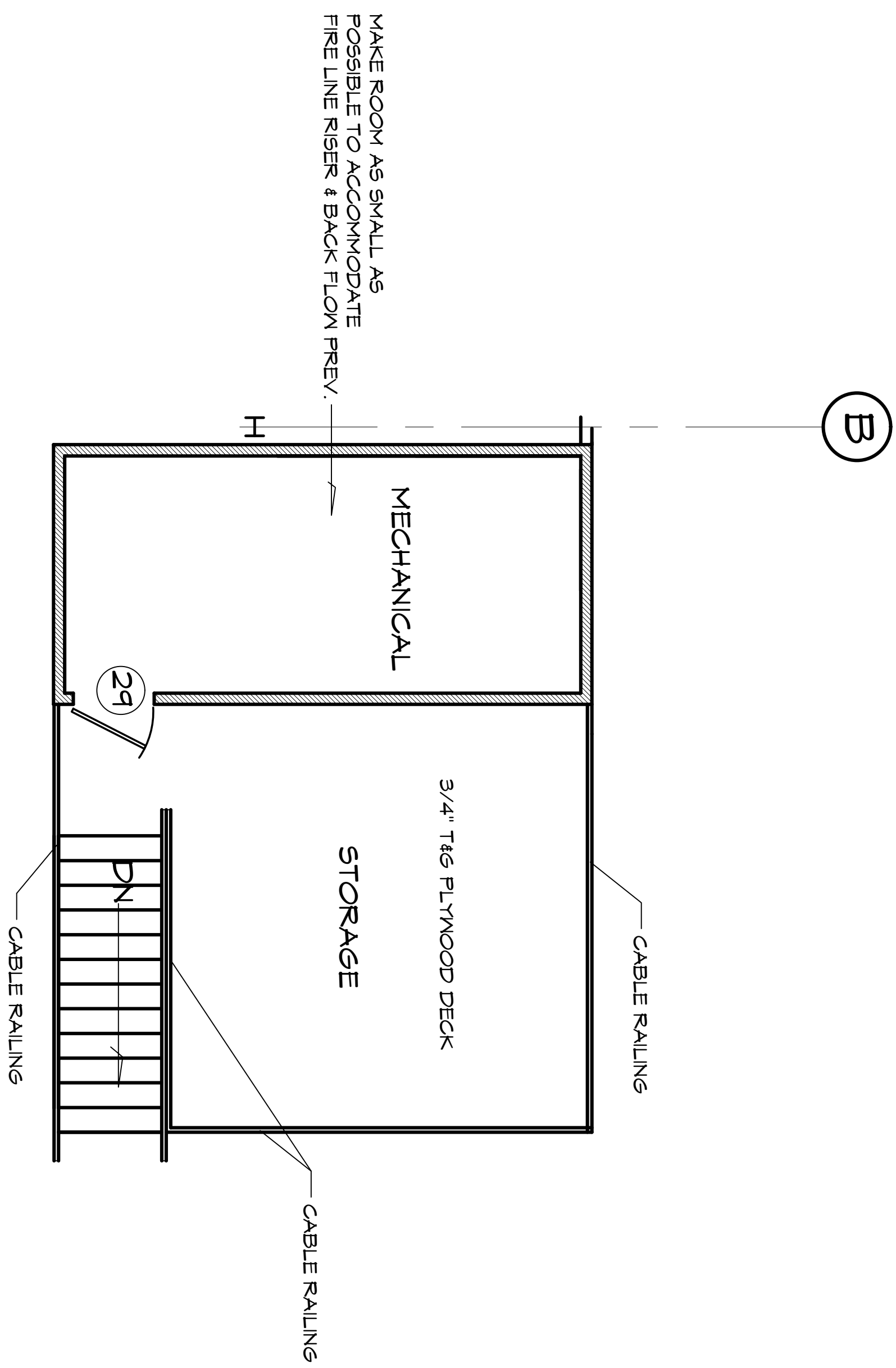
- ② 42" S.S GRAB BAR 1-1/2" DIA. (SIDE WALL)
MOUNT 12" FROM BACK WALL BETWEEN 33"-36" AFF
BOBRICK #6106 SERIES DR APPROVED EQUAL
- ③ 36" S.S GRAB BAR 1-1/2" DIA. (REAR WALL)
MOUNT 6" FROM SIDE WALL BETWEEN 33"-36" AFF
BOBRICK #6106 SERIES DR APPROVED EQUAL
- ④ 18" VERTICAL S.S GRAB BAR 1-1/2" DIA. (SIDE WALL)
MOUNT 40" FROM BACK WALL BETWEEN 39"-41" AFF TO BOT.
BOBRICK #6106 SERIES DR APPROVED EQUAL
- ⑤ CORIAN TOP W/INTEGRAL BOWLS
SEE DETAIL
- ⑥ TOILET PARTITIONS: SCRANTON, COMTEC SOLID PLASTIC
POLYMER PARTITIONS, HEAD RAIL BRACED.
INSTALL APPROPRIATE BLOCKING FOR ALL PARTITIONS & ACCESSORIES



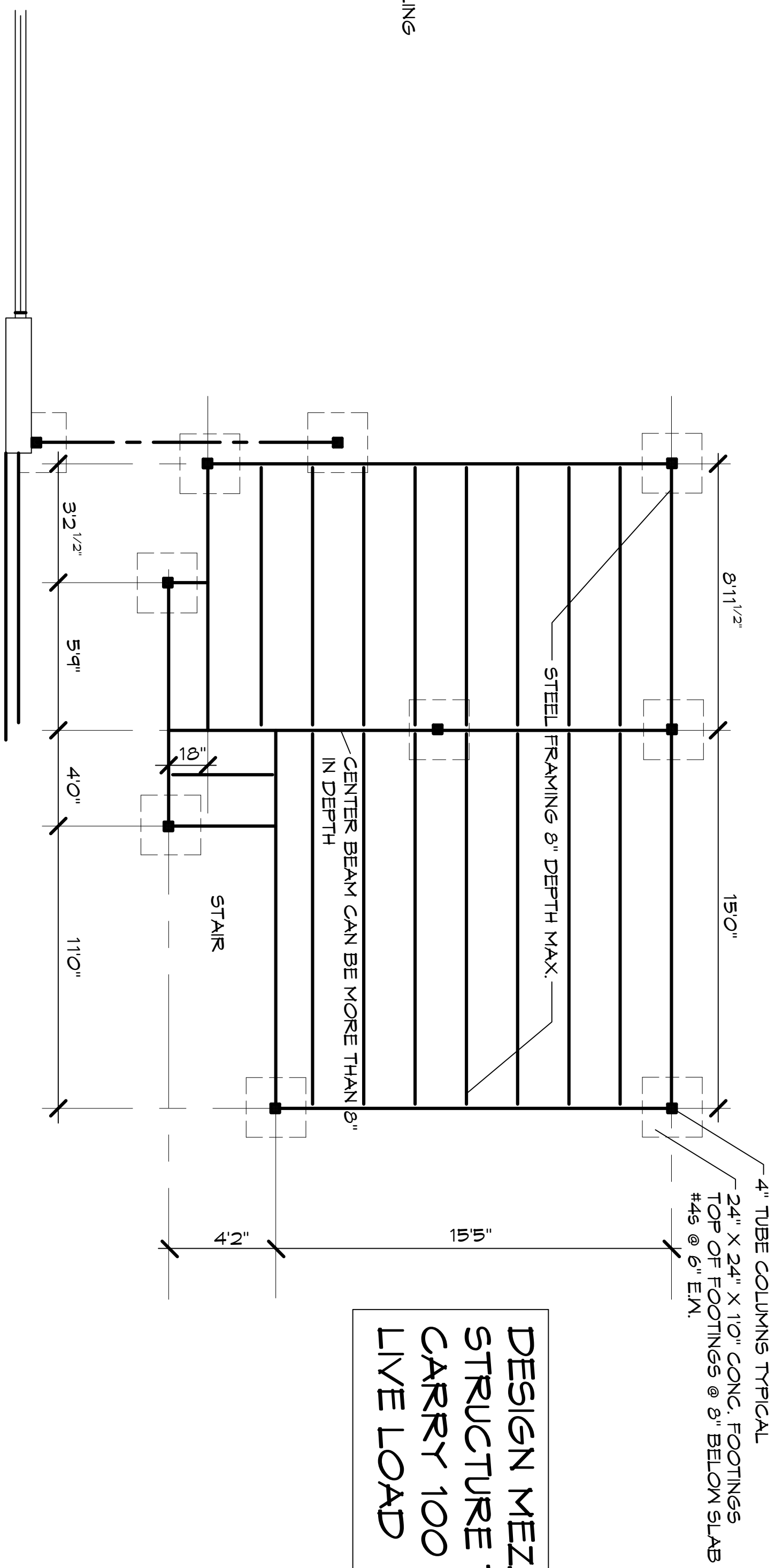
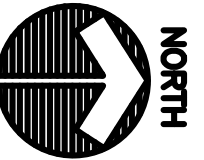
RR/BAR PLAN
SCALE: 1/4" = 10"



MEZZ SECTION



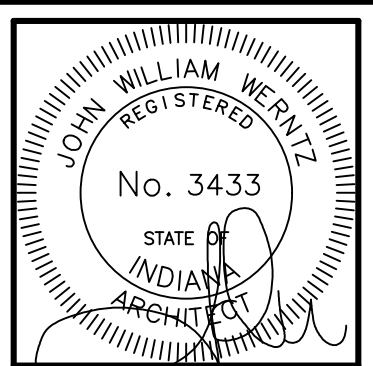
MEZZANINE PLAN
SCALE: 1/4" = 10"



MEZZANINE STRUCTURAL PLAN
SCALE: 1/4" = 10"



DESIGN MEZZ.
STRUCTURE TO
CARRY 100 P.S.F.
LIVE LOAD



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DATE	ISSUE
1-11-2018	
1-18-2018	
3-01-2018	
5-20-2018	

J.C. LAUBER BLDG
SOUTH BEND, INDIANA

PLAN DETAILS

A3
SHEET

ROOM FINISH SCHEDULE

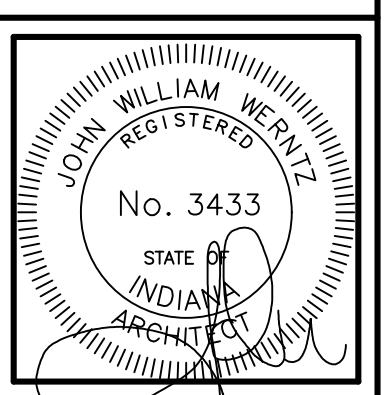
NO.	ROOM	FLOOR	BASE	WALL MATL	WALL FINISH	CEILING	CLG. HT	COMMENTS
01	RETAIL	CONC.	6" VINYL @ DRYWALL	5/8" DRYWALL EXIST BRICK		MTL PANELS	14'6"	
02	OFFICE	CONC.	WOOD	EXIST BRICK EXIST MOOD		ACT #1	8'0"	PAINT NEW AND EXISTING WALLS EXCEPT FOR EXISTING BRICK WALLS. PAINT NEW & EXISTING HM/MD DOORS AND TRIM.
03	COOLER	CONC.	??????	COOLER PANELS	COOLER PANELS EXIST BRICK	COOLER PANELS	????	
04	WINE CAVE	CONC.	??????	??????	??????	??????	12'	
05	RECEIVING	CONC.		EXT SHEETING EXIST BRICK		EXISTING	14'6"	
10	RESTAURANT	CONC.	??????	5/8" DRYWALL EXIST BRICK		T&G MOOD PAINT	10'6"	
11	COOLER	CONC.		COOLER PANELS	COOLER PANELS			
12	KITCHEN	TILE #2	TILE #2	FRP PANELS		ACT #2	9'0"	
13	OFFICE	CONC.	6" VINYL	5/8" DRYWALL		T&G MOOD PAINT	10'6"	PAINT NEW AND EXISTING WALLS EXCEPT FOR EXISTING BRICK WALLS. PAINT NEW & EXISTING HM/MD DOORS AND TRIM.
14	MEN	TILE #1	TILE #1	TILE #1		T&G MOOD PAINT	8'0"	
15	WOMEN	TILE #1	TILE #1	TILE #1		T&G MOOD PAINT	8'0"	
16	BAR	CONC.		EXIST BRICK		T&G MOOD PAINT	10'6"	
17	EVENT ROOM	CONC.		EXIST BLOCK		T&G MOOD PAINT	12'8"	
PH #2	STORAGE	CONC.		EXIST BLOCK				
PH #2	WOMEN	TILE #1	TILE #1	TILE #1		T&G MOOD PAINT	8'0"	
PH #2	MEN	TILE #1	TILE #1	TILE #1		T&G MOOD PAINT	8'0"	

TILE #1
TILE #2
MTL PANELS
ACT #1: 2X4 ACOUSTICAL CEILING
ACT #2: 2X4 WASHABLE SUSPENDED CEILING

DOOR SCHEDULE

PK	SIZE	LABEL	DOOR/WINDOW TYPE	DOOR MATL	FRAME	COMMENTS
1	3070		FLUSH	HM 16ga.	HM 14ga	GALVANIZED
2	EXIST OPENING		O.H. DOOR			
3	3070		FLUSH	HM 16ga.	HM 14ga	GALVANIZED
4	EXIST OPENING		O.H. DOOR			
5	EXIST OPENING		O.H. DOOR	ALUM	ALUM	INSUL. GLASS PANELS
6	EXIST OPENING		FULL GLASS	ALUM	ALUM	
7	EXIST OPENING		O.H. DOOR	ALUM	ALUM	INSUL. GLASS PANELS
8	3070	C	FLUSH	HM 16ga.	HM 14ga	GALVANIZED
9	3070		5 PANEL	WOOD	WD	
10	3070		5 PANEL	WOOD	WD	
11	6070		VERT LIFT	INSUL WD		
12	3070		FULL GLASS	ALUM	ALUM	NBORROWED LT TO FIT EXISTING OPENING
13	3070		FULL GLASS	ALUM	ALUM	
14	3070		FULL GLASS	ALUM	ALUM	
15	EXISTING					
16	6070		FULL GLASS	ALUM	ALUM	DOUBLE ACTING
17	6030		BORROWED LT		HM	ELECTRIC GLASS
18	6030		BORROWED LT		HM	ELECTRIC GLASS
19	NOT USED					
20	COOLER DOOR/FRAME					
21	3070		FULL GLASS	ALUM	ALUM	
22	16 X 10 GLASS O.H. DOOR				ALUM	
23	NOT USED					
24	16 X 10 GLASS O.H. DOOR				ALUM	
25	NOT USED					
26	3070		5 PANEL	WOOD	WD	
27	EXIST OPENING		ALUM WINDOW		ALUM	
28	EXIST OPENING		PR FLUSH	HM 16ga.	HM 14ga	GALVANIZED
29	3068		SCMD	WOOD	WD	ACCESS DOOR @ MEZZ
30	6070		O.H. DOOR	HM 16ga.	HM 14ga	GALVANIZED
31	3070		FLUSH	HM 16ga.	HM 14ga	GALVANIZED
32	3070		FLUSH	HM 16ga.	HM 14ga	GALVANIZED

PH #2
PH #2
PH #2



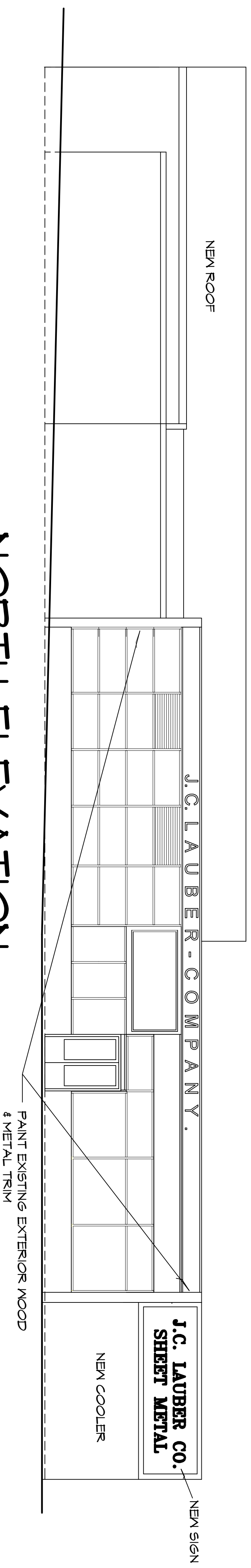
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J.C. LAUBER BLDG
SOUTH BEND, INDIANA

SCHEDULES

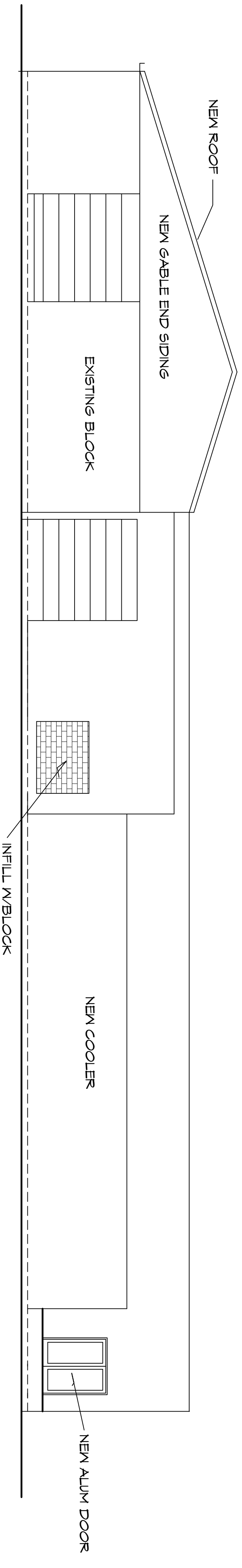
A4
SHEET



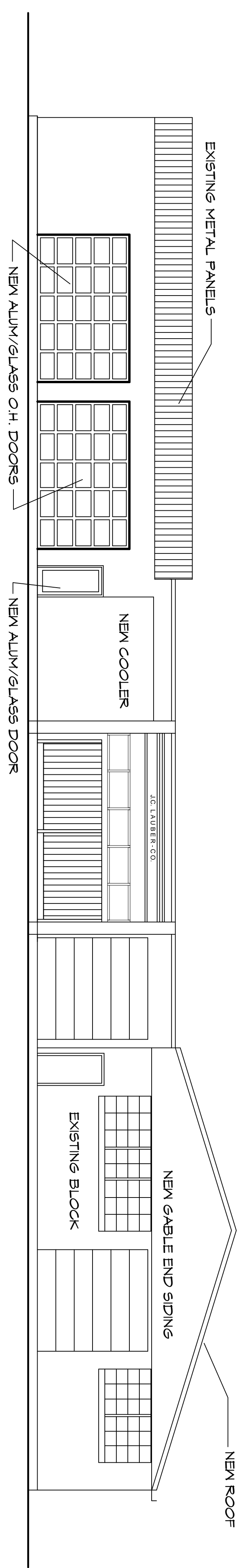
NORTH ELEVATION
SCALE: 1/8" = 1'0"



SOUTH ELEVATION
SCALE: 1/8" = 1'0"

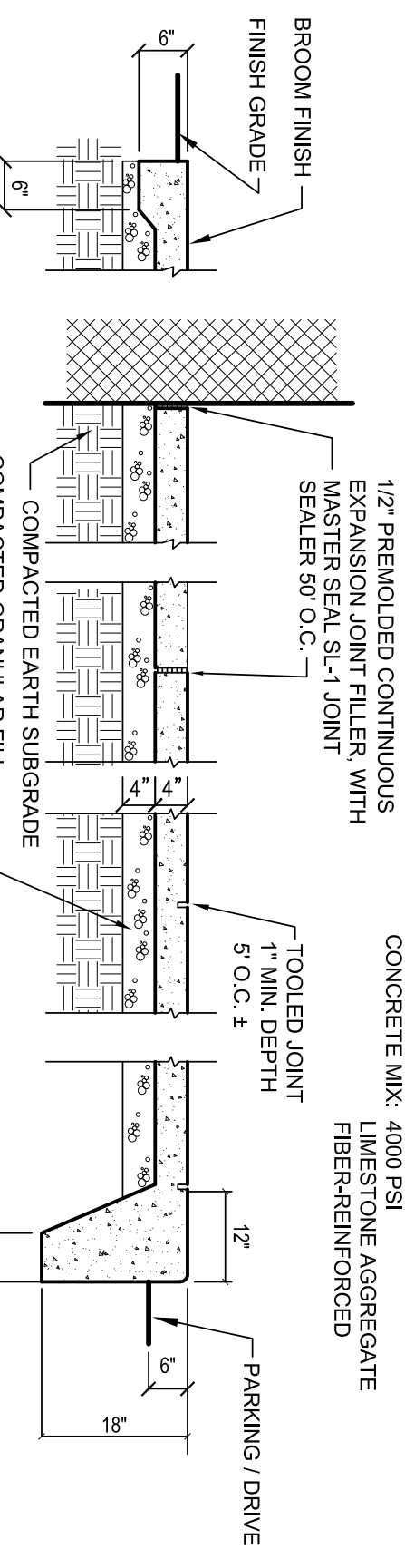


EAST ELEVATION
SCALE: 1/8" = 1'0"

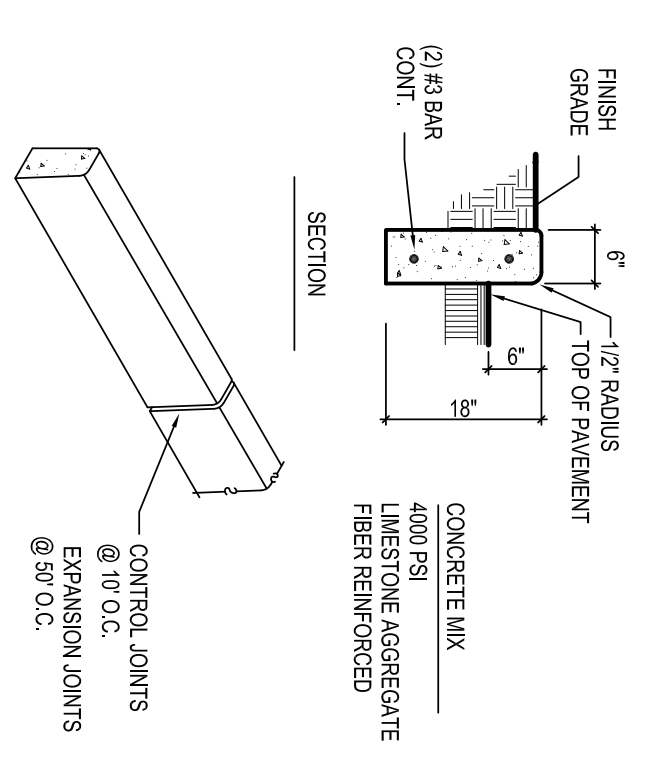


WEST ELEVATION
SCALE: 1/8" = 1'0"

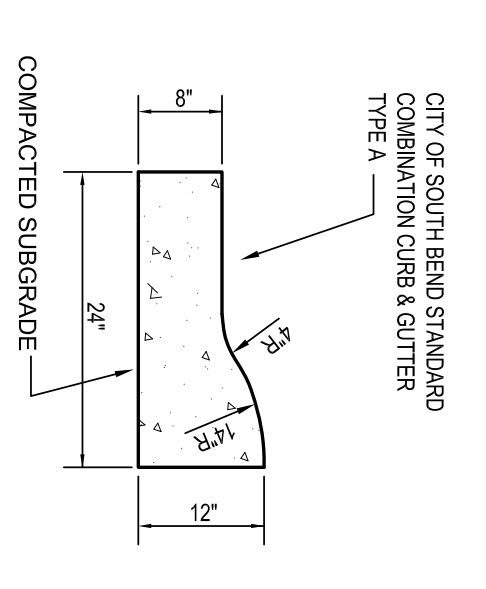
NOTE: ALL EXTERIOR WALLS ARE EXISTING MASONRY UNLESS NOTED OTHERWISE.



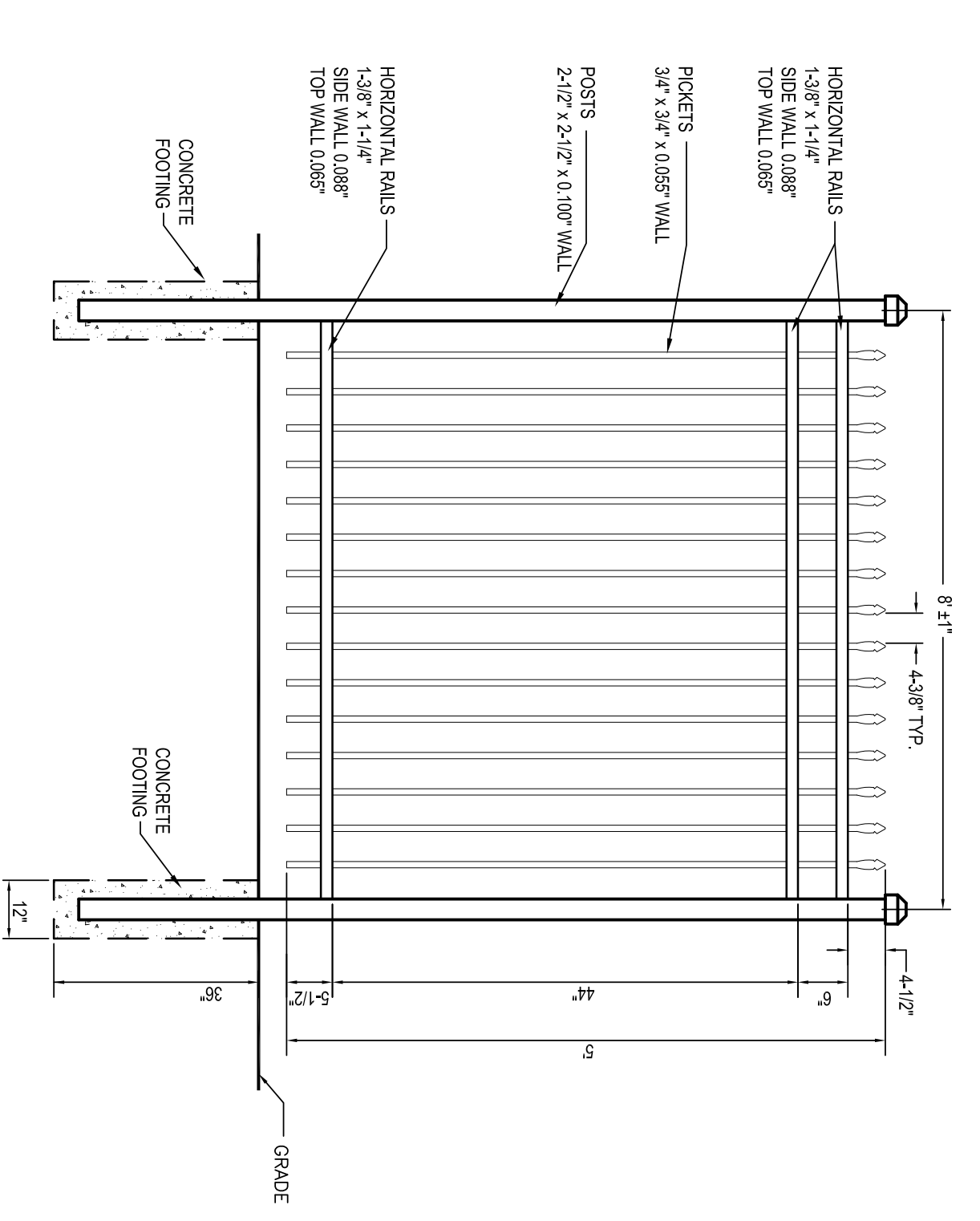
1 CONCRETE WALK PAVEMENT
NOT TO SCALE



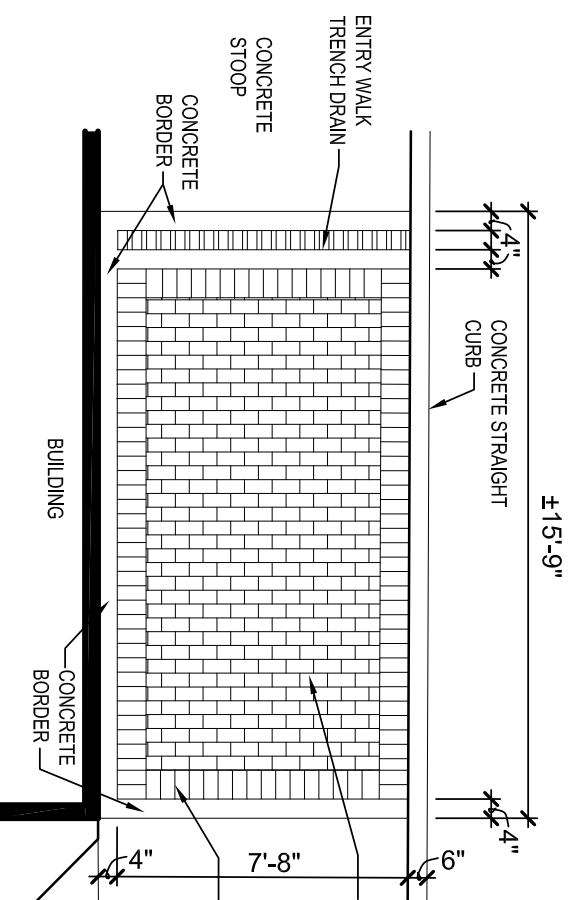
2 STRAIGHT CURB
NOT TO SCALE



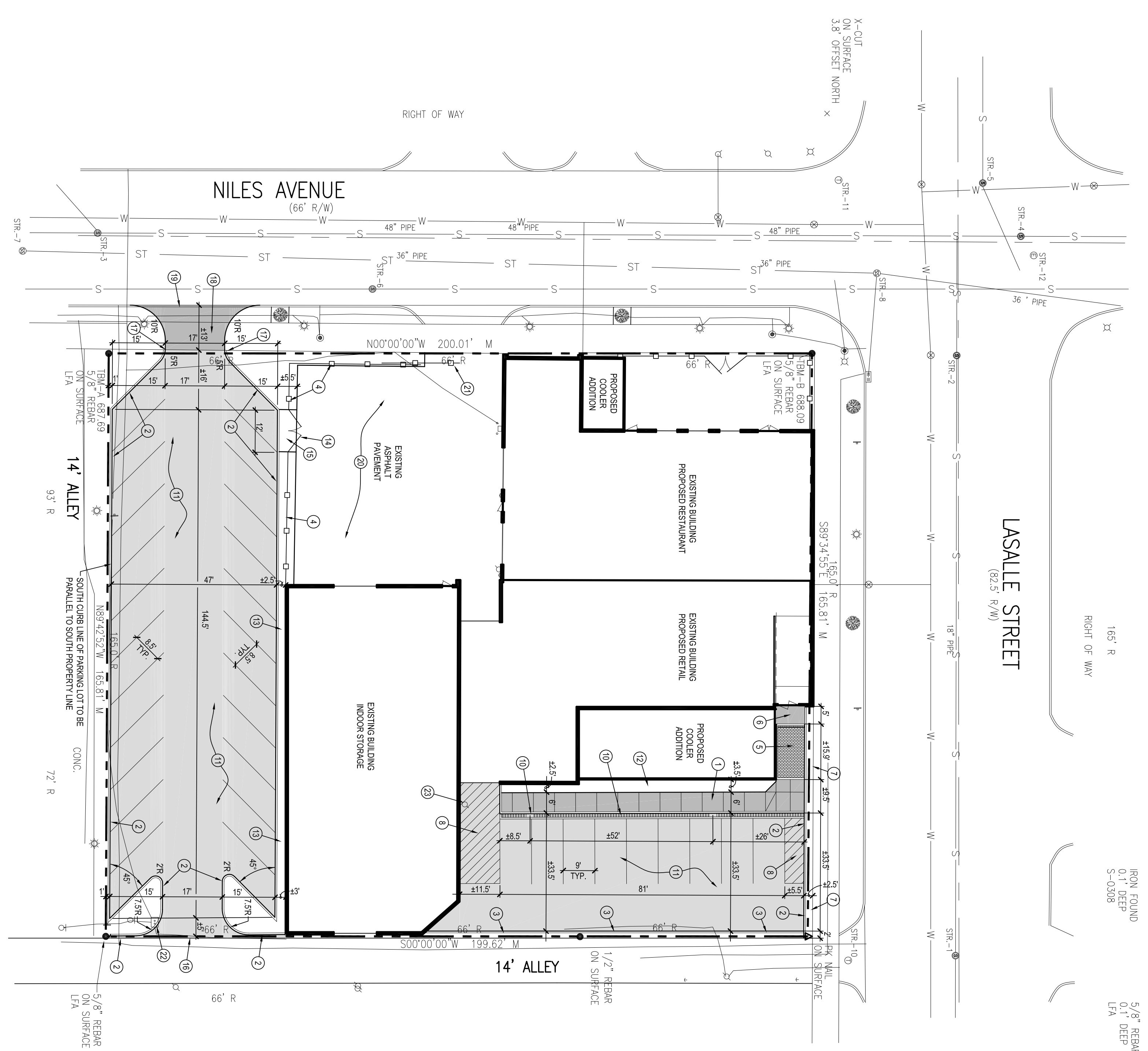
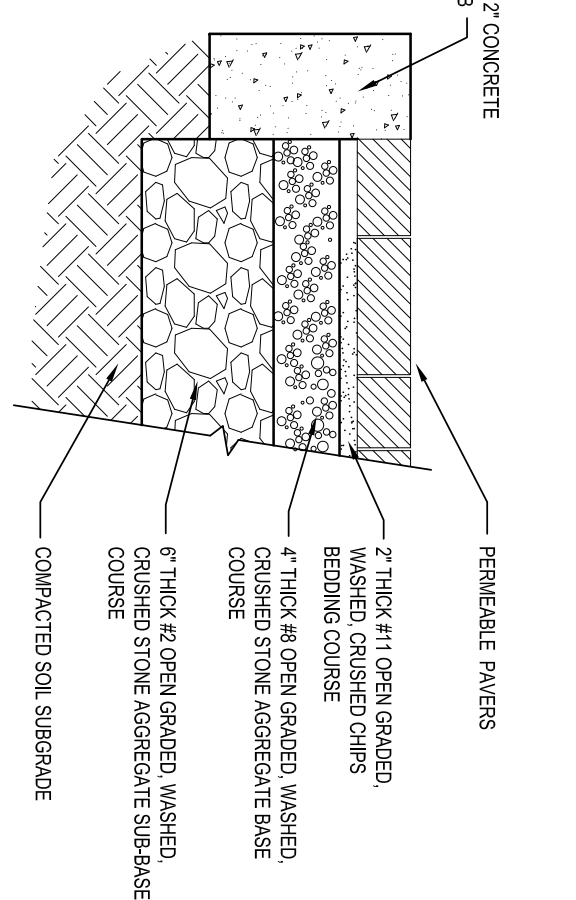
3 ROLL CURB
NOT TO SCALE



4 ORNAMENTAL FENCE
NOT TO SCALE



5 ENTRY WALK - PERMEABLE PAVERS
NOT TO SCALE



SITE PLAN
SCALE: 1" = 20'-0"
NORTH

GENERAL NOTES

1. ALL SITEWORK WITHIN PUBLIC RIGHTS OF WAYS TO BE IN ACCORDANCE WITH CITY OF SOUTH BEND STANDARDS AND REQUIREMENTS.
2. CONTRACTOR IS OBLIGATED TO FIELD VERIFY LAYOUT IN THE FIELD AND NOTIFY OWNER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

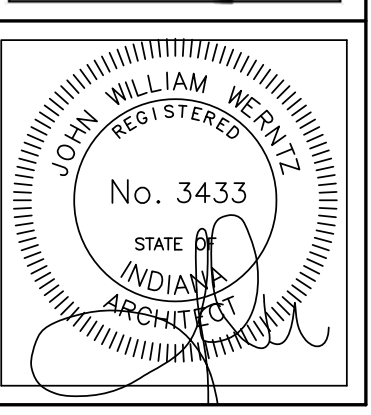
KEY NOTES

1. NEW CONCRETE WALK REFER TO DETAIL 1/01
2. NEW CONCRETE STRAIGHT CURB. REFER TO DETAIL 2/01
3. NEW CONCRETE ROLL CURB ALONG ALLEY. SAW CUT AND PATCH ALLEY PAVEMENT FOR SMOOTH TRANSITION.
4. NEW ORNAMENTAL METAL FENCE. FIELD VERIFY LOCATION WITH OWNER. SEE DETAIL 4/01
5. ENTRY WALK. SEE DETAIL 5/01
6. 5\"/>

PAVEMENT DESIGN

ALL NEW PARKING AREAS AND DRIVEWAYS SHALL BE CONSTRUCTED WITH:
 1-1/2\"/>

SiteScape, INC.
 Landscape Architecture & Planning
 P.O. Box 391 • Mishawaka, Indiana 46546
 Telephone (574) 255-4577
 www.SiteScape-inc.com

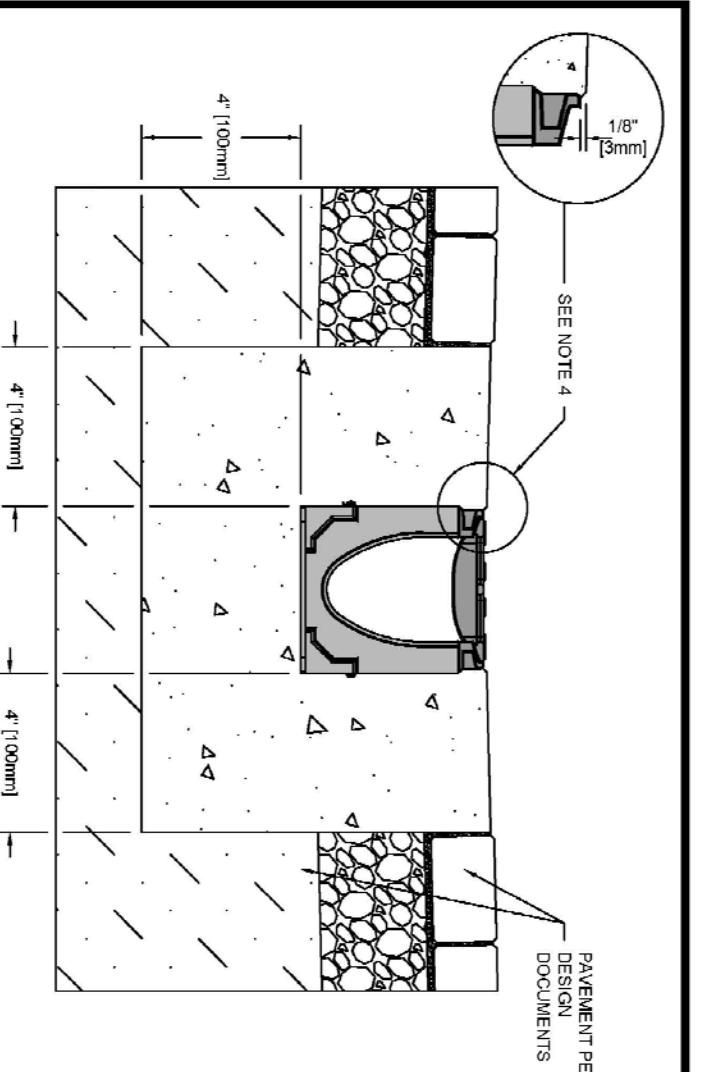


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 ARCHITECT
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 (574)277-9664 CELL (574)340-7849

DATE	ISSUE
02-06-2018	SUBMITTAL

PROPOSED RENOVATION OF:
J.C. LAUBER BUILDING
 504 E. LaSALLE STREET, SOUTH BEND, INDIANA 46617

SHEET
C1



1 ENTRY WALK TRENCH DRAIN
NOT TO SCALE

SHAWT PRODUCT LITERATURE AND LAYOUT INCLUDING ALL COMPONENTS TO OWNER

1 **ENTRY WALK TRENCH DRAIN**
NOT TO SCALE

SPECIFICATION CLAUSE

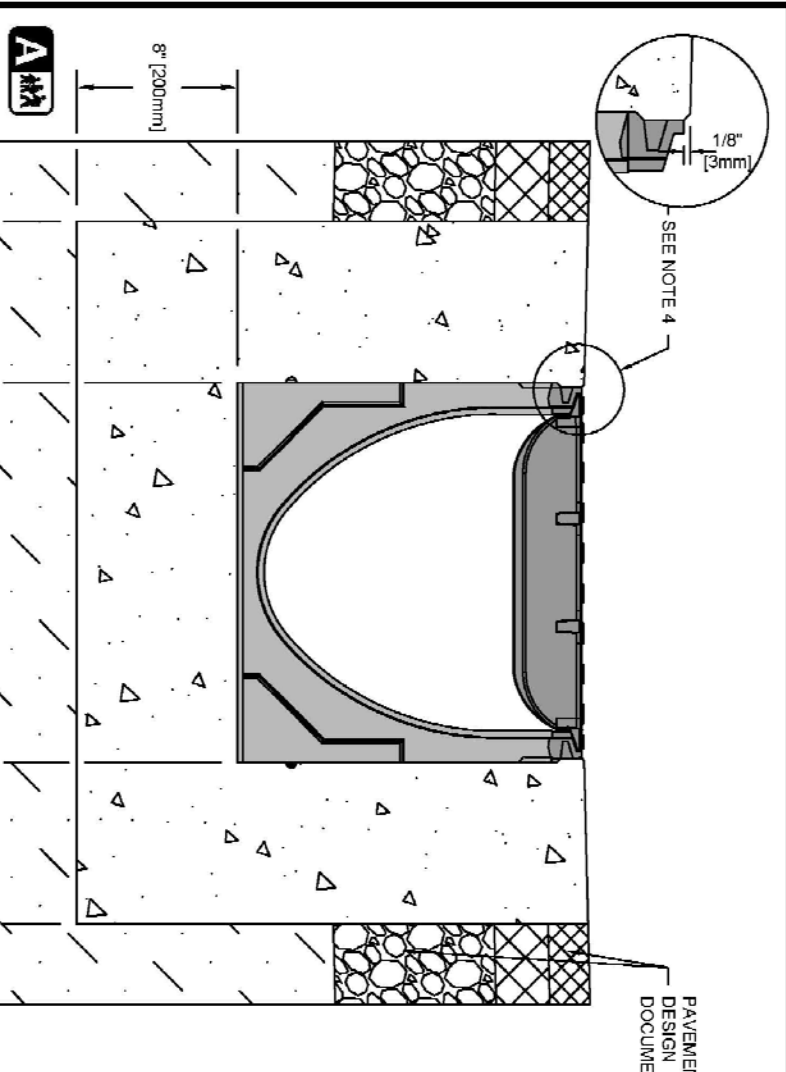
300K POWERDRAIN - LOAD CLASS A

GENERAL: THE 300K POWERDRAIN SYSTEM SHALL BE THE POLYMER CONCRETE SYSTEM MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

INSTALLATION: THE 300K POWERDRAIN SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ACO POLYMER PRODUCTS INSTALLATION MANUAL. THE SYSTEM SHALL BE 4" (100MM) CHANNEL WITH 1/2" (13MM) DEPTH. THE SYSTEM SHALL BE 1/2" (13MM) CHANNEL WITH 1/2" (13MM) DEPTH. THE SYSTEM SHALL BE 1/2" (13MM) CHANNEL WITH 1/2" (13MM) DEPTH. THE SYSTEM SHALL BE 1/2" (13MM) CHANNEL WITH 1/2" (13MM) DEPTH.

ACO Polymer Products, Inc.

ACO Polymer Products, Inc.
14000 Highway 100
Charlotte, NC 28226
Tel: 704.536.2200
Fax: 704.536.2201
www.aco.com



2 PARKING LOT TRENCH DRAIN
NOT TO SCALE

SHAWT PRODUCT LITERATURE AND LAYOUT INCLUDING ALL COMPONENTS TO OWNER

2 **PARKING LOT TRENCH DRAIN**
NOT TO SCALE

SPECIFICATION CLAUSE

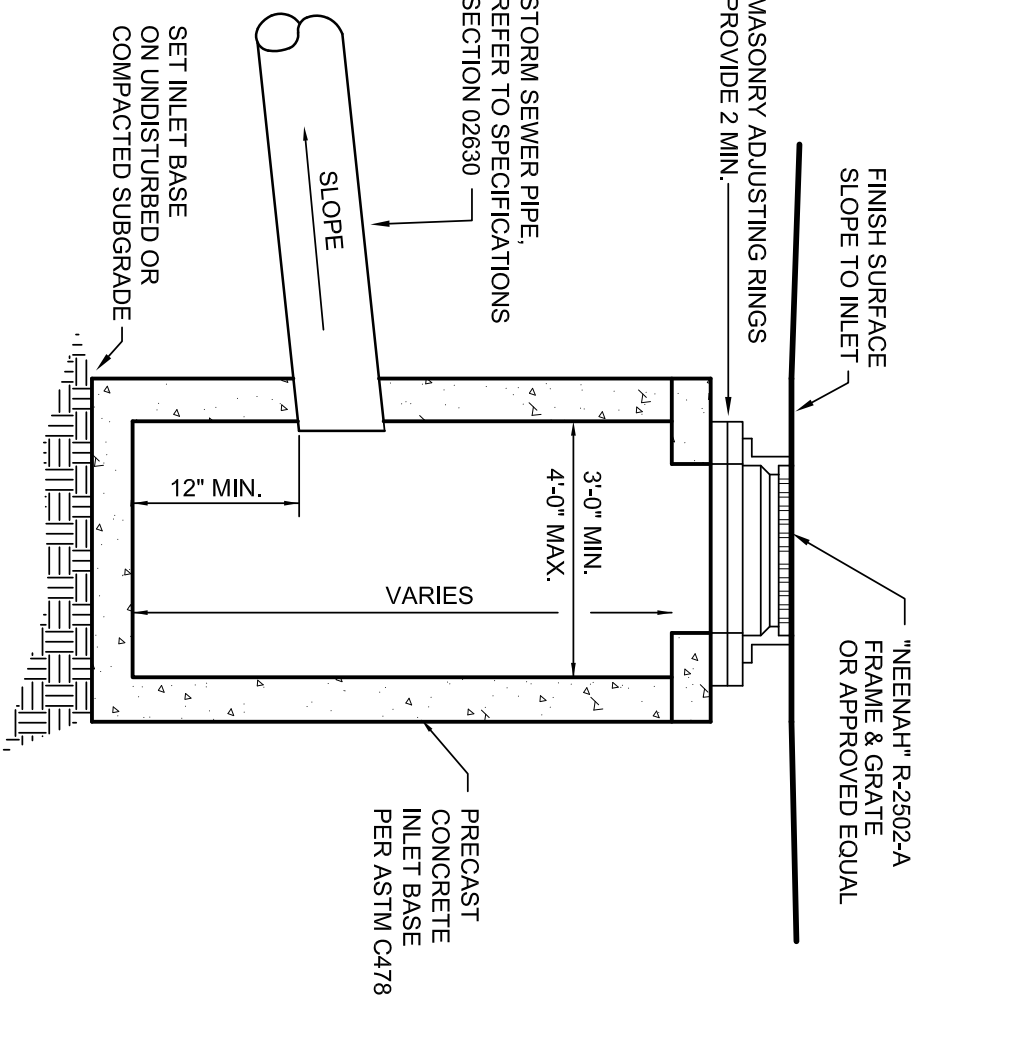
3300K POWERDRAIN - LOAD CLASS A

GENERAL: THE 3300K POWERDRAIN SYSTEM SHALL BE THE POLYMER CONCRETE SYSTEM MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

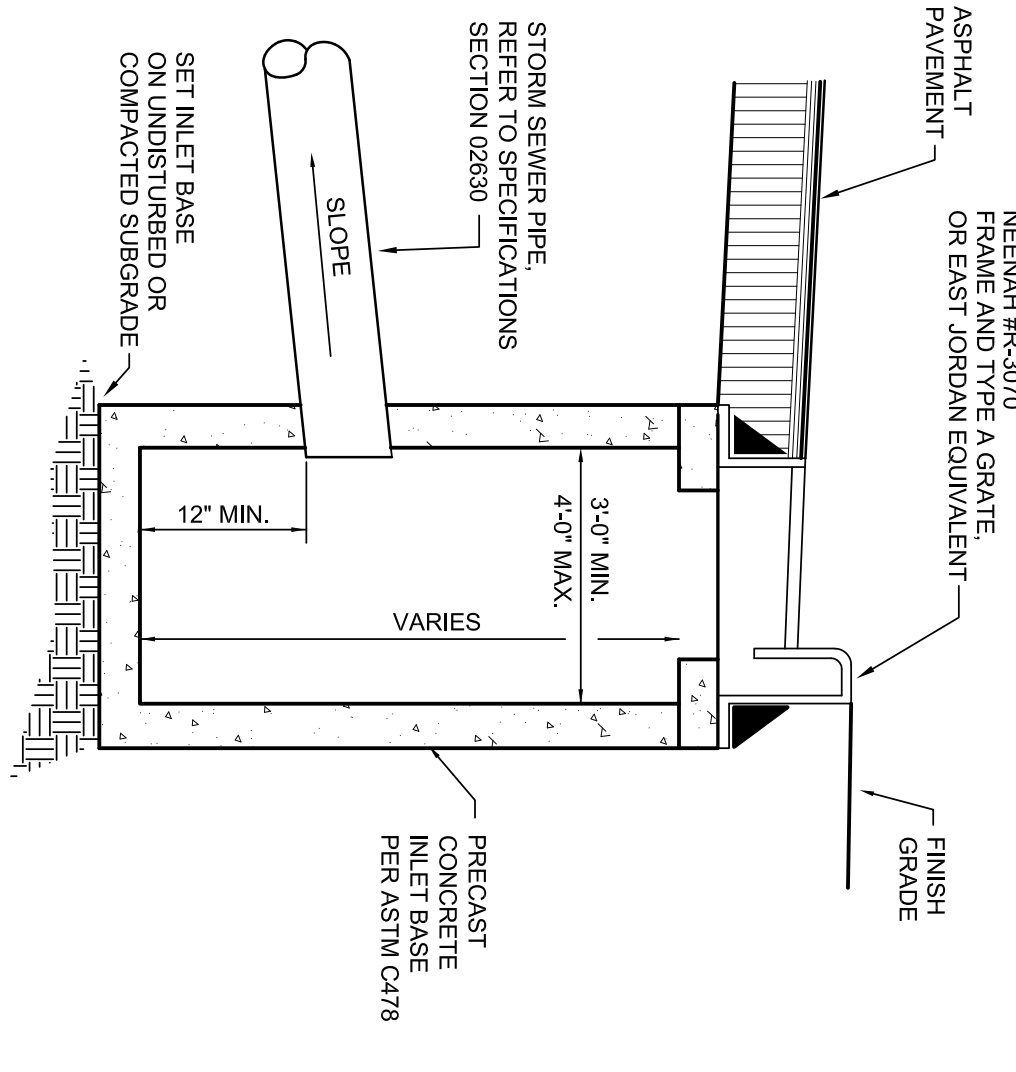
INSTALLATION: THE 3300K POWERDRAIN SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ACO POLYMER PRODUCTS INSTALLATION MANUAL. THE SYSTEM SHALL BE 4" (100MM) CHANNEL WITH 1/2" (13MM) DEPTH. THE SYSTEM SHALL BE 4" (100MM) CHANNEL WITH 1/2" (13MM) DEPTH. THE SYSTEM SHALL BE 4" (100MM) CHANNEL WITH 1/2" (13MM) DEPTH. THE SYSTEM SHALL BE 4" (100MM) CHANNEL WITH 1/2" (13MM) DEPTH.

ACO Polymer Products, Inc.

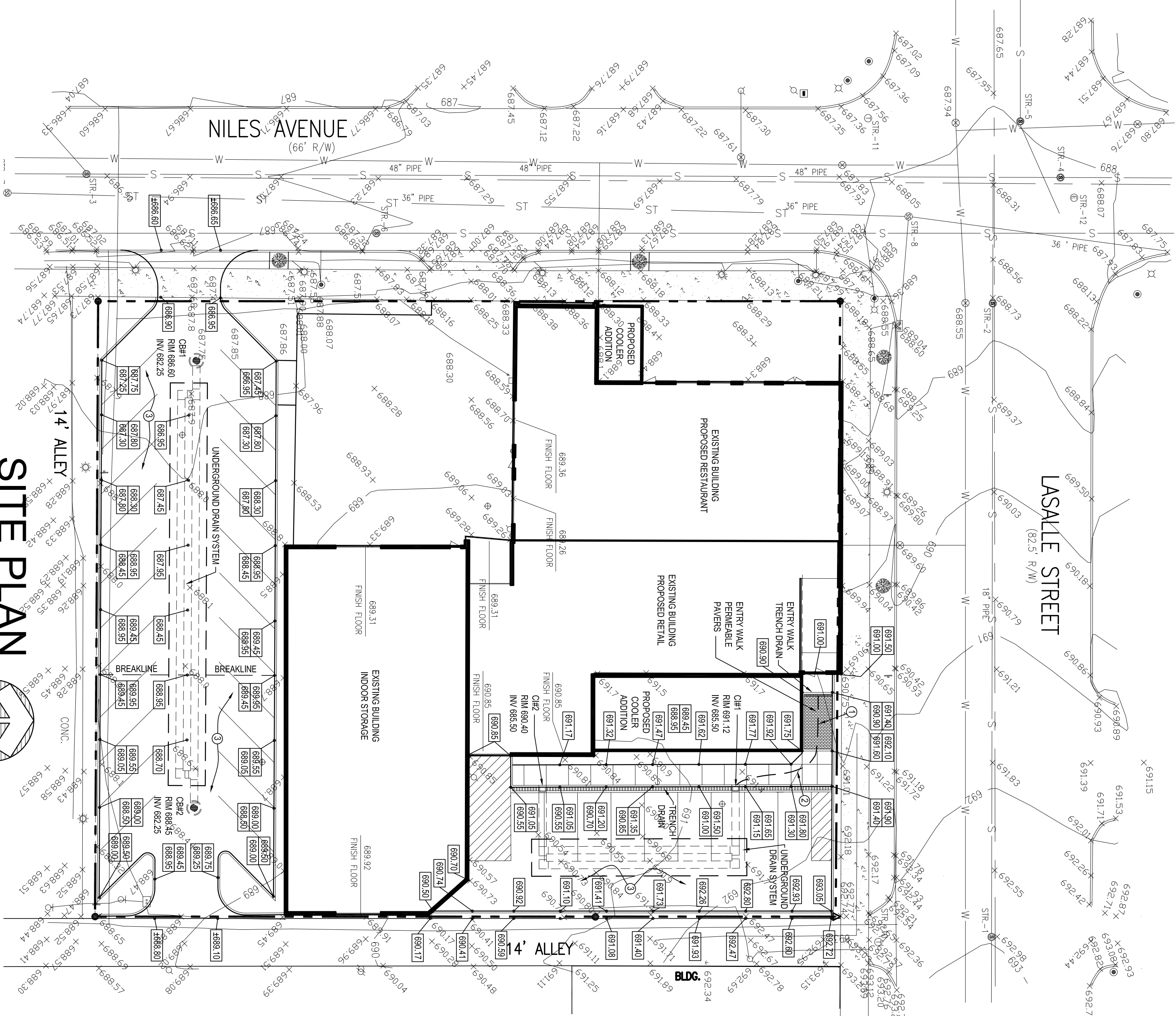
ACO Polymer Products, Inc.
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3 CATCH BASIN
NOT TO SCALE



4 CURB INLET
NOT TO SCALE



GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF CONFLICTS OR DISCREPANCIES.
- SPOT ELEVATIONS INDICATES FINISH GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS TO BE DEPT WELL DRAINED AT ALL TIMES. CONTRACTOR TO EMPLOY TEMPORARY STORM DRAINAGE AND Dewatering METHODS AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES TO STOP ANY EROSION/DENUDATION OF SEDIMENT OR DEBRIS LEAVING THE SITE. CONTRACTOR IS RESPONSIBLE FOR ASSURING COMPLIANCE WITH ALL LOCAL AND STATE REQUIREMENTS FOR EROSION CONTROL.
- TOPSOIL TO BE PLACED IN NEW LAWN AREAS AT 3" MIN. AND 4" MAX. DEPTH.
- TREES TO REMAIN ARE TO BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD.
- SITE SHALL BE GRAGED TO PROVIDE SMOOTH CONTROLS AND POSITIVE DRAINAGE AWAY FROM BUILDING. DO NOT ALLOW FOR PONDING OF WATER. PROVIDE SMOOTH TRANSITION WITH EXISTING LAWNS/GRADES.
- FINISH GRADE OF TOPSOIL IS TO TOP OF CURB AND FLUSH WITH WALKS AND PAVEMENTS. UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE INSTALL AND MAINTAIN TEMPORARY SITE DRAINAGE WITHIN PROPOSED PAVED AREAS. TEMPORARY DRAINAGE METHODS ARE IN PLACE. PARTICULAR CARE THE NEW CONSTRUCTION PERIOD.

KEY NOTES

- INSTALL 4" PERFORATED HOPE DRAIN TILE IN 12" WIDE x 6" DEEP STONE DRAINAGE BED UNDER PAVED AREAS OF PARKERS. CONNECT INTO ENTRY WALK TRENCH DRAIN AND SLOPE TOWARD PARKING LOT.
- EXTEND ENTRY WALK UNDERDRAIN TO CURB INLET WITH 4" NON-PERFORATED HOPE DRAIN PIPE.
- REFER TO SHEET C1 PAVEMENT DESIGN NOTES FOR SPECIAL EXCAVATION AND FILL UNDER NEW ASPHALT PAVEMENT AREAS.

STORM DRAINAGE PROVIDED
BASE ON CITY OF SOUTH BEND STANDARDS 10 YEAR, 6 HOUR DESIGN STORM (I = 0.50)

EAST PARKING LOT
PAVED AREA = 5,791 SQ.FT. = 0.086 AC
Q = A(CI) = 0.106(0.95) (0.50)
Q = 0.041 CFS
AT 6 HR. STORM DURATION
RETENTION REQUIRED = 1,706 CU.FT. REQUIRED
= 886 CU.FT. REQUIRED

STORM WATER RETENTION PROVIDED

GRAVEL BED
EXCAVATION: 10' W x 50' L x 4' D
= 2,000 CU.FT.

PIPE VOLUME
24" DIA. PERFORATED PIPE = 100 LN.FT.
24" DIA. PERFORATED PIPE = 200 LN.FT.
PIPE VOLUME = 314 CU.FT. PIPE VOLUME = 628 CU.FT.

GRAVEL STORAGE
EXCAVATION LESS PIPE VOLUME = 4,000 CU.FT. - 628 CU.FT. = 3,372 CU.FT.
GRAVEL STORAGE AREA = 1,977 CU.FT. STORAGE VOLUME AT 40% VOIDS

TOTAL STORM WATER STORAGE
674 CU.FT. GRAVEL STORAGE
314 CU.FT. PIPE VOLUME
= 988 CU.FT. TOTAL

STORM WATER STORAGE REQUIRED
= 988 CU.FT.

STORM WATER STORAGE PROVIDED
= 988 CU.FT.

SOUTH PARKING LOT
PAVED AREA = 7,227 SQ.FT. = 0.166 AC
Q = A(CI) = 0.166(0.95) (0.50)
Q = 0.079 CFS
AT 6 HR. STORM DURATION
RETENTION REQUIRED = 1,706 CU.FT. REQUIRED
= 1,706 CU.FT. REQUIRED

STORM WATER RETENTION PROVIDED

GRAVEL BED
EXCAVATION: 10' W x 100' L x 4' D
= 4,000 CU.FT.

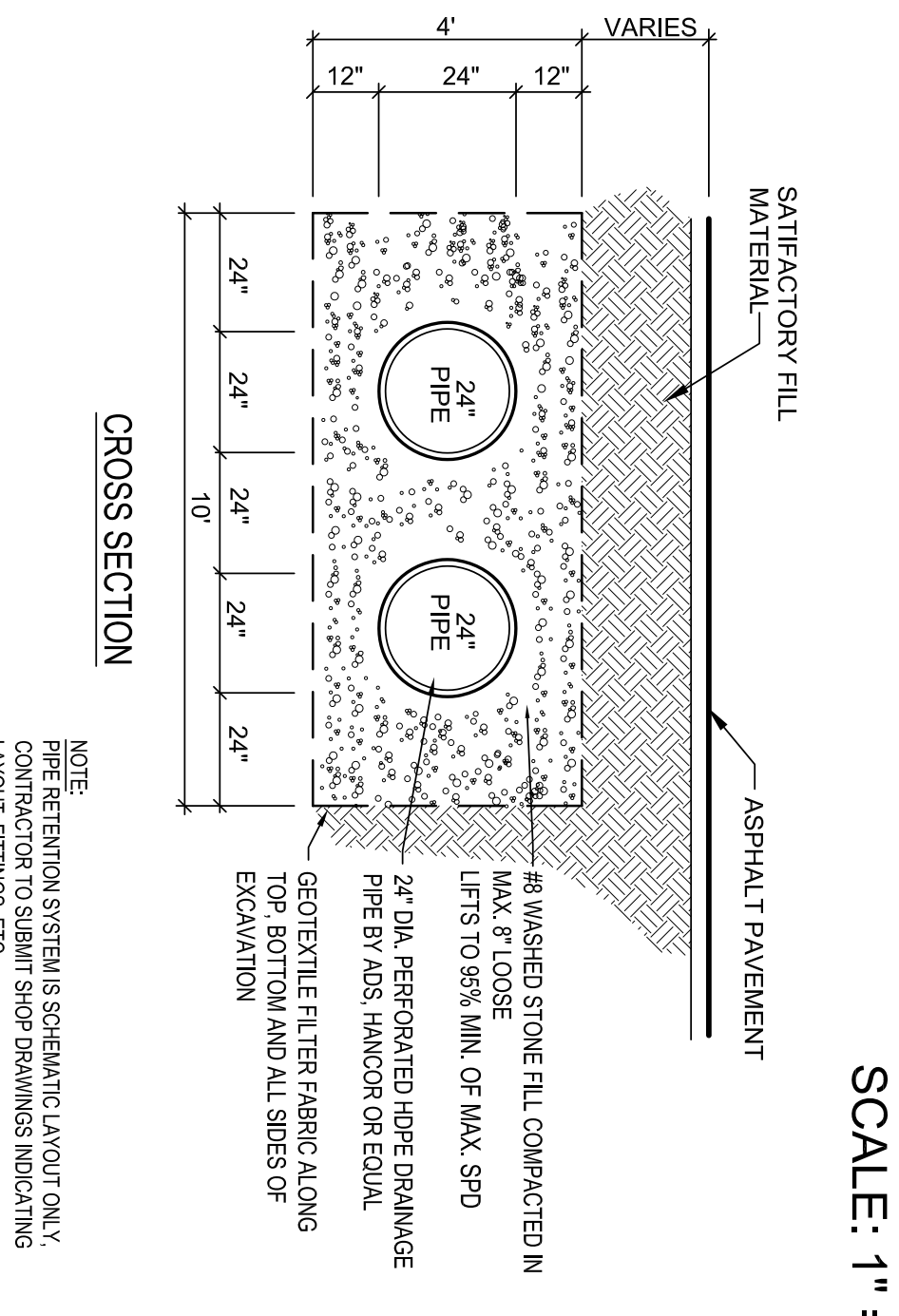
PIPE VOLUME
24" DIA. PERFORATED PIPE = 200 LN.FT.
24" DIA. PERFORATED PIPE = 400 LN.FT.
PIPE VOLUME = 628 CU.FT. PIPE VOLUME = 1,256 CU.FT.

GRAVEL STORAGE
EXCAVATION LESS PIPE VOLUME = 4,000 CU.FT. - 628 CU.FT. = 3,372 CU.FT.
GRAVEL STORAGE AREA = 1,977 CU.FT. STORAGE VOLUME AT 40% VOIDS

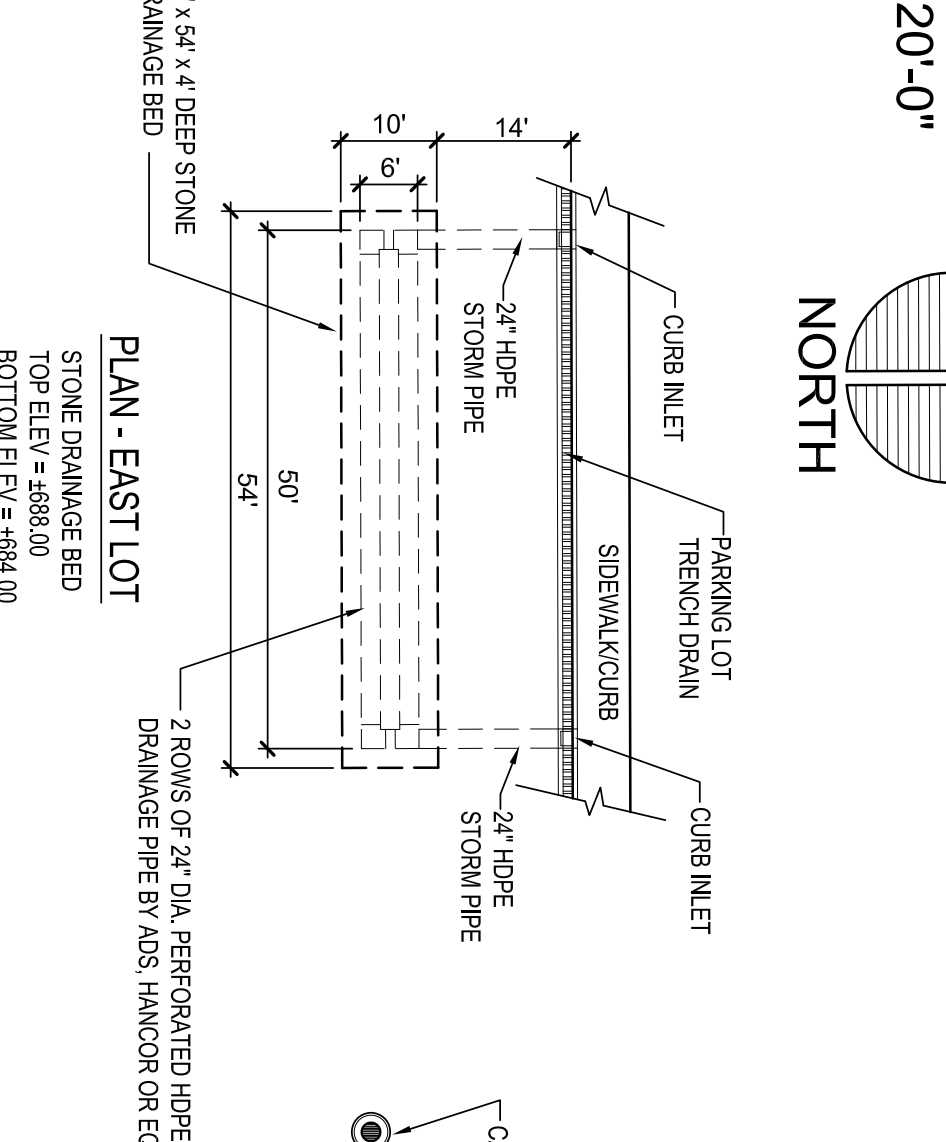
TOTAL STORM WATER STORAGE
1,346 CU.FT. GRAVEL STORAGE
628 CU.FT. PIPE VOLUME
= 1,974 CU.FT. TOTAL

STORM WATER STORAGE REQUIRED
= 1,706 CU.FT.

STORM WATER STORAGE PROVIDED
= 1,974 CU.FT.



5 PIPE DRAIN SYSTEM
NOT TO SCALE

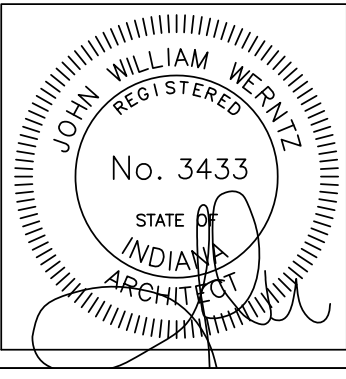


PLAN - EAST LOT
STONE DRAINAGE BED
TOP ELEV. = 4885.00
BOTTOM ELEV. = 4881.00

PLAN - SOUTH LOT
STONE DRAINAGE BED
TOP ELEV. = 4885.00
BOTTOM ELEV. = 4881.00

SiteScape, Inc.

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www.SiteScape, Inc.com



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ARCHITECT

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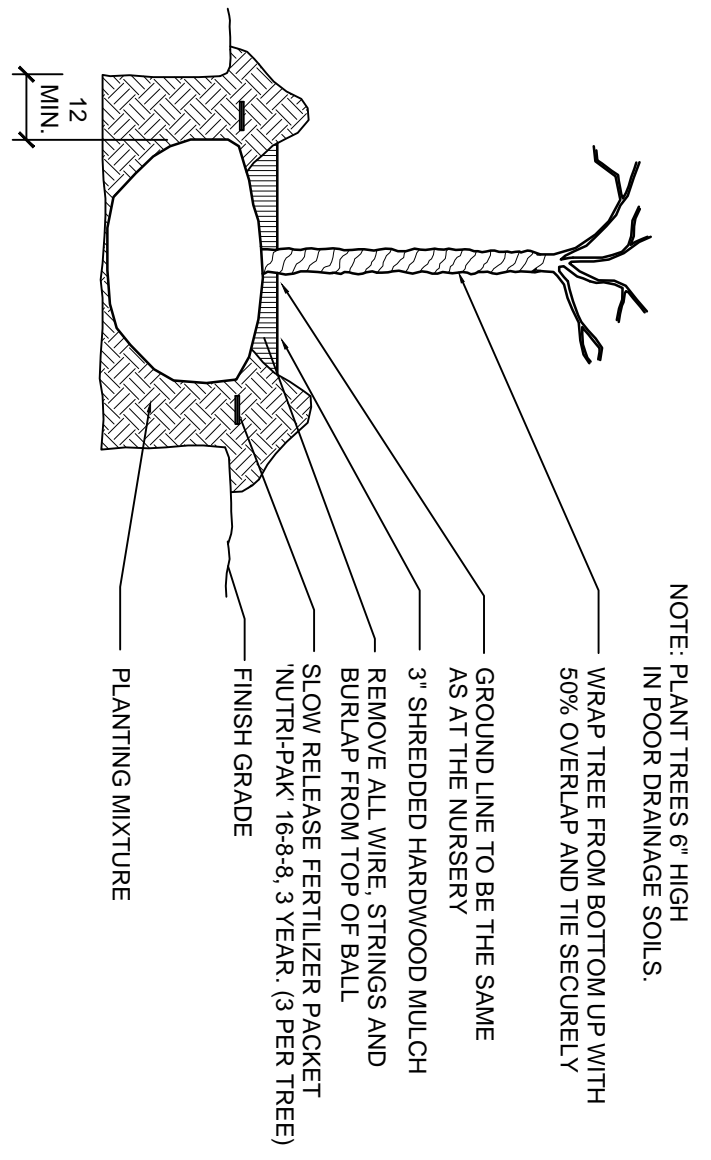
(574)277-9664 CELL (574)340-7849

DATE	ISSUE
02-06-2018	SUBMITTAL

PROPOSED RENOVATION OF:
J.C. LAUBER BUILDING
504 E. LaSALLE STREET, SOUTH BEND, INDIANA 46617

SITE GRADING PLAN

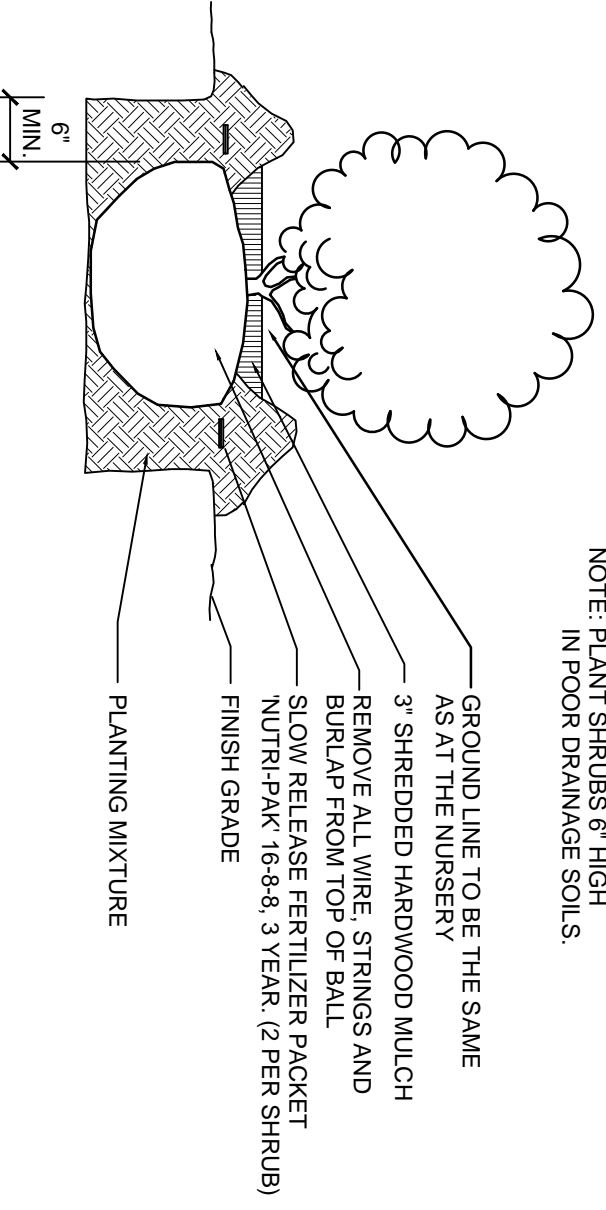
SHEET
C2



1 TREE PLANTING DETAIL

NOT TO SCALE

NOTE: PLANT SHRUBS 6\"/>



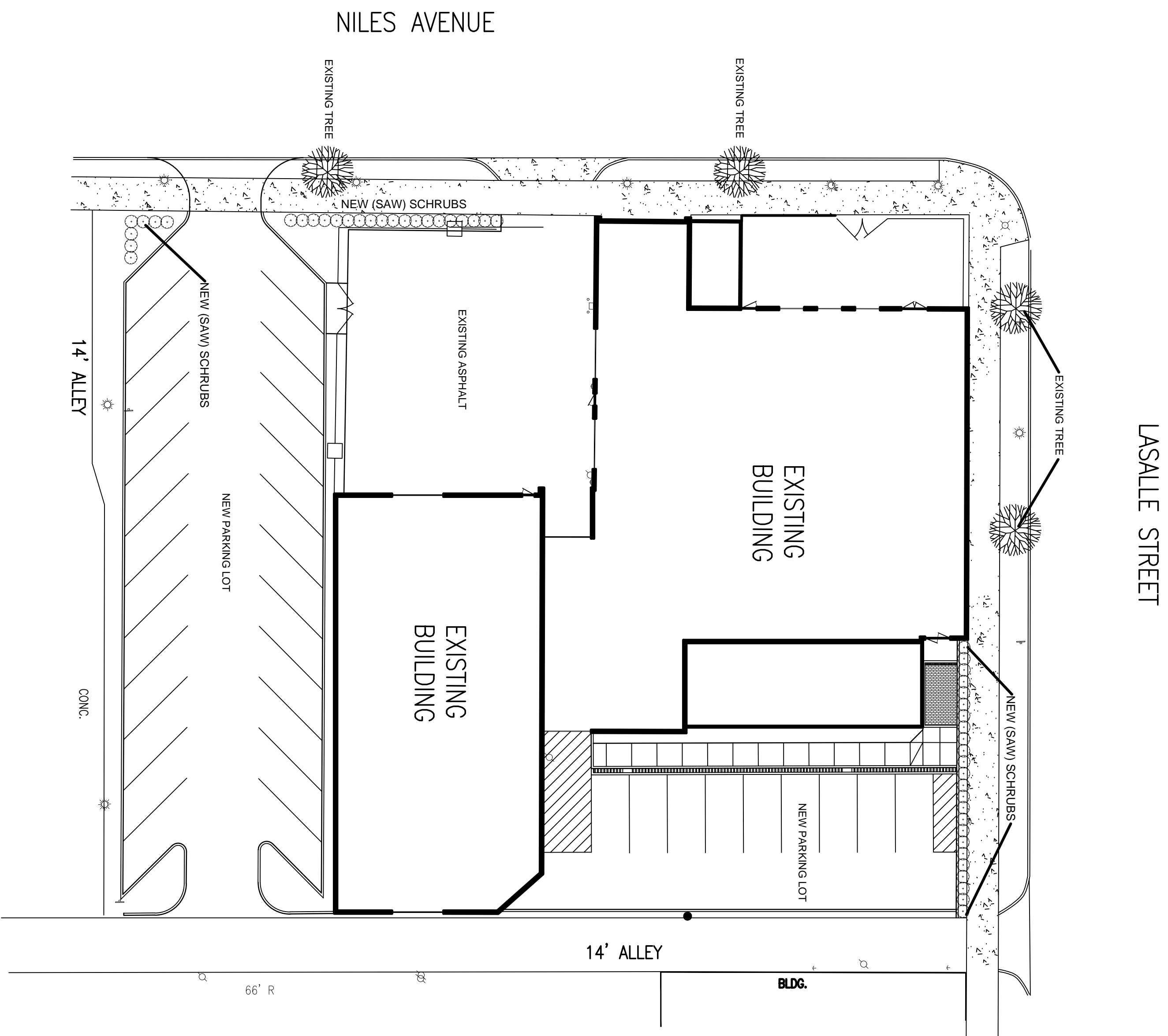
2 SHRUB PLANTING DETAIL

NOT TO SCALE

LANDSCAPE NOTES

1. CONTRACTOR SHALL ARRANGE FOR ON-SITE MARKING OF UNDERGROUND UTILITIES PRIOR TO ANY WORK ON-SITE. NOTIFY ARCHITECT OF ANY CONFLICTS WITH PROPOSED WORK.
2. TREE CALIPER SIZE INDICATES THE DIAMETER OF THE TRUNK TAKEN AT 6\"/>
3. KEEP THE SOIL MOIST OF BALLED AND CONTAINER PLANTS UNTIL THEY ARE PLANTED.
4. IF PLANTS CANNOT BE PLANTED IMMEDIATELY, THEY SHOULD BE HELED IN AND BALLED/CONTAINERS COVERED WITH MULCH.
5. ALL PLANTING LOCATIONS TO BE FIELD STAKED BY CONTRACTOR AND APPROVED BY OWNER PRIOR TO INSTALLATION FOR PROPER AESTHETIC AND FUNCTIONAL USE.
6. ALL SOIL PREPARATION OF PLANTING AREAS TO BE DONE BY LANDSCAPE CONTRACTOR PER SPECIFICATIONS.
7. ALL PROPOSED PLANT MATERIALS ARE SHOWN AT MATURE GROWTH. SPACE AS INDICATED ON PLANT LIST OR TO PROPER HORTICULTURAL METHODS.
8. LANDSCAPE CONTRACTOR TO NOTIFY OWNER IMMEDIATELY OF ANY FOREIGN SUBSTANCE THAT MAY BE DAMAGING TO PLANT MATERIAL. PRIOR TO PLANTING.
9. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH OTHER WORK FOR PROPER PLACEMENT OF PLANT MATERIALS AND LANDSCAPE WORK.
10. QUANTITIES SHOWN ON THE PLANT LIST IS FOR CONTRACTOR'S INFORMATION ONLY. IN CASE OF DISCREPANCY, THE ACTUAL COUNT ON THE LANDSCAPE PLAN PREVAILS.

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
ACM	ACER x FREEMANI 'CELEBRATION'	CELEBRATION MAPLE	3\"/>	5	BBB
BG	BUXUS x GLENDEE'	CHICKGOLAND GREEN BOXWOOD	#3 CONT.	22	
CKF	CALAMAGROTIS x ACUTIFOLIA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2 CONT.	22	
OZ	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB TICKSEED	#1 CONT.	180	
GTS	GLEDITSIA TRIACANTHOS 'NERMIS SKYCOLE'	SKYLINE HONEYLOCUST	3\"/>	2	BBB
HBR	HEMEROCALLIS BODACIOUS 'RETURNS'	BODACIOUS RETURNS GOLD DAFFILY	#1 CONT.	30	
HSD	HEMEROCALLIS STELLA DORO'	STELLA DORO DAFFILY	#1 CONT.	30	
HF	HOSTA 'FRANCEE'	FRANCEE HOSTA	#1 CONT.	21	
HG	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	#1 CONT.	24	
HAA	HYDRANGEA 'ARBORESCENS ANNABELLE'	ANNABELLE HYDRANGEA	36\"/>	12	
JCS	JUNIPERUS CHINENSIS 'SARGENTI VIRIDIS'	GREEN SARGENT JUNIPER	18\"/>	4	
JSG	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24\"/>	3	BBB
MRJ	MALUS 'RED JEWEL'	RED JEWEL CRABAPPLE	2\"/>	3	BBB
PAH	PENNISETUM ALOPECUROIDES 'HAMELIN'	HAMELIN DWARF FOUNTAIN GRASS	#1 CONT.	40	BBB
PGD	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	6\"/>	8	BBB
PTG	POTENTILLA FRUTICOSA 'GOLDPINGER'	GOLDPINGER POTENTILLA	18\"/>	81	
PC	PRUNUS x COSTINA	PURPLELEAF SANDCHERRY	48\"/>	9	
RFS	RUDEBECKIA FLGIDA 'SPECIOSA VIETTES LITTLE SULZY'	VIETTES LITTLE SULZY CONEFLOWER	#1 CONT.	344	
SAW	SPRAEA x BURMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPRAEA	24\"/>	41	
SPB	STRINGA x PENDA	BLOOMERANG PURPLE LILAC	24\"/>	10	
TOW	THUJA OCCIDENTALIS 'WOODWARDII'	WOODWARD GLOBE ARBORVITAE	24\"/>	15	
VPR	VIBURNUM PLICATUM 'NEVZAM'	NEVPORT VIBURNUM	#3 CONT.	10	
UNH	ULMUS JAPONICA x PUMILA 'NEW HORIZON'	NEW HORIZON ELM	3\"/>	4	BBB



SITE PLAN
SCALE: 1" = 20'-0"
NORTH

SHEET
1

LANDSCAPE PLAN

PROPOSED RENOVATION OF:
J.C. LAUBER BUILDING

DATE	ISSUE
5-20-2018	

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