

**STAFF REPORT**  
CONCERNING APPLICATION FOR A  
**CERTIFICATE OF APPROPRIATENESS**

**Date:** May 11, 2018

**Application Number:** 2018-0507

**Property Location:** 619 Edgewater Drive

**Architectural Style/Date/Architect or Builder:** Dutch Colonial Revival / 1924 / “Opperman House” / Whitcomb & Keller

**Property Owner:** Chris and Sandra Wilson

**Landmark or District Designation:** Edgewater Place Local Historic District, Ordinance #6846-80

**Rating:** Contributing

**DESCRIPTION OF STRUCTURE/ SITE:** 619 Edgewater is a rectangular two-story Dutch Colonial Revival set upon a brick and concrete foundation. The exterior walls of the house are wood clapboard with one off-center chimney with a brick corbelled top. A flared gable roof with full length shed dormer has a balcony over the front porch and a balustrade. A full length open front porch has square posts and balustrade; a full second-story balcony has a matching balustrade. Windows are wood 6/1 and 8/1 double hung with Larson Silver Series 1/1 exterior storms.

**ALTERATIONS:** Skylights were added to the structure sometime after the construction of the home and before the establishment of the historic district. In 1984, the property owner received permission to construct a boat launch on the river side of Edgewater Drive. At some point in the late 1980s the southern basement access man-door and window were removed, as well as the concrete access driveway. COA #1996-0405 allowed for the removal of a chain link fence and its replacement with a wood picket fence, although this may have never been completed. COA #2000-0629 allowed for the retroactive removal of a tree in the tree lawn. COA #2000-1023 allowed for the in-kind re-roofing of the structure with asphalt shingles. COA #2006-1117 allowed for the repair and reconstruction of the front porch with new deck and railings. COA #2008-0417 allowed for the removal of a Norway Maple in the tree lawn per City Forrester recommendation. COA #2009-0504B allowed for the removal of the chain link fence with 6’ white vinyl privacy fence in backyard. COA #2009-0909 allowed for the replacement of storm windows with Larson Silver Series 1/1 storm windows. COA #2015-0626A allowed for the removal of a rotten Cottonwood along the river bank per City Forrester recommendation.

**APPLICATION ITEMS:** “Remove existing roofing materials, removal of existing skylights, removal of existing gutter drain system. In-kind replacement of roof and gutter system with updated underlayment and new ridge vent. Replacement of skylights x2 of same size, Velux Custom with solar powered skylights.”

**DESCRIPTION OF PROPOSED PROJECT:** Applicant seeks approval for the following components:

1. Remove existing roof material and replace with new:
  - a. Ice and water shield,
  - b. Synthetic felt paper,
  - c. 6AF Timberline shingles, ‘Charcoal’ colored
  - d. Pro-Start Eave/Rake Starter Strip
  - e. Cobra RidgeRunner exhaust vent,
  - f. Seal-A-Ridge Protective Cap Shingle,
  - g. Drip Edge
2. Remove existing gutter system and replace with:
  - a. Englert Leafguard Brand gutter system
3. Replace existing non-original skylights with
  - a. Velux Custom solar-powered skylights

**SITE VISIT REPORT:**

May 8, 2018

On April 30, 2018 I visited the property located at 619 Edgewater Drive located in the Edgewater Place Local Historic District. The owner had contacted HPC about changing out the two skylights in the roof. I

photographed the outside of the structure and determined that the skylights are in need of replacement. The presence of condensation in the skylights indicates that the once gas-filled panes are no longer air tight. The discoloration of the roofing material down slope of the skylights would also indicate that the material used to render the roof curbs water tight has begun to fail as well. I do not have the ability to get any closer to skylights other than ground inspection.

Steve Szaday  
Preservation Inspector

## **STANDARDS AND GUIDELINES, EDGEWATER PLACE:**

### II. EXISTING STRUCTURES

#### **B. ROOFS AND ROOFING**

Roof shapes in the district vary from hip and gable to gambrel. All are covered with asphalt shingles. Eaves in most cases, have wood facias with gutters and downspouts. Some aluminum sided houses have aluminum covered facias.

Required

**The existing shape and materials of the roof shall be retained. All architectural features which give the roof its essential character, such as dormer windows, cornices, brackets and weather vanes, shall be retained.**

Recommended

Whenever possible, the original shape and materials of the roof shall be restored. Particular effort should be made to retain materials such as slate, tile and other unique materials not commonly found in new construction. Roof covering which is deteriorated beyond repair should be replaced with new material that matches as closely as possible the existing or original in composition, size, shape, color, and texture.

Prohibited

Nothing shall be done to change the essential character of the roof by adding architectural features or roofing materials inappropriate to the style of the house. The roof shall not be stripped of architectural features important to its character.

Not Recommended

If aluminum or vinyl siding is added to a building, overhanging eaves and gables should not be covered or enclosed.

#### **C. WINDOWS AND DOORS**

**Window and door frames are in nearly all cases wood. Brick structures have stone sills and brick lintels; masonry block structures have masonry sills and lintels.** In some cases where aluminum siding has been applied window trim has been covered. About half of the structures in the district have aluminum storm windows, the other half wood storm windows.

Required

**Original windows and doors including sash, lintels, sills, shutters, decorative glass, pediments, hoods, and hardware shall be retained or when deteriorated beyond repair, replaced with duplicates of the existing or original.**

Recommended

Wood frame storm windows and doors, painted to match the existing or original, should be used but should not damage existing frames and should be removable in the future. If new sash and doors are used, the existing or original, design, and hardware should be used. When metal storm doors are used, they should be painted anodized or coated to match the existing. When awnings are used they should be of canvas material.

Prohibited

**Existing or original doors, windows, and hardware shall not be discarded when they can be restored and re-used in place. New window and door openings which would alter the scale and proportion of the building should not be introduced. Inappropriate new window and door features such as aluminum insulating glass combinations that require the removal of the original windows and doors shall not be installed.**

Not Recommended

Metal, vinyl, or fiberglass awnings, hoods, and fake shutters that would detract from the existing character or appearance of the building should not be used.

## **STAFF RECOMMENDATION:**

Staff recommends approval of this application, as it is in keeping with the Standards and Guidelines for the Edgewater Historic District.

Written by  
Adam Toering  
Historic Preservation Specialist

Approved by  
Elicia Feasel  
Historic Preservation Administrator

**Photos:**



*Figure 1 - 619 Edgewater – taken on April 30, 2018*



*Figure 2 - Skylight condition, April 30, 2018*



*Figure 3 - South face of 619 Edgewater, April 30, 2018*



*Figure 4 - Front of 619 Edgewater, looking southwest - April 30, 2018*



# HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

County—City Building, South Bend, IN 46601  
http://www.southbendin.gov/government/department/community-investment  
Phone: 574/235.9371 Fax: 574/235.9021  
Email: hpcsbsjc@southbendin.gov

MAY 07 2018 MA

Rec.No. 192971 \$20.00

Timothy S. Kluszczinski, President

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation  
Administrator

## APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS

**OFFICE USE ONLY** >>>>>> **DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX** <<<<<< **OFFICE USE ONLY**

Date Received: 5/7/2018 Application Number: 2018 — 0507

Past Reviews:  YES (Date of Last Review) \_\_\_\_\_  NO

Staff Approval authorized by: \_\_\_\_\_ Title: \_\_\_\_\_

Historic Preservation Commission Review Date: \_\_\_\_\_

Local Landmark  Local Historic District (Name) Edgewater

National Landmark  National Register District (Name) \_\_\_\_\_

Certificate Of Appropriateness:  Denied  Tabled  Sent To Committee  Approved and issued: \_\_\_\_\_

Address of Property for proposed work: 619 Edgewater Dr SB 46601  
(Street Number—Street Name—City—Zip)

Name of Property Owner(s): Chris & SANDRA Wilson Phone #: 574-274-7197

Address of Property Owner(s): 619 Edgewater Dr SB 46601  
(Street Number—Street Name—City—Zip)

Name of Contractor(s): RAIN DRAIN Phone #: 574 534 7822

Contractor Company Name: \_\_\_\_\_

Address of Contractor Company: 57273 SR 15 Goshen IN 46528  
(Street Number—Street Name—City—Zip)

Current Use of Building: Single Family  
(Single Family—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)

Type of Building Construction: WOOD FRAME  
(Wood Frame—Brick—Stone—Steel—Concrete—Other)

Proposed Work: (more than one box may be checked)  Landscape  New  Replacement (not in-kind)  Demolition

Description of Proposed Work: Removal of existing roofing material, removal of existing skylights, removal of existing gutter drain system. In third replacement of new solid gutter system with updated underlayment and new ridge vent. Replacement of skylights x 2 of same size. Velux custom order solid pannel skylights.

Owner e-mail: crealwilson@icloud.com and/or Contractor e-mail: \_\_\_\_\_

X Chris Wilson and/or X \_\_\_\_\_  
Signature of Owner Signature of Contractor

**TO ENSURE YOUR APPLICATION CAN BE PROCESSED IN A TIMELY MATTER WITHOUT DELAY,  
PLEASE INCLUDE THE FOLLOWING DOCUMENTATION WHEN APPROPRIATE:**

- Certificate of Appropriateness application**
- Written description** of the project (materials to be used, scale, dimensions, construction methods, alterations, etc.)
- Materials to be used** (Supplemented with manufactures' brochures and specifications)
- ~~**Site Plan**~~ showing existing buildings & structures and proposed project (for new construction, additions, paths, terraces, patios, fences)
- Photographs**
- ~~**Blueprints/Drawings**~~
- Application fee - \$20.00**

3521 Lake Ave  
Ft. Wayne, IN 46805  
2602002000 Local  
1-8886117246 Toll Free  
www.raindraininc.com

57273 State Road 15 Goshen, IN 46528  
5745347822 Local  
1-8886117246 Toll Free  
5745348326 Fax  
www.raindraininc.com

5100 Century Ave  
Kalamazoo, Michigan 49006  
2692005100 Local  
1-8886117246 Toll Free  
www.raindraininc.com



Nº 2458

**ROOFING PROPOSAL**

License# IN 0108070190 • MI 2104196031

CUSTOMER NAME <i>Chris &amp; Sandy Wilson</i>		JOB NAME																							
ADDRESS <i>619 Edgewater Dr</i>		ADDRESS OF JOB																							
CITY/STATE/ZIP <i>South Bend, IN 46601</i>		CITY/STATE/ZIP																							
TELEPHONE NUMBER <i>574-274-7297</i>		TELEPHONE (WORK)																							
DATE OF PROPOSAL <i>4.16.16</i>	REPRESENTATIVE (CONTACT PERSON) <i>Brian</i>	TYPE OF ROOF AND COLOR <i>GAF Timberline - (charcoal)</i>																							
SPECIFICATIONS OF WORK TO BE COMPLETED:		Other Notes and Comments: <i>50yr Materials warrant 25 yr Installation Defens 2 custom Velux skylights, Solar powered, remote controlled</i>																							
	<table border="0"> <tr> <td></td> <td>Y</td> <td>N</td> </tr> <tr> <td>Removal of Existing Roof Material</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>Removal of Roof Decking</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Install New Roof Decking (\$40 per sheet)</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Install New Ice &amp; Water Shield</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>Install New Synthetic Felt Paper</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>Install New Ridge Vent</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>Install New Dripedge</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>			Y	N	Removal of Existing Roof Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Removal of Roof Decking	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Install New Roof Decking (\$40 per sheet)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Install New Ice & Water Shield	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Install New Synthetic Felt Paper	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Install New Ridge Vent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Install New Dripedge	<input checked="" type="checkbox"/>
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Install New Ridge Vent	<input checked="" type="checkbox"/>	<input type="checkbox"/>																							
Install New Dripedge	<input checked="" type="checkbox"/>	<input type="checkbox"/>																							
*Price includes dumpster, removal of old roofing material and daily clean-up.		Contract Price \$ <i>15,080</i>																							
		Less Deposit \$ <i>0</i>																							
		Balance Due \$ <i>15,080</i>																							

\*Make checks payable to: Rain Drain, Inc. and remit to: 57273 State Road 15 Goshen, Indiana 46528

**50% OF CONTRACT PRICE IS DUE AT SIGNING.**

Note: No warranty work or alterations will be completed until balance is paid in full.

Installation will occur approximately 4-5 week(s) from order date, and will take approximately 1-3 day(s) to complete.

Proposal expires after 14 days. Balance due upon receipt of invoice. A 1.5% interest charge per month will be incurred for any balance of 15 days or more. After 15 days any balance will automatically be turned over to collection.

This written agreement is the only and entire contract covering the subject matter hereof and is subject to the approval of the property owner's credit. It is further understood that should the purchaser fail to permit Contractor to proceed with said work after it has begun, for any reason, Contractor shall be relieved of any obligation hereunder, and purchaser agrees to pay Contractor all damages sustained by Contractor. The undersigned purchaser agrees that in the event payment is not made in accordance with this contract, and the claim is turned over for collection, the undersigned purchaser agrees to pay a reasonable attorney fee, court costs, and interest, together with the amount owed.



All material is guaranteed to be as specified. Price includes tax. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, snow, ice, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation insurance.

CREDIT CARD           CVC CODE    EXP. DATE



I/WE ACCEPT THE TERMS OF THIS CONTRACT.

CUSTOMER SIGNATURE	DATE	CUSTOMER SIGNATURE	DATE
PRINT NAME		PRINT NAME	

*Pat Gray*  
REPRESENTATIVE  
*Pat Gray*  
PRINT NAME  
DATE *4.16.16*



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 1.888.611.7246 Toll Free  
 www.raindraininc.com

## LEAFGUARD PROPOSAL

Nº 13301

CUSTOMER NAME Chris & Sandy Wilson				JOB NAME			
MAILING ADDRESS 619 Edgewater Dr				ADDRESS OF JOB			
CITY / STATE / ZIP South Bend, IN, 49601				CITY / STATE / ZIP			
TELEPHONE NUMBER 574.274.7297				TELEPHONE (WORK)			
DATE OF PROPOSAL 4.16.14	REPRESENTATIVE Rich	DRIP EDGE COLOR N/A	INITIAL ML	LEAFGUARD COLOR White	INITIAL K	DOWNSPOUT COLOR White	INITIAL K

LeafGuard will furnish all labor and materials necessary to install a LeafGuard system which includes: Removal and haul away of any existing gutter/downspouts, fabrication and installation of LeafGuard .032 thickness Gutter with three inch by four inch commercial size downspouts, lifetime NO CLOG warranty, lifetime scratch resistant finish warranty.

<b>SPECIFICATIONS OF WORK TO BE COMPLETED: (Arrows represent downspout locations)</b>							
<table border="1" style="width: 100%;"> <tr> <td>CONTRACT PRICE</td> <td>\$ 3449</td> </tr> <tr> <td>LESS DEPOSIT</td> <td>\$ 0</td> </tr> <tr> <td>BALANCE DUE UPON WORK COMPLETION</td> <td>\$ 3449</td> </tr> </table>		CONTRACT PRICE	\$ 3449	LESS DEPOSIT	\$ 0	BALANCE DUE UPON WORK COMPLETION	\$ 3449
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LESS DEPOSIT	\$ 0						
BALANCE DUE UPON WORK COMPLETION	\$ 3449						

\*Make checks payable to: Rain Drain, Inc. and remit to: 57273 State Road 15, Goshen, Indiana 46528

**50% OF CONTRACT PRICE IS DUE AS SIGNING.**  
**BALANCE DUE IS TO BE PAID TO INSTALLATION CREW UPON COMPLETION OF SAID WORK. IF BALANCE IS NOT PAID TO INSTALLATION CREW, A \$300.00 FINANCE CHARGE WILL BE ADDED, IN NOT PAID WITHIN 7 DAYS.**



CREDIT CARD           CVC CODE    EXP. DATE



**APPLY BALANCE TO CREDIT CARD**  
 INSTALLATION WILL OCCUR APPROXIMATELY 4-5 WEEK(S) FROM ORDER DATE, AND WILL TAKE APPROXIMATELY 1 DAY(S) TO COMPLETE.

The original design and construction of your home may have resulted in the creation of roof valleys. Gutter products in general, including LeafGuard, may not collect all of the water displaced at the valley ends. In an attempt to reduce this "valley effect," the LeafGuard manufacturer has developed a High-Velocity Inside Mitre. Despite this innovation, it is likely that some water will escape the gutter near the valley ends. The LeafGuard installers may also add a diverter(s) to the hood of the LeafGuard gutter, along with a series of holes in the hood. This will help to capture some of the water, but some water may escape the gutter in this area. Diverter can cause debris to accumulate on the hood of the gutter, this is the homeowners responsibility to keep cleaned.

LeafGuard is the finest rain-gutter product on the market today: however, LEAFGUARD WILL NOT ELIMINATE OR HELP ELIMINATE ICE FORMATION OR ICICLES AT YOUR EAVES. Ice formation is mostly caused by factors not related to your gutter system. In fact, you will probably see more ice (icicles) on the outside of the LeafGuard Gutter because conventional gutter trends to collect ice inside the trough whereas LeafGuard is shaped to discourage anything from



# Cobra® RIDGE RUNNER™

Exhaust Vent for Roof Ridge

Learn about  
Attic  
Ventilation

*Protect Your Roof  
From Premature Deterioration  
By Providing Effective*

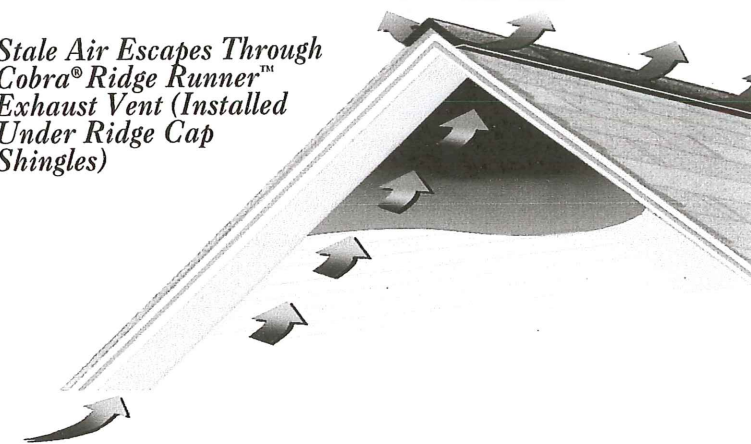
# Attic Exhaust Ventilation

Effective attic ventilation is critical for a long-lasting roof! A properly balanced attic ventilation system will help to:

- Remove excess heat and moisture to protect your roof from premature deterioration
- Prevent roof rot in your attic or roof deck
- Minimize peeling and extend the life of exterior and interior paint
- Limit the growth of harmful mold
- Safeguard your attic possessions against mildew damage
- Guard against ice damming in harsh winter climates
- Possibly reduce excessive heating and air conditioning costs

Cobra® Ridge Runner™ Exhaust Vent is a key part of the GAF Lifetime Roofing System, and has even earned the prestigious Good Housekeeping Seal (see reverse).

*Stale Air Escapes Through  
Cobra® Ridge Runner™  
Exhaust Vent (Installed  
Under Ridge Cap  
Shingles)*



*Fresh Air Enters  
Attic Through  
Intake Vent At  
Soffit Or Eave*



[www.gaf.com](http://www.gaf.com)

# PRO-START™

Eave/Rake Starter Strip

Learn about  
**Eave/Rake**  
Starter Strips

*Help Prevent  
Shingle Blow-Off And  
Eliminate Waste With An*

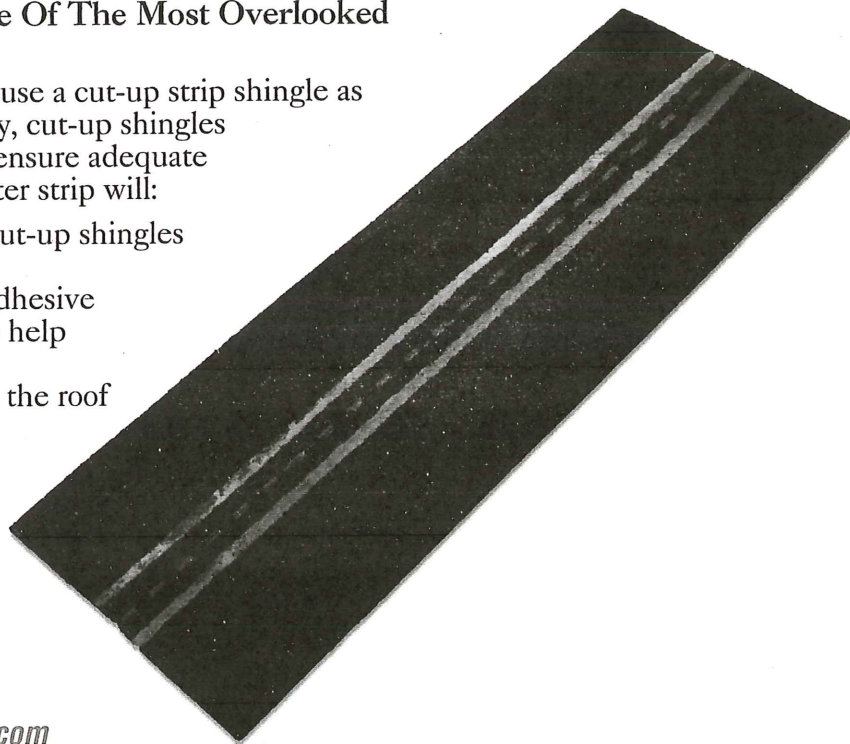
# Eave/Rake Starter Strip

**Pre-cut Eave/Rake Starter Strips Are One Of The Most Overlooked Parts Of A Roofing System!**

That's because some roofing contractors try to use a cut-up strip shingle as the "starter" course on your roof. Unfortunately, cut-up shingles may not have properly positioned adhesive to ensure adequate wind resistance. Using a pre-cut eave/rake starter strip will:

- Provide a cost-effective alternative to using cut-up shingles as your starter course
- Include a high-quality, properly positioned adhesive that will tightly lock your shingles in place to help prevent blow-off
- Be easy to use and install, with no cutting on the roof

Pro-Start™ Eave/Rake Starter Strip is a key part of the GAF Lifetime Roofing System, and has even earned the prestigious Good Housekeeping Seal (see reverse).



[www.gaf.com](http://www.gaf.com)



# SEAL-A-RIDGE®

Protective **Ridge Cap Shingles**

Learn about  
**Ridge Cap  
Shingles**

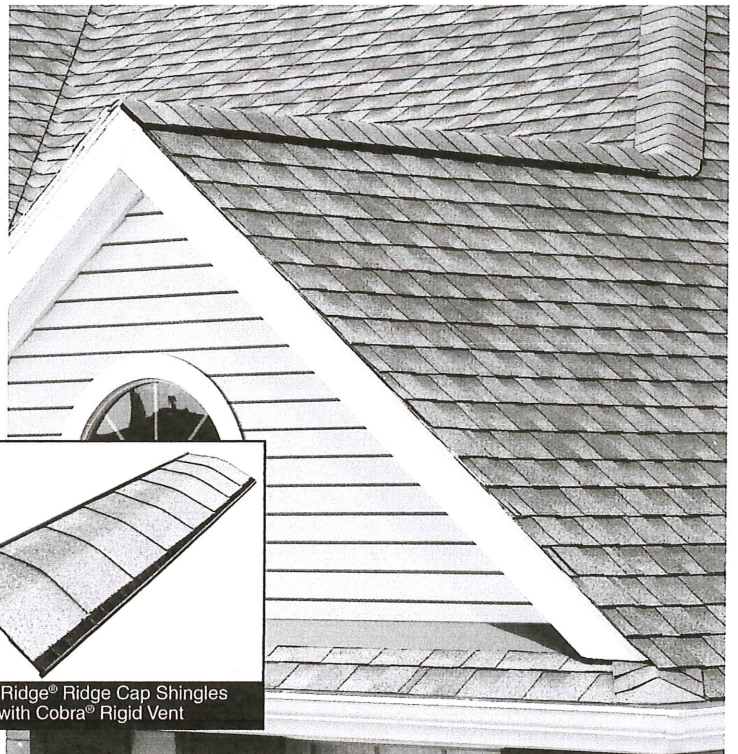
*The Perfect Finishing Touch  
For Your New Roof  
Should Be A Protective*

# Ridge Cap Shingle

## A Protective Ridge Cap Shingle Will:

- Insure reliable protection at the highest-stress areas of your roof (the hips and ridges)
- Provide a higher-quality and more cost-effective alternative to using cut-up strip shingles as your ridge cap

Seal-A-Ridge® Protective Ridge Cap Shingles are a key part of the GAF Lifetime Roofing System, and have even earned the prestigious Good Housekeeping Seal (see reverse).



Seal-A-Ridge® Ridge Cap Shingles  
shown with Cobra® Rigid Vent



# Solar Powered "Fresh Air" Skylights

Deck mounted - VSS  
Curb mounted - VCS

**No Leak Warranty**  
For complete information visit  
[thenoleaskyilight.com](http://thenoleaskyilight.com)  
VELUX flashing  
required



Solar powered "Fresh Air" deck mounted No Leak Skylight - VSS




Solar powered "Fresh Air" curb mounted No Leak Skylight - VCS




## Benefits:

- With a 30% federal tax credit, homeowners will receive an average of \$850\* with federal tax credit eligibility, which makes this product very affordable.
- Features a solar panel that captures any available daylight to recharge a highly efficient, fully concealed battery powered operator and control system.
- Replace a fixed or manual skylight easily because no wiring is required.
- Available in deck and curb mounted applications.

\*For more information visit: [veluxusa.com/taxcredits](http://veluxusa.com/taxcredits)

Model VSS	 14° - 85° 3:12 - 137:12	C01	C04	C06	C08	M02	M04	M06	M08	S01	S06
Rough opening	(W-in. x H-in.)	21 x 26 7/8	21 x 37 7/8	21 x 45 3/4	21 x 54 7/16	30 1/16 x 30	30 1/16 x 37 7/8	30 1/16 x 45 3/4	30 1/16 x 54 7/16	44 1/4 x 26 7/8	44 1/4 x 45 3/4

Model VCS	 0° - 60° 0:12 - 20:12	2222	2234	2246	3030	3046	3434	4622	4646
Outside curb	(W-in. x H-in.)	25 1/2 x 25 1/2	25 1/2 x 37 1/2	25 1/2 x 49 1/2	33 1/2 x 33 1/2	33 1/2 x 49 1/2	37 1/2 x 37 1/2	49 1/2 x 25 1/2	49 1/2 x 49 1/2

Please reference the price list for a full description of all sizes and glass options.