

STAFF REPORT
CONCERNING APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

Date: 8 May 2018

Application Number: 2018-0507D

Property Location: 226 Hammond

Architectural Style/Date/Architect or Builder: Cross Gable Square/1903

Property Owner: Realmad Holdings & Investments, LLC

Landmark or District Designation: River Bend Local Historic District, ordinance no. 8308-92

Rating: Contributing

DESCRIPTION OF STRUCTURE/SITE: The house is a 1 ½ story square plan with a concrete foundation although it is covered by siding. Siding is aluminum and vinyl. Roof is a cross gable with returns and is covered with asphalt shingles. There is a full length front porch with a brick foundation, half walls, tapered piers and brick wing walls. The porch roof is hipped and covered with asphalt shingles. The windows are wood and vinyl 1/1 double hung. There is a one-story addition with a shed roof in the rear. Front door is metal.

ALTERATIONS: A detached garage in the rear collapsed in the winter of 1993. COA 1995-0329 replaced roof with asphalt shingle. 2002-0311 replaced broken windows, eaves, and soffits. COA 2012-0730 removed failing attached garage, residing exposed side with vinyl, and install new solid steel front door. The rear one-story addition is not original. Aluminum siding is not original.

APPLICATION ITEMS: "Please see attached proposal."

DESCRIPTION OF PROPOSED PROJECT:

1. **Windows:** Replace all windows with Jeld-Wen vinyl single hung. Existing windows are an assortment of non-original wood replacement, newer vinyl windows in existing addition, original wood double hung windows that need repair, and original wood double hung windows that are beyond repair (see Site Visit Report). A rear second story window that is installed below the roof line is causing moisture issues and is proposed to be replaced with a new window designed to be symmetrical with the second existing window (see drawing). Two rear first story windows in existing addition are proposed to be replaced with new windows that are 25% shorter to allow for the installation of kitchen countertops along the wall under the windows. Staff recommended that applicant investigate aluminum clad window material; applicant concluded that cost would be 50% more.
2. **Siding:** Remove outer layer of aluminum and vinyl siding. A layer of non-original asphalt siding will remain on house. Install foam board insulation. Install new PlyGem vinyl 4" siding on entire house including existing addition. Add new wood trim around windows and doors; no trim currently exists.
3. **Fence:** Install new wood 6' dog-eared privacy fence along side and rear of property, not to surpass front wall of house (see site plan).
4. **Porch:** Remove existing aluminum porch ceiling. Depending on condition of original wood underneath, either restore or install new wood beadboard, product specification TBD.
5. **Brick:** Tuck point and power wash brick. Staff recommended that applicant power wash brick using only low-pressure water and using soft natural bristle brushes.
6. **Entry doors:** Replace non-original front and rear doors both with new Mastercraft Craftsman Embossed steel exterior doors.

SITE VISIT REPORT:

May 2, 2018 I met with the owner/contractor at the property located at 226 Hammond Ct. The owner is looking to perform several projects.

-Windows

-Four windows on the North (front) face. The two on the main floor are wood but do not look to be original as they have a slightly different construction and sash detail. The windows are in need of repair and look like new parting stops were installed. The two windows upstairs look to be original and in desperate need of repair and even some structural repair to the lower sash of both.

-Four windows on the East side. Two lower windows are both in need of repair including structural sash repair. The upper windows are in worse shape and are soft to the touch. Both lower sashes of the upstairs windows are deteriorated beyond repair.

-Four windows on South (rear) face. Two lower level windows are vinyl replacements and part of the addition. The owner wishes to install smaller windows in order to utilize the addition as the kitchen, however to do so will need to raise height above counter height. Two upper windows; one is a small non-original horizontal window and then a small double-hung original. The double hung original is deteriorated beyond repair due to the roof of the addition finishing above the window sill. Water runs into the window and wall. Owner wishes to install a smaller window to correct this issue.

-Two windows on West (side) upper level. These are both deteriorated beyond repair. There was roof damage and water infiltration on the southmost window and the northmost window has sustained structural damage. The owner wishes to add two windows to the lower level where a carport/garage once stood and was removed with an approved COA.

-Siding

Owner stated a desire to remove the aluminum siding on the house and replace with vinyl siding that matches what is already on the addition and lower level of the west face. He is also looking to add trim around the windows to match the other houses in the neighborhood more appropriately. When I was inside the addition, we saw that under the aluminum is asphalt siding. I was unable to see under that layer to see what the original material was.

-Fence

Owner is interested in installing a privacy fence along the east edge of the property between the alley and house. The fence would then run south along the alley at rear of the house and then turn north along the western property line. Within view of the property there are both wood privacy fences and chain link fencing in the rear yards along the alley. Utility easements will need to be considered prior to any fence installation.

-Front Porch

Owner stated a desire to repair the porch overhang and possibly add a deck above the porch. There is such a structure at the end of the block at Hammond Court and St Joseph. The roof is in need of repair and the porch ceiling is separating from the structural beams. This may need to be stripped down to the structural truss. I did go out on the roof personally to test the strength of the roof. I will point out that the brick porch may be an addition as it is the only brick part of the house and it does not tie into the house proper. The porch sits higher than others in the neighborhood. The owner plans to make necessary missing mortar repairs.

Steve Szaday, Preservation Inspector

STANDARDS AND GUIDELINES, RIVER BEND:

I. THE ENVIRONMENT

A. IN THE DISTRICT ENVIRONMENT

The district is characterized by its proximity to downtown South Bend and its location adjacent to Leeper Park and along the St. Joseph River. The district encompasses: two blocks of Riverside Drive beginning at Marion Street (from 503 Riverside Drive north) and ending at Bartlett Street; two lots on the north side of Navarre street just west of the alley behind Riverside Drive; the north side of Hammond Place; the east side of St. Joseph Street between Hammond Place and Bartlett Street; and the south side of Bartlett Street between St. Joseph and Riverside Drive. The District contains 45 residences and their adjacent outbuildings.

Required

Distinctive existing features such as parks, gardens, streetlights, fences, signs, walkways, streets, alleys and building setbacks shall be retained. *New plant materials, fencing, walkways, streetlights, signs and benches shall be compatible with the character of the neighborhood in size, scale, material and color.* Street lighting should be maintained at levels recommended by the Illumination Engineering Society. Sources and light posts should be uniform throughout the District. Lamp fixtures and supporting posts must be similar in proportion, scale and detail to existing historic lamps (see appendix). Streetlights should be placed so that adequate illumination is afforded all sections of the public sidewalks. Removal of shade trees over twelve inches (12") diameter, conifer trees over six inches (6") in diameter or other major plant elements shall be subject to approval by the Historic Preservation Commission. Any subsequent replacement trees of any size required by the Historic Preservation Commission shall be retained. The Riverfront character of the district shall be retained.

Recommended

Whenever possible, the original features should be restored. Plant materials and trees in close proximity to buildings or streets that are causing deterioration to those elements should be removed. Do not dump leaves and grass clippings on planted slopes as this practice will kill much of the low ground cover and leave soil susceptible to erosion. When replacement of utility poles or power lines is necessary, consideration should be given to underground conduits or utility poles erected along property lines.

Prohibited

Existing relationships of buildings and their environments shall not be destroyed through widening or closing of existing streets and alleys or by introducing new streets, alleys or parking lots. *Signs, streetlights, benches, new plant materials, fencing, walkways and paving materials which are out of scale or inappropriate to the neighborhood may not be used. The erection of high walls or barriers which would alter the relationship of the houses and the river is prohibited.* The introduction of heavy trucks or similar vehicles in the District shall be prohibited. Utility poles with high intensity overhead lights shall not be used on main thoroughfares.

B. BUILDING SITE, LANDSCAPING, & ACCESSORIES

Individual properties in the district are characterized by a house located near the front of each lot, with a small lawn in front and a larger lawn to the rear of the property. Those properties facing the river on Riverside Drive generally have sloping front lawns and flat back yards. The majority of structures have been erected on a single lot. Many of the properties include a garage located at the rear of the property accessed from unpaved alleys running behind the property. Most properties have trees, shrubbery and/or hedges. All houses conform to the uniform set-back within each block. The district has a compact layout. Large homes are constructed on small lots while smaller homes, such as those on Hammond Place, are constructed on narrow, deep lots. Little of the backyard areas or rear first stories of these homes is visible from the thoroughfare. In recognition of this, greater latitude will be allowed in the application of the adopted standards in the rear of the properties, in order to accommodate the individual preferences of the property owners in the treatment of these backyard areas. No approval will be necessary for changes in lawn, shrubs, walkways or semi-permanent surface changes in the rear of houses. Staff approval would be required for semi-permanent structures such as gazebos, but not for play equipment such as swing sets, sand-boxes, etc.

Required

Plants, trees, fencing, walkways, private yard lights, signs (house numbers) and benches which reflect the properties' history and development shall be retained.

Recommended

New site work should be based upon actual knowledge of the past appearance of the property found in photographs, drawings and newspapers. New site work should be appropriate to existing surrounding site elements in scale, type and appearance. Accessory structures such as decks, gazebos, fountains, or small outbuildings should be appropriate to surrounding site elements in scale, type and appearance. Plant materials in close proximity to the buildings and which are causing deterioration to the building's historic fabric should be removed and replaced by more suitable flora as approved by the Historic Preservation Commission.

Prohibited

No changes may be made to the appearance of the site by removing trees, fencing, walkways, outbuildings or other site elements before evaluating their importance to the property's history and development. Front yard areas shall not be transformed into parking lots nor paved nor blacktopped. *Front yard areas shall not be fenced, or fences shall not extend forward beyond the setback line of the property.* Telephone or utility poles with high intensity overhead lights should be installed so that they cannot be seen from the thoroughfare. The installation of unsightly, large devices such as television satellite dishes shall not be permitted in areas where they can be viewed from the public thoroughfare.

II. EXISTING STRUCTURES

A. BUILDING MATERIALS

Original exterior wall materials in the District include brick, stucco, clapboard, wood shingles and masonry block. *In some instances, vinyl or aluminum siding has been applied over the original material.*

Required

Original exterior building materials shall be retained. Deterioration of wood materials shall be prevented through repair, cleaning and painting. *The existing architectural detail around windows, porches, doors and eaves should be retained or replaced by replicas of the same design and materials when deteriorated beyond repair. Masonry including brick and stucco shall be cleaned only when necessary to halt deterioration or to remove stains, and shall be done with a method acceptable for the preservation of the surface: i.e. low pressure water and soft natural bristle brushes.* When repairing stucco, only appropriate stucco mixture shall be used.

Recommended

Whenever possible, the original building materials should be restored. Metal or vinyl may be used as an alternative to maintaining or replacing the original surface material when it resembles the original surface material. When used over wood surfaces, this siding should be the same size and style as the original wood. Every effort should be made to retain the original trim around windows, doors, cornices, gables, eaves and other architectural features. Ample ventilation must be afforded the structure when aluminum or vinyl is to be installed in order to prevent increased deterioration of the structure from moisture and/or insects. Mortar joints should be repointed only when there is evidence of moisture problems or when sufficient mortar is missing to allow water to stand in the mortar joint. Existing mortar shall be duplicated in composition, color, texture, joint size, method of application and joint profile.

Prohibited

Wood siding shall not be resurfaced with material such as artificial stone, brick veneer, asbestos or asphalt shingles, which is inappropriate or was unavailable when the building was constructed. Sandblasting or the use of harsh detergents shall not be used on masonry or stucco. This method of cleaning erodes the surface material and accelerates deterioration.

Not Recommended

Waterproof or water repellent coatings or surface consolidation treatments should not be used on masonry surfaces unless required to solve a specific problem that has been studied and identified. Coatings are frequently unnecessary and expensive, and can accelerate deterioration of the masonry. *Mortar joints which do not need repointing should not be. Repointing should not be done with mortar of high Portland cement content, which can often create a bond that is stronger than the building materials. This can cause deterioration as a result of the differing porosity of the material and the mortar – the end result being serious damage to adjacent brick.* Paint should not be removed from masonry surfaces indiscriminately.

C. WINDOWS AND DOORS

Window and door frames are in most cases wood. Brick structures have stone sills and brick lintels. *In some cases where synthetic siding has been applied, window trim has been covered.* Many structures in the district have aluminum storm windows. Some houses retain wood framed storm windows.

Required

Original windows and doors including sash, lintels, sills, shutters, decorative glass, pediments, hoods and hardware shall be retained or when deteriorated beyond repair, replaced with units and trim resembling the original.

Recommended

Wood frame storm windows and doors, painted to match the original, should be used but should not damage existing frames. *If new sash and doors are used, the existing or original materials, design, and hardware should be used.* When metal storm doors are used, they should be painted, anodized or coated to match the existing. When awnings are used they should be of canvas material.

Prohibited

Original doors, windows, and hardware shall not be discarded when they can be restored and re-used in place. New window and door openings which would alter the scale and proportion of the building should not be introduced. Inappropriate new window and door

features, such as aluminum and insulating glass combinations that require removal of the original windows and doors, shall not be installed.

Not Recommended

Awnings, hoods or fake shutters made of metal, vinyl or fiberglass should not be used if they would detract from the existing character or appearance of the building.

D. ENTRANCES PORCHES AND STEPS

Most houses in the district have either an open or a closed porch across the front. Most porches have either gabled, hipped, shed or flat roofs. Many frame porch floors and steps have been replaced with concrete.

REQUIRED

Existing or original porches and steps, including handrails, balusters, columns, brackets, tiles and roof decorations, shall be retained, or replaced with replicas of the same design and materials when deteriorated beyond repair. Porches and additions reflecting later architectural styles, and which are important to the building's historical integrity, shall be retained.

Recommended

When enclosing porches for heat conservation or for other reasons, it should be done in a manner that does not alter the architectural or historical character of the building.

Prohibited

Front porches and steps that are important to the building's style and character shall not be altered or removed.

Not Recommended

Original porch details should not be replaced with materials representing a different period or style from the original.

STAFF RECOMMENDATION: Staff recommends approval.

Written by
Elicia Feasel
Historic Preservation Administrator



NORTH (FRONT)



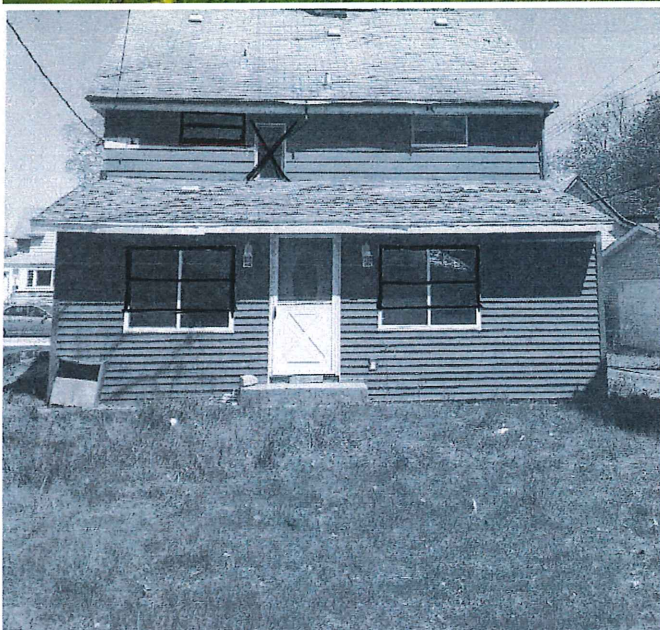
EAST



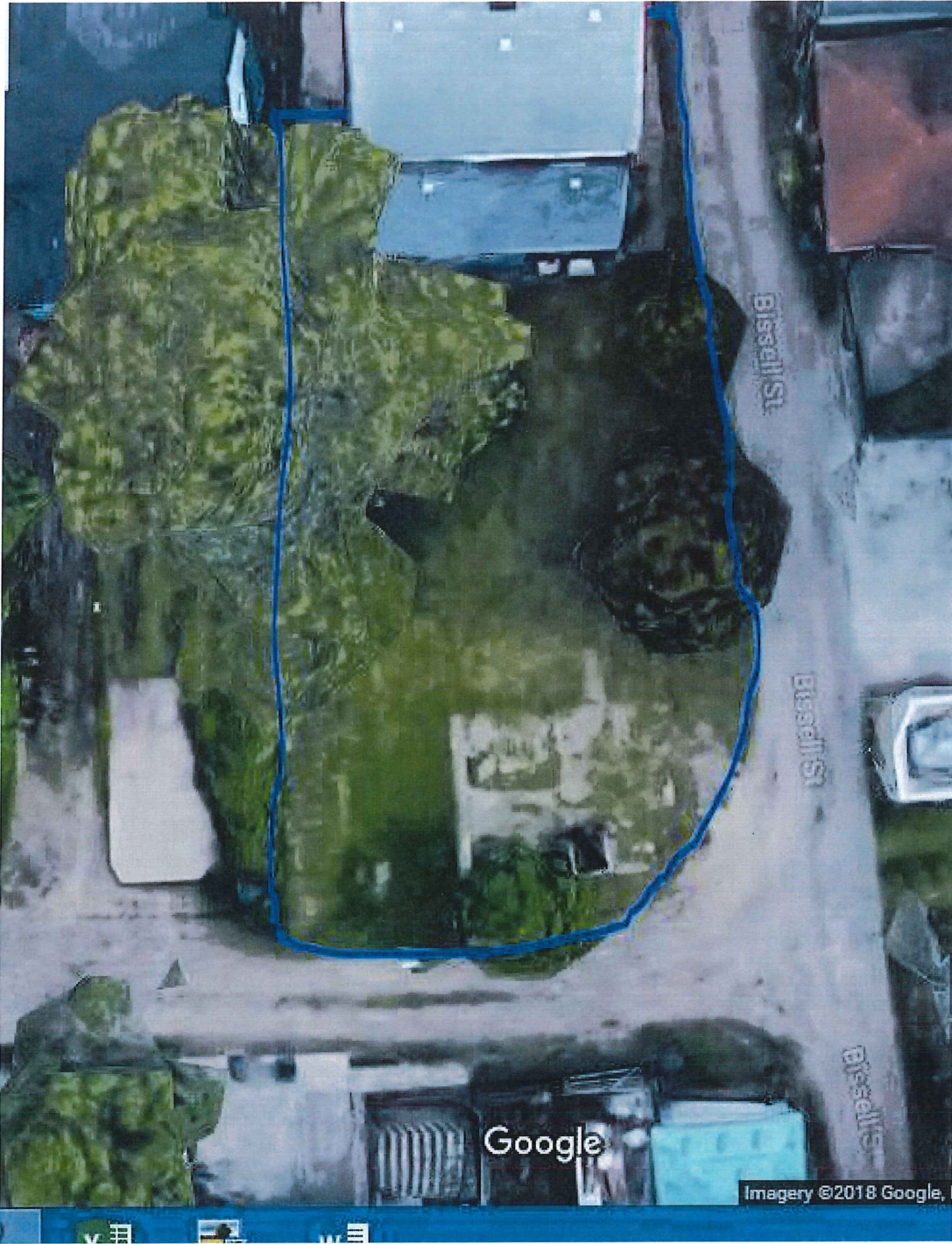
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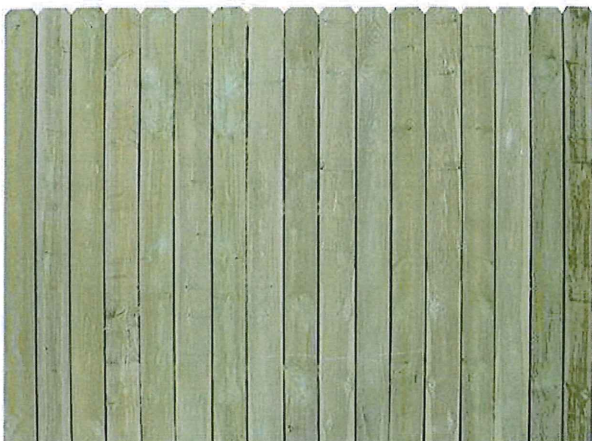
SOUTH (REAR) EXISTING



SOUTH (REAR) PROPOSED



FENCE SITE PLAN



FENCE STYLE





May 7, 2018 MA #20
REC#192976



HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

County—City Building, South Bend, IN 46601
http://www.southbendin.gov/government/department/community-investment
Phone: 574/235.9371 Fax: 574/235.9021
Email: hpcsbjcs@southbendin.gov

Timothy S. Kluszcynski, President

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation
Administrator

APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS

OFFICE USE ONLY>>>>>>DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX<<<<<<OFFICE USE ONLY

Date Received: 7 May 18 Application Number: 2018 — 0507D

Past Reviews: YES (Date of Last Review) 2018-0504RME NO

Staff Approval authorized by: _____ Title: _____

Historic Preservation Commission Review Date: May 22

Local Landmark Local Historic District (Name) River Bend
 National Landmark National Register District (Name) _____

Certificate Of Appropriateness: Denied Tabled Sent To Committee Approved and issued: _____

Address of Property for proposed work: 226 Hammond Place South Bend IN 46601
(Street Number—Street Name—City—Zip)

Name of Property Owner(s): Realmad Holdings & Investments, LLC Phone #: 5742503730

Address of Property Owner(s): 13866 Vance Lane Manitowish Waters WI 54545
(Street Number—Street Name—City—Zip)

Name of Contractor(s): _____ Phone #: _____

Contractor Company Name: _____

Address of Contractor Company: _____
(Street Number—Street Name—City—Zip)

Current Use of Building: Single Family
(Single Family—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)

Type of Building Construction: Wood Frame
(Wood Frame—Brick—Stone—Steel—Concrete—Other)

Proposed Work: (more than one box may be checked) Landscape New Replacement (not in-kind) Demolition

Description of Proposed Work: Please see attached proposal

Owner e-mail: kevinbierly7@gmail.com and/or Contractor e-mail: _____

X Jeff Dietz and/or X _____
Signature of Owner Signature of Contractor

Proposal for changes to exterior of property located at 226 Hammond Place, South Bend, IN 46601:

Part A: We would like to replace the all windows at the property with a vinyl single hung Jeld-Wen Product. We feel that this is keeping with character of neighborhood as there are > ten houses within a block radius that currently have vinyl windows. Some of these are on riverside drive. We would also like to remove the window in the bathroom on the second story. This is a rear facing window. This window is also below the roof line of the addition on the rear of the house and causes moisture problems which have led to mold growth on the ceiling drywall in the kitchen. We propose to replace this window by adding a window in the bedroom to the west of the bathroom. Additionally we would like to change the size of the windows on the main floor, at rear of house. We will reduce the height of these windows by 25%. These windows are not original due to this being an addition to the original structure. This will allow us to install countertops along the wall under the windows. As of now this isn't possible.

Part B: We would like to replace the siding on the exterior of house with a vinyl double 4" product. We feel that this is keeping with character of neighborhood as there are > ten houses within a block radius that currently have vinyl siding. Furthermore, 1/3 of exterior currently has vinyl siding. We would like to install trim as it is currently nonexistent. We will be trimming out windows and door with wood trim.

Part C: We would like to install a wooden 6ft dog ear privacy fence along side and rear of property, not to surpass front wall of house.

Part D: We would like to restore the porch ceiling to wood in place of the metal sheeting there now. Also we would like to tuck point and power wash brick.

Part E: Replace entry doors with in-kind material



JELD-WEN® Good Series 36" W x 60" H Vinyl Single Hung Window - White/White

\$139.00

Add to Cart



Model Number:
JW1438-00952

Menards® SKU:
4040526

Variation: White
Exterior/White Interior

Description & Documents

JELD-WEN® vinyl windows are made to be durable, energy efficient, and low-maintenance. With features like a steel-reinforced frame and insulated glass, JELD-WEN® vinyl windows are suitable for any architectural style or design. Backed by a Lifetime Limited Warranty, they're just as reliable as they are attractive!

- Vinyl construction allows for low maintenance
- Steel-reinforced sash for long-lasting strength
- Bottom sash tilts in for easy cleaning
- Built-in nailing flange for complete installation and a tight seal
- Low-E glass with Argon reduces energy costs, interior condensation, and protects against harmful UV rays

Dimensions: Fits Rough Opening Size 36" W x 60" H

Brand Name: JELD-WEN



[Installation Instructions](#)

To read PDF files, you need the Adobe Acrobat Reader 6.0 or higher. If you don't have it, [click here](#) and download it for free from Adobe's site.

Specifications

Mounting Method: With Nailing Flange (New Construction)

Product Type: Single Hung

Collection: Good Series

Material: Vinyl

Rough Opening Dimensions: 36" W x 60" H

Frame Width: 35-1/2 inches

Frame Height: 59-1/2 inches

Frame Depth: 2-29/32 inches

Hardware Finish: White

Hardware Type: Cam-Lock and Self-Adjusting Balance

Interior Color: White

Exterior Color: White

Screen Color: Gray

Screen Material: Fiberglass Mesh

Grid Pattern: No Grid Pattern

Glazing Type: Double Pane

Special Features: Tilt Latch, Screen, Low-E

Energy Star Zones: Not Energy Star Certified

Solar Heat Gain Coefficient: 0.55

Meets IRC for Egress: Yes

Air Leakage (AL) Rating: 0.1 CFM

U-Value: 0.31

Visible Light VT Rating: 0.66

Listing Agency Standards: UL, AAMA, NFRC

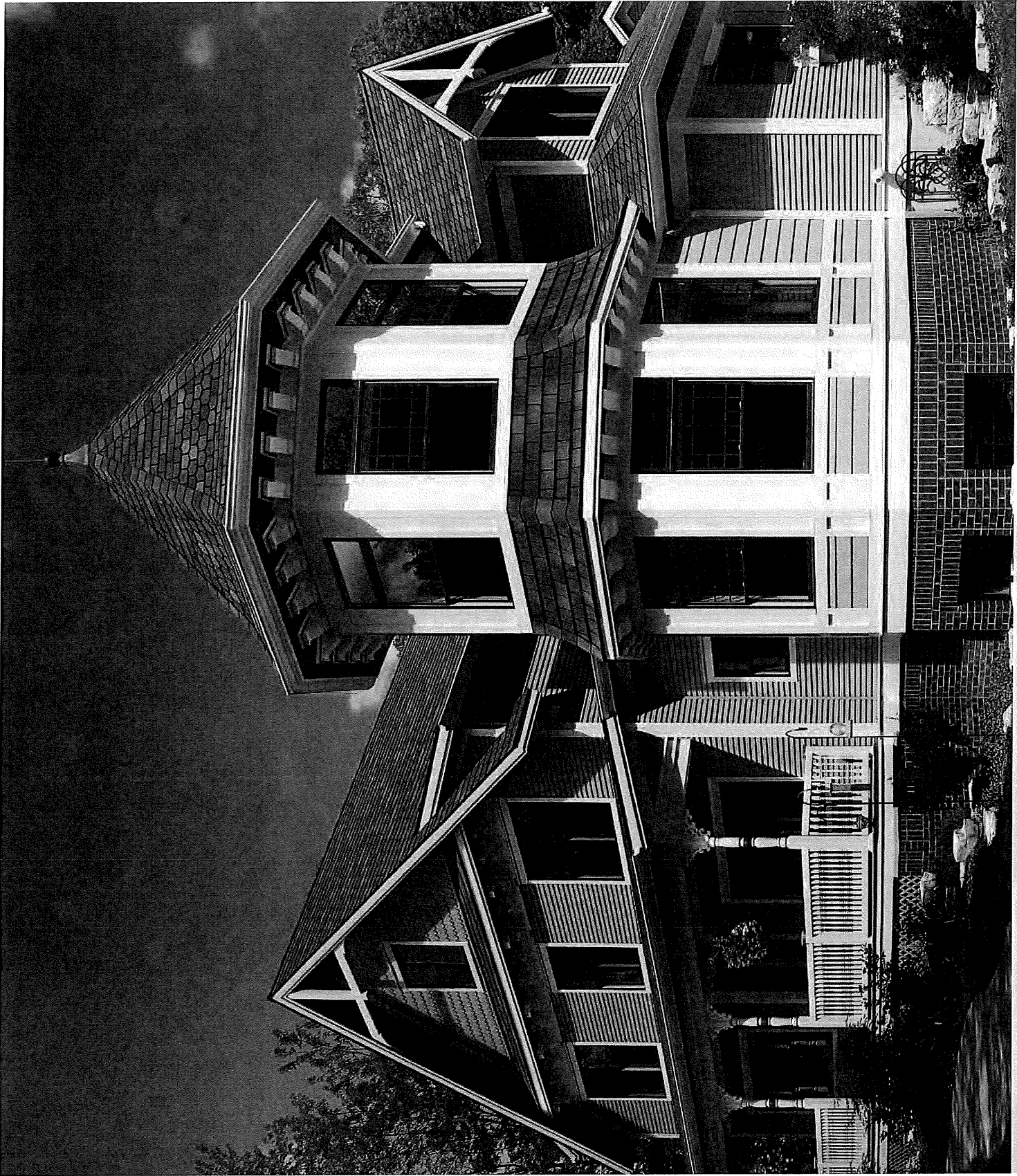
Manufacturer Warranty: Lifetime Limited, Skilled Labor Coverage - 2 years

Guests Who Viewed This Item Also Viewed These



CARVEDWOOD·44®

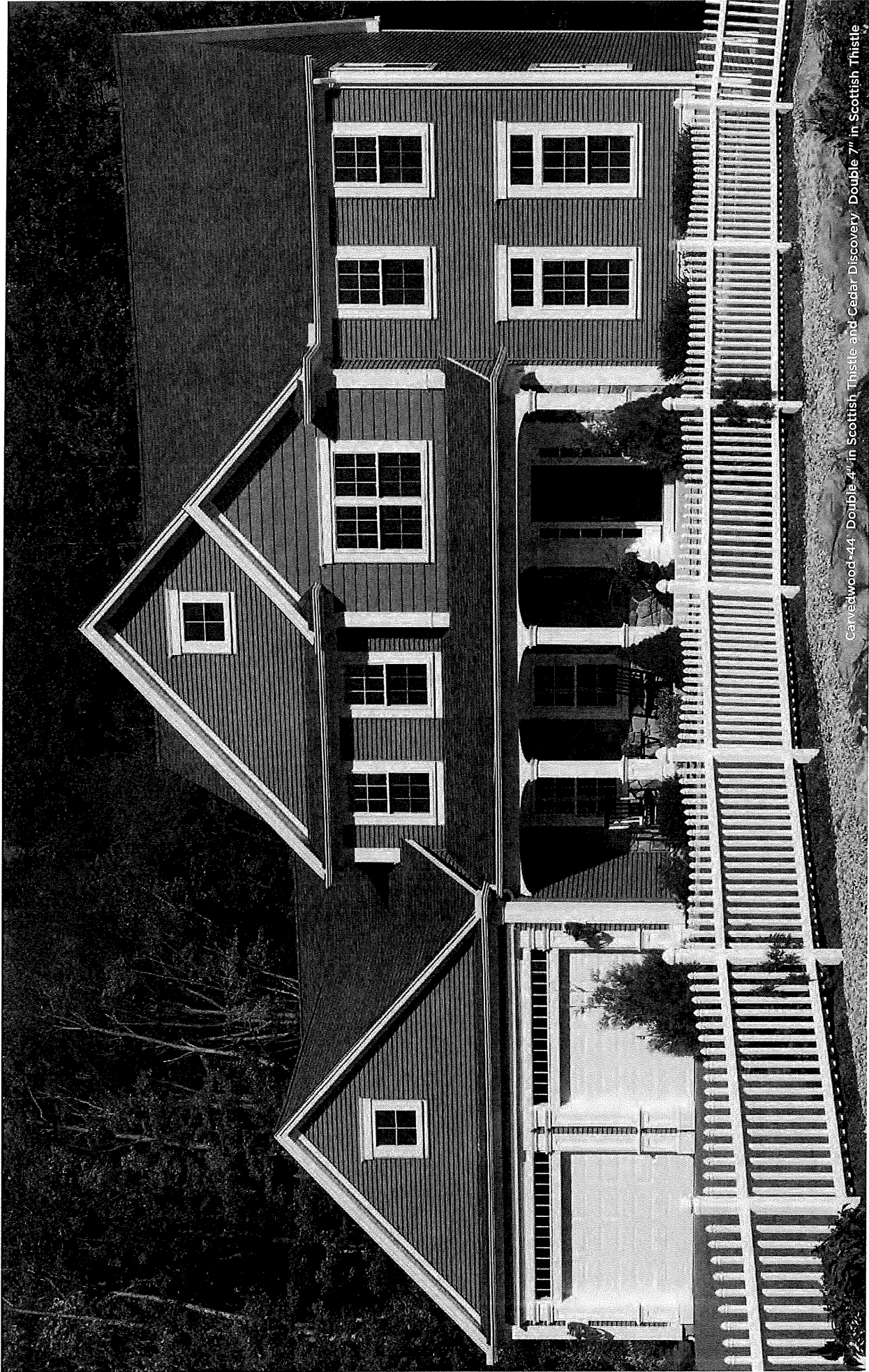
MASTIC
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THE PLY GEM PROMISE: Mastic products are backed by Ply Gem — a 70-year leader in pioneering performance home exteriors, with a superior warranty for exactly the home you want for decades to come.



PLY GEM®

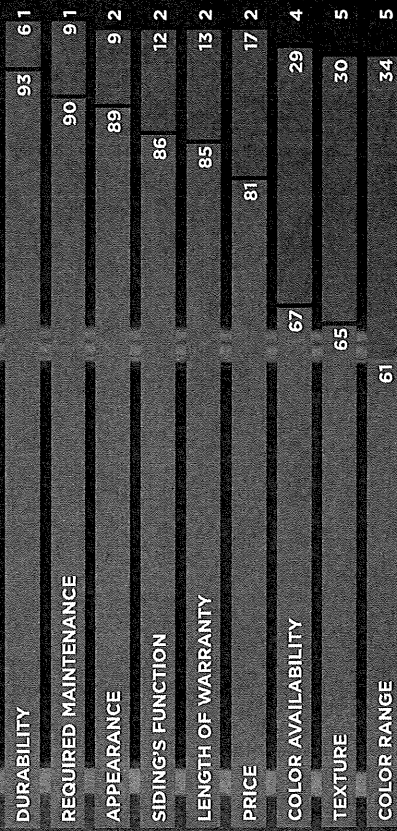


Carvedwood•44 Double 4" in Scottish Thistle and Cedar Discovery Double 7" in Scottish Thistle

No paint. No stain. No hassles. Carvedwood•44[®] delivers strength, durability, the beauty of real wood — and endless design options. With 26 colors, five distinct profiles and two attractive finishes — smooth and woodgrain — Carvedwood•44[®] is the ideal choice in a virtually maintenance-free home exterior.

VINYL SIDING GIVES HOMEOWNERS WHAT THEY WANT.

■ IMPORTANT ■ NEUTRAL ■ NOT IMPORTANT (%)
 (Independent study conducted by Vernon Research Group, 2005)



Is it any wonder that vinyl siding is chosen more than any other exterior cladding in the U.S. and Canada?¹

¹www.vinylsiding.org
 December 14, 2009

Carvedwood•44® Delivers.

DURABILITY. If you're looking for siding that is durable and low maintenance, and looks beautiful, Carvedwood•44® siding is the ideal choice. Carvedwood•44® will enhance your home's appearance today — and for years to come.

NO PAINT, NO STAIN, NO HASSLES. Carvedwood•44®, a premium panel, never needs paint or stain. Unlike real wood siding, it won't crack, peel, flake or rot. Revolutionary technologies like Mastic's exclusive Hang-Tough™ Technology and Duranyl 5000® Protection System maximize the panel's weatherability and deliver additional protection — and peace of mind — for your investment.

COLOR AND TEXTURE. Featuring two finishes — woodgrain and smooth — Carvedwood•44® is available in a virtually endless palette of colors — 26 base colors from rich, deep hues to light neutrals.

PEACE OF MIND THAT LASTS A LIFETIME. Carvedwood•44® is backed by the Mastic V.I.P. Limited Lifetime Warranty — a real warranty backed by a solid company. Mastic has been a trusted industry leader for more than 50 years. Please see our warranty for complete details.



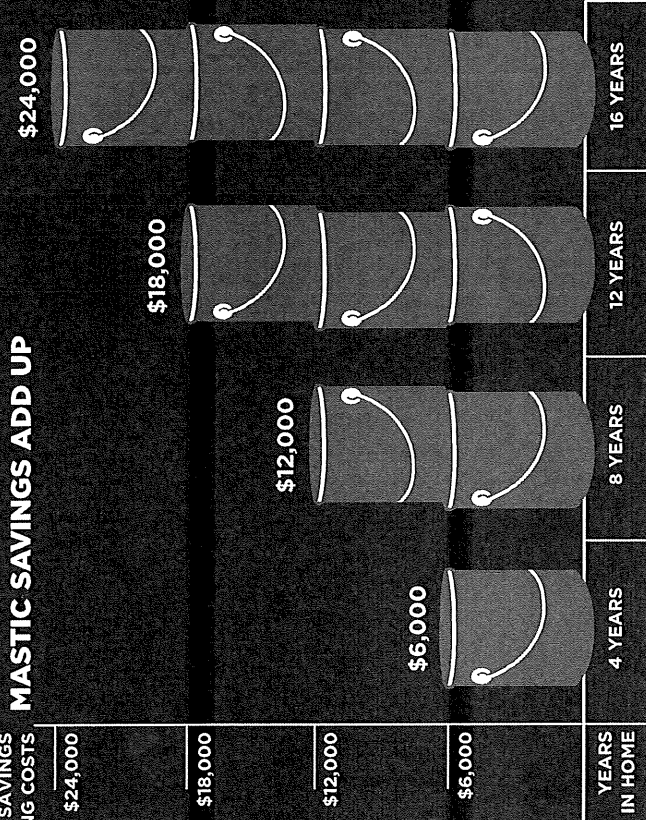
Beauty that lasts. Based on an average-size home, repainting or staining can cost up to \$6,000 every four years. Carvedwood•44® never needs painting, caulking or patching because, unlike wood, it won't crack, peel, rot or split.



NO PAINT. NO STAIN. NO HASSLES.

TYPICAL SAVINGS
IN PAINTING COSTS

MASTIC SAVINGS ADD UP



HANG-TOUGH™ TECHNOLOGY

Exclusive formulation and process boosts durability so panels are more resistant to cracking, impact and thermal distortion. As an added benefit, rich color resides throughout the panel — virtually eliminating the appearance of nicks and minor surface scratches.



DURANYL 5000® PROTECTION SYSTEM

Proprietary technology adds extra UV protection to our deepest, most vivid colors — protects color against harsh elements and maximizes long-term weatherability.



BREATHE EASY

Unlike some fiber cement products, vinyl siding does not produce harmful silica dust — silica dust can cause lung disease.

V.I.P. LIMITED LIFETIME WARRANTY

Premium guarantee of lasting quality and peace of mind — backed by Mastic, a trusted industry leader for 50+ years.

See warranty for complete details.



Test our vinyl. We do. Rigorously. Relentlessly.



OIL CAN TEST Siding panels are placed under heat strips and saturated to 120°-140°F to make sure the siding doesn't warp or buckle.



WEATHERING Color retention (resistance to fading) is tested by subjecting Mastic products to real-time weather conditions and accelerated UV testing. This ensures that Mastic products will hold up in the most extreme environmental conditions.



RIGIDITY Panels are designed and engineered to be more rigid so the siding remains straight on the wall.



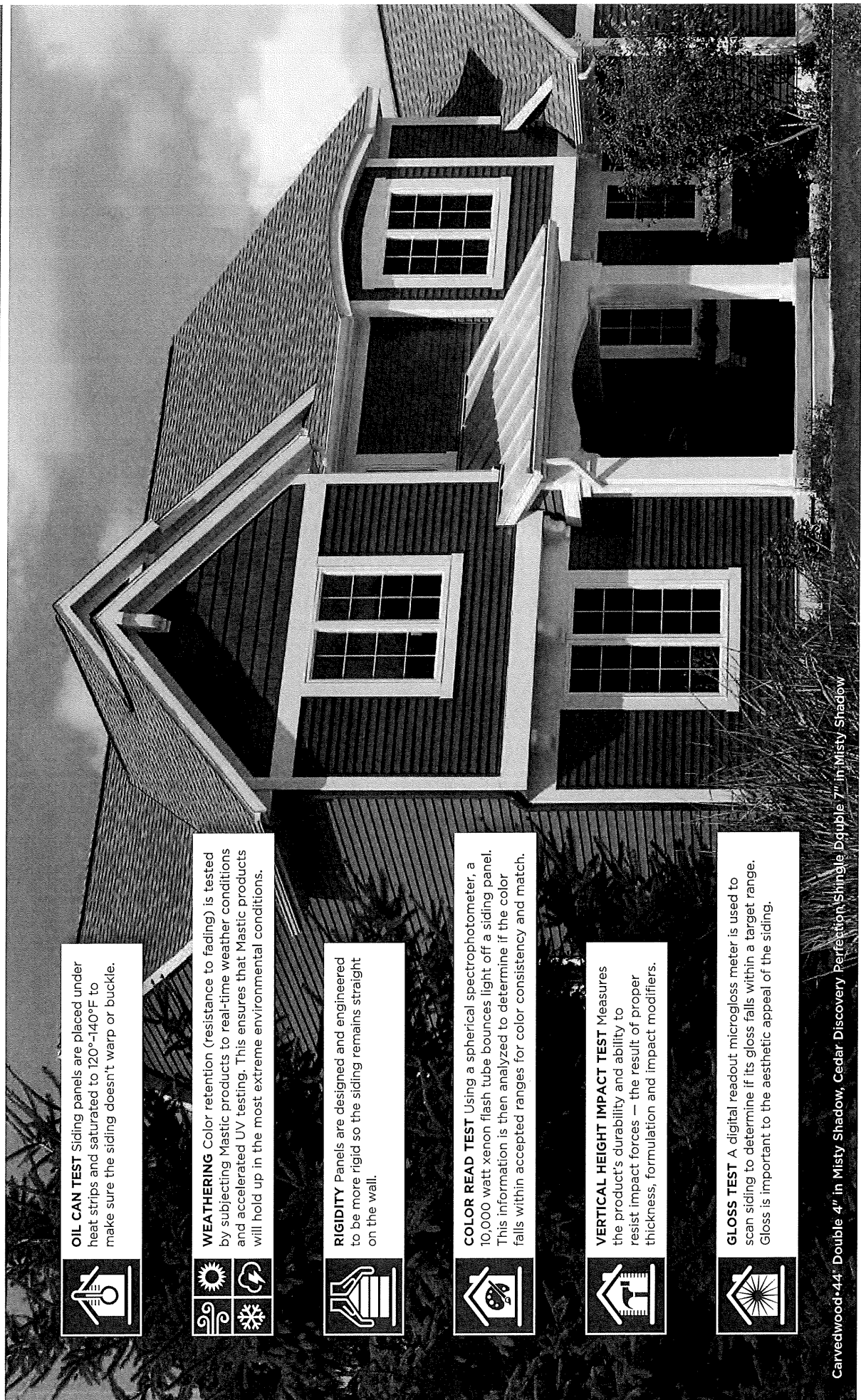
COLOR READ TEST Using a spherical spectrophotometer, a 10,000 watt xenon flash tube bounces light off a siding panel. This information is then analyzed to determine if the color falls within accepted ranges for color consistency and match.



VERTICAL HEIGHT IMPACT TEST Measures the product's durability and ability to resist impact forces — the result of proper thickness, formulation and impact modifiers.



GLOSS TEST A digital readout microgloss meter is used to scan siding to determine if its gloss falls within a target range. Gloss is important to the aesthetic appeal of the siding.













Carvedwood®44: Double 4" in Misty Shadow, Cedar Discovery Perfection Shingle Double 7" in Misty Shadow

Time-tested. Certified. And more.

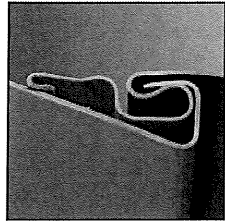


The Vinyl Siding Institute sponsors a certification program that assures the quality of vinyl siding by offering manufacturers the means to independently verify the quality of our products through third-party testing and inspection.

Through this program it was certified that Mastic vinyl siding products meet or exceed the performance standards set forth by ASTM D3679 and the color retention requirements of ASTM D6864/D7251, so you can have confidence our products will perform well, season after season.

ASTM STANDARDS	MASTIC PERFORMANCE
 WITHSTAND THE IMPACT OF RECOMMENDED INSTALLATION PROCEDURES.	 Mastic siding is designed and engineered to withstand impact beyond that required by ASTM D3679.
 STAY ON THE HOUSE IN HEAVY WINDS OF AT LEAST 110 MPH.	 Carvedwood®44* is rated at up to 200 mph.
 LAY STRAIGHT ON A FLAT WALL AND NOT BUCKLE UNDER NORMAL CONDITIONS.	 Our product development team subjects Mastic products to a battery of rigorous tests to ensure superior quality and performance and, in addition to lay-flat design features, some Mastic products are even designed to hide existing imperfections in construction.
 WITHSTAND THE EFFECTS OF NORMAL SEASONAL TEMPERATURE FLUCTUATIONS.	 With our exclusive Duranyl 5000® Protection System and Hang-Tough™ Technology, Mastic products are engineered to persevere in the most extreme conditions.
 MEET MANUFACTURERS' ADVERTISED SPECIFICATIONS FOR LENGTH, WIDTH, GLOSS AND THICKNESS — AND HAVE A MINIMUM THICKNESS OF .035.	 Carvedwood®44* features a premium thickness of .044 — 26% thicker than the minimum requirement.

*Consult the VSI website at www.vinylsiding.org for a current list of certified products and colors.



T-2 LOK®
Locking system delivers a positive locking action with a wider locking mechanism for more contact area.*



ROLLOVER, REINFORCED NAIL HEM
Easier installation — more precise and secure fastening.*



PREMIUM .044 THICKNESS
Superior thickness and impact resistance.



WIND SPEED — RATED UP TO 200 MPH
Mastic's proprietary design and engineering delivers a panel that achieves superior wind resistance.

5/8" PANEL PROJECTION

Enhanced shadow lines replicate the appearance of real wood siding.



DURANYL 5000® PROTECTION SYSTEM
Proprietary technology adds extra UV protection to our deepest, most vivid colors — protects color against harsh elements and maximizes long-term weatherability.



HANG-TOUGH™ TECHNOLOGY

Exclusive formulation and process boosts durability so panels are more resistant to cracking, impact and thermal distortion. As an added benefit, rich color resides throughout the panel — virtually eliminating the appearance of nicks and minor surface scratches.



CLASS 1(A) FIRE RATING



METRO-DADE COUNTY APPROVED



V.I.P. LIMITED LIFETIME WARRANTY

Premium guarantee of lasting quality and peace of mind — backed by Mastic, a trusted industry leader for 50+ years (see warranty for complete details).

THIS PRODUCT HAS BEEN CERTIFIED BY HOME INNOVATION RESEARCH LABS.
This means you can be assured that this product complies with specific green practice criteria in the National Green Building Standard (NGBS). Visit www.HomeInnovation.com/GreenProducts for more details.



Home Innovation
NGBS GREEN CERTIFIED™

RESOURCE EFFICIENCY

*Single 8" panel features a unique, advanced locking system and nail hem.

Yes No

Rebate Center

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Select a store to find current and store-specific pricing, inventory, hours, and deals!

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902 Erskine Plaza
South Bend, IN 46614

Is this your closest store? Yes

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MISHAWAKA
365 West University Drive
Mishawaka, IN 46545

Select

ELKHART
601 E Windsor Avenue
Elkhart, IN 46514

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Shop Departments

Project Center

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Enter SKU, Model # or Keyword



Cart (0)

Home / Paint / Ceilings / Ceilings for the Home

Armstrong® Woodhaven 5" x 84" Beadboard Beveled Ceiling Plank

Model Number: 1149B | Menards® SKU: 5172256 | Variation: White Beadboard

EVERYDAY LOW PRICE

11% MAIL-IN REBATE

Online Price

\$11.86

\$1.30 Valid Until 5/19/18

FINAL PRICE

\$10.56 each

You Save: \$1.30 After Mail-In Rebate

* Rebates are provided in the form of a Menards® Merchandise Credit Check valid towards purchases at any Menards® retail store. Not valid for purchases on MENARDS.COM®. Learn More >

Variation: White Beadboard
*Prices may vary by variation

Select Color

White Beadboard

Description Specifications

Print Share Add to Compare

Quantity selector: - 10 +

Select a Store & Buy

Add to My List

Add to Registry

FREE Ship To Store

Enter Your ZIP Code for store information

Shipping & Delivery

Not Available Online
Contact a store for delivery options

Increments of 10 may be required

View Return Policy

Click image for a larger view. Hover to zoom in.



MADE IN U.S.A. with US & Global Parts

Description & Documents

Add the warmth and beauty of natural-looking wood to your home using Armstrong® WoodHaven™ Ceiling Planks. These planks- made of medium density fiberboard - are easy to handle and can be installed to joists, drywall, plaster, or even 15/16" grid. Painted White planks can also be installed to walls.

- Prefinished, natural wood-grain look means no sanding, staining or sealing
• Great for covering damaged drywall, plaster or popcorn ceilings
• Beveled tongue and groove edge minimizes the appearance of gaps during normal expansion and contraction
• Update the look of your ceiling without losing ceiling height
• Three different installation options are available (see installation instructions for details)
• Cover up existing 15/16" grid with WoodHaven Planks and Armstrong® Easy Up® clips (item #1191SC, sold separately)
• Backed by a 10 year limited warranty
• 10 planks per carton covers 29 square foot (must buy in quantities of 10)
• ***Pricing reflects a single tile

Dimensions: 5" x 84" x 3/8"

Brand Name: Armstrong



Select Your Store

Help Center Services Credit Center Gift Cards

Select a store to find current and store-specific pricing, inventory, hours, and deals!

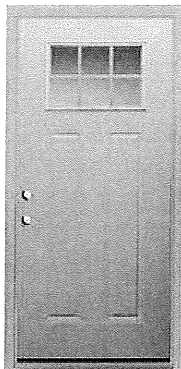
SOUTH BEND 902 Erskine Plaza South Bend, IN 46614 Is this your closest store? <input type="button" value="Yes"/>	If this is not, please enter your zip code: <input type="text"/> <input type="button" value="Find"/>	MISHAWAKA 365 West University Drive Mishawaka, IN 46545 <input type="button" value="Select"/>	ELKHART 601 E Windsor Avenue Elkhart, IN 46514 <input type="button" value="Select"/>
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Shop Departments Project Center Search All Enter SKU, Model # or Keyword

Home / Doors, Windows & Millwork / Exterior Doors / Front Doors

Mastercraft® Craftsman E-214 Embossed 36" W x 80" H Primed Steel 6-Lite Prehung Exterior Door with External Grilles - Right Inswing

Model Number: 4140112 | Menards® SKU: 4140112 | Variation: Primed White Steel & External Grille Lite - Right Inswing



Click image for a larger view. Hover to zoom in.



Watch Video

EVERYDAY LOW PRICE
11% MAIL-IN REBATE

Online Price **\$237.50**
\$26.12 Valid Until 5/19/18

FINAL PRICE \$211³⁸ each

You Save: \$26.12 After Mail-In Rebate

* Rebates are provided in the form of a Menards® Merchandise Credit Check valid towards purchases at any Menards® retail store. Not valid for purchases on MENARDS.COM®. Learn More >



Variation: Primed White Steel & External Grille Lite - Right Inswing
*Prices may vary by variation

Select Door Swing

Right Hand ▾

40 People have purchased this product in the past 30 days

Description ▾ | Specifications ▾

Add to Compare

FREE Ship To Store

Enter Your ZIP Code for store information

Shipping

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Description & Documents

Add beauty and quality to your entryway with this uniquely-designed, two-panel, six-lite steel door from Mastercraft®'s Embossed Collection. The Embossed Collection features a wide variety of door styles, and this model's energy-saving core and high-performance weatherstripping stands up to even the most extreme temperatures. This door has a right inswing, which means the knob is on the right side when you pull the door toward you.

- Right inswing
- 24-gauge steel primed white and ready to paint
- Prehung with 4-9/16" primed wood frame and high-performance weather-strip
- 3 hinges
- Inswing aluminum adjustable no-rot sill
- Prebored with 2-3/4" backset for easy handle installation (handleset purchased separately)
- 1" thick, insulated glass measuring 22" x 14" with external, white, 6-lite grille
- Double bored and prepped for deadbolt (deadbolt purchased separately)
- 1-3/4" thick, energy-saving, insulating foam core for added energy savings, security, and reducing sound transfer
- Nominal size of 36" W x 80" H with right inswing



Dimensions: Rough Opening: 38-1/4" W x 82" H and Brick Opening: 40" W x 82-3/4" H

Brand Name: Mastercraft

MASTERCRAFT



[Installation Instructions](#)

To read PDF files, you need the Adobe Acrobat Reader 6.0 or higher. If you don't have it, [click here](#) and download it for free from Adobe's site.

Find more information about this product on the Manufacturer's website

Specifications

Color/Finish: Primed White	Deadbolt Bore: Yes
Door Construction: Primed Steel	Door Style: 6-Lite
Door Swing: Right	Door Thickness: 1-3/4 inch
Frame Material: Primed Wood	Frame Width: 4-9/16 inch
Glass Caming Finish: White	Glass Style: Clear
Hinge Finish: Satin Nickel	Includes: Hinges, Sill, Frame, Preassembled Door Slab, Brickmould
Lockset Bore: Yes	Lockset/Deadbolt Backset Dimension: 2-3/4 inch
Manufacturer Warranty: Limited Lifetime	Nominal Door Height: 80 inch
Nominal Door Width: 36 inch	Obscurity Rating: 1
Rough Opening Height: 82 inch	Rough Opening Width: 38-1/4 inch
Sill Finish: Aluminum	Sill Type: Adjusting
Solar Heat Gain Coefficient: 0.18	U-Value: 0.23
Air Leakage (AL) Rating: 0.3	

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Hillman™ Distinctions 4" Black Flush Mount Address Number

\$3.55

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\$168.21

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Mastercraft® Primed Steel External Grille 3-Lite Door Only

\$143.56

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Mastercraft® Dark Oak Prefinished 3-Panel Mission Steel External Grille Prehung

\$381.81

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