

# Article 21-08: Building Standards

## Sections

Section 21-08.01: Building Standards . . . . .	8-1
Section 21-08.02: Building Types . . . . .	8-7
Section 21-08.03: Building Frontage Types . . . . .	8-17

## Section 21-08.01: Building Standards

### (a) Intent

This section includes regulations that reinforce the scale and design of buildings that are unique to South Bend and are intended to improve the physical quality of buildings that contribute to the overall character of the City, emphasizing the importance of how buildings relate to the public street.

### (b) Applicability

Within the City of South Bend, all new developments and all additions to existing development shall comply with the standards of this section, except:

- (1) Detached ancillary dwelling units; and
- (2) Accessory structures.

### (c) Building Design

- (1) All primary buildings shall be designed to be permanently erected on a permanent foundation and connected to all required utilities.
- (2) Primary facades shall be oriented to a front lot line. Building designs that orient main entrances so that they are not visible from the primary street are prohibited. Any entrance on a side facade shall be visible from the street or clearly identified using architectural features, awnings/canopies, or lighting. The Zoning Administrator may waive this requirement for buildings oriented to a common open space.
- (3) Buildings shall provide windows and doors on facades facing primary and secondary streets that meet the transparency requirements of the applicable zoning district. Building designs that create blank wall conditions facing primary or secondary streets are prohibited.

- (4) In a U3, UF, NC, or DT district, when fronting and within 50 feet of a public street, any parking structure or podium building having a ground-floor parking lot shall have at least 75 percent of the linear width of the ground floor front and corner facades be comprised of occupied liner spaces at least 15 feet deep. The measurement shall be made from building corner to building corner and exclude pedestrian and vehicular entries. The liner spaces may include permitted uses, such as retail areas, dwellings, leasing offices, or fitness centers.

### (d) Building Materials for Existing Buildings - Front and Corner Facades

Renovations and restorations of older buildings shall respect the original building design, including structure, use of materials, and details. The following requirements apply to all exterior renovations and major additions of residential buildings with 5 or more units and non-residential buildings in all zoning districts.

- (1) Exterior renovations, major additions, renovations of residential buildings with 4 or fewer units, and accessory buildings are encouraged to comply with the provisions of [Section 21-08.01\(e\)](#), however, at a minimum they shall utilize building materials that are compatible and harmonious with the materials used on the existing building.
- (2) To the extent possible, new materials or signs shall not cover original materials and detailing.
- (3) Natural materials (brick, slate, glass, stone, etc.) shall be retained and not covered with any other materials.

### (e) Building Materials for New Construction - Front and Corner Facades

The following regulations shall apply to all front and

corner facades of residential buildings with 5 or more units and non-residential buildings in all zoning districts.

- (1) Building materials used on the front and corner facades shall extend a minimum depth of 16 inches along the side facade, measured from the face of the front or corner facade.
- (2) Exterior insulation and finish system (E.I.F.S.) is not permitted on the ground floor except as trim. In a C or I district, however, E.I.F.S. may constitute a maximum of 66 percent of the ground floor facade.
- (3) Standard, fluted, or split face concrete masonry units (CMUs) above the basement level are prohibited as face material. Glazed or heavily polished CMUs are allowed.
- (4) Unfinished metal, plywood, and unfinished precast or poured-in-place concrete are prohibited.
- (5) Commercial-grade/scale products are prohibited on any residential building facade.
- (6) Windows and doors on a ground floor front or corner facade shall have clear, transparent glass that has a minimum Visible Light Transmittance (VLT) of 50 percent and a maximum Visible Light Reflectance (VLR) of 25 percent as indicated by the glass manufacturer.
- (7) Roofs on residential buildings shall be clad in cedar wood shake, fiberglass shingles, asphalt shingles, slate shingles, clay tile, prefinished pre-stamped metal shingles, prefinished metal standing seam, or other recognized roofing material. Sheet or roll-type roofing is prohibited on sloped roofing.
- (8) In a NC or DT district, the following additional regulations apply.
  - (A) Vinyl siding is prohibited.
  - (B) Security devices such as coiling shutters and accordion gates are prohibited on front or corner side facades, except where such devices are at least 50 percent transparent and located wholly behind a window or door, when viewed from the public right-of-way or open space.
  - (C) Vents, air conditioners, and other utility elements, except where such elements are

enclosed, camouflaged, screened, obscured, or otherwise not visible from the street, are prohibited as part of a front or corner facade.

- (9) In a NC or DT district, all primary buildings shall comply with the following architectural regulations in order to create variation and interest in the built environment:
  - (A) A minimum of 66 percent of each front or corner facade shall be constructed of the following primary building materials:
    - i. High quality, durable, natural materials, such as brick or stone; wood lap siding; lapped, shingled, or panel fiber cement board siding; and glass.
    - ii. Other high quality synthetic materials such as synthetic equivalents of brick or stone, architectural precast concrete that looks like brick or stone; or traditional lime-based stucco may be approved by the Zoning Administrator.
  - (B) Each applicable facade shall include at least two architectural elements (e.g., quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, etc.).
- (10) In a C district, a minimum of 66 percent of each front or corner facade of all primary buildings shall be constructed of the following building materials:
  - (A) High quality, durable, natural materials, such as brick or stone; wood lap siding; lapped, shingled, or panel fiber cement board siding; and glass.
  - (B) Other high quality synthetic materials such as synthetic equivalents of brick or stone, architectural precast concrete that looks like brick or stone; or traditional lime-based stucco may be approved by the Zoning Administrator.
  - (C) Exterior insulation and finish system (E.I.F.S.).

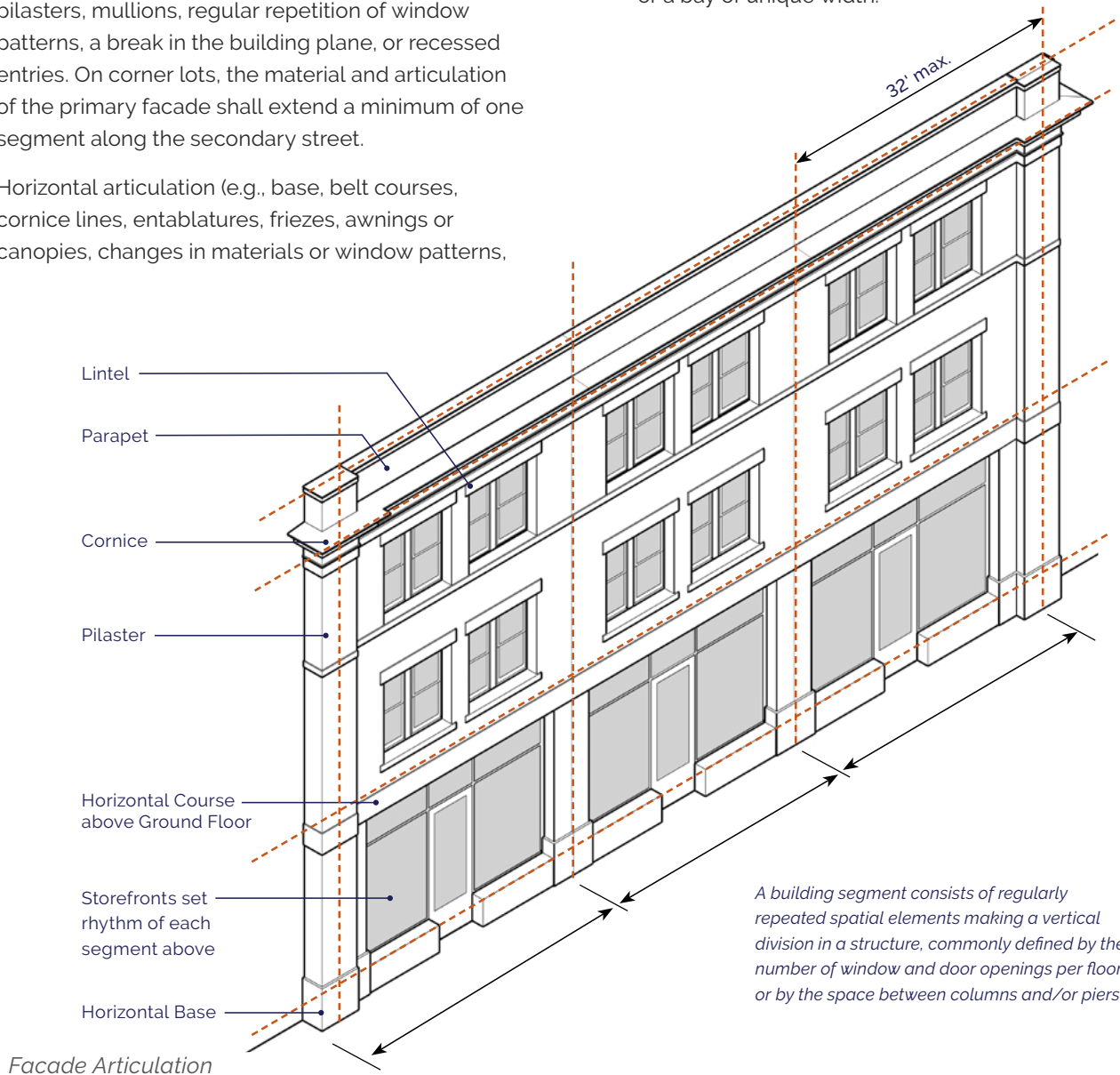
**(f) Facade Articulation - NC or DT District**

In a NC or DT district, these regulations are intended to encourage walkable environments by creating visually interesting buildings with human scaled details and proportions. The following regulations apply to any building greater than 50 feet wide.

- (1) A facade shall be organized using a consistent rhythm and pattern of windows, building articulation, or other architectural features. Facades shall be organized into building segments that consist of regularly repeated spatial elements making a vertical division in a structure, commonly defined by the number of window and door openings per floor or by the space between columns and/or piers.
- (2) Vertical articulation is required to visually break up the massing of the front and corner facades into building segments no greater than 32 feet in width. Vertical articulation may be satisfied through the use of architectural features such as bays, columns, pilasters, mullions, regular repetition of window patterns, a break in the building plane, or recessed entries. On corner lots, the material and articulation of the primary facade shall extend a minimum of one segment along the secondary street.
- (3) Horizontal articulation (e.g., base, belt courses, cornice lines, entablatures, friezes, awnings or canopies, changes in materials or window patterns,

recessed entries, or other architectural treatments) is required to help distinguish the ground floor or podium from upper stories.

- (4) Variation in color shall not be used to meet the required articulation.
- (5) A main entrance shall effectively address the adjacent public realm and be given prominence on the building facade. This may be satisfied through the use of architectural features such as entranceway roofs or recesses; a chamfered corner; sidelight windows, transom window, or other adjacent windows; additional mouldings with expression lines; or a bay of unique width.



**(g) Building Components**

Building components are smaller building features that are attached to the primary building mass. Building components provide architectural articulation and/or additional usable space. The following sections include definitions of typical building components and any additional regulations that may apply.

**(1) Architectural Features.** Includes sills, belt courses, eaves, cornices, roof overhangs, chimneys, or other ornamental elements attached to or laterally supported by a building.

- (A) Architectural features may encroach a maximum of 3 feet into any minimum required setback but shall be located at least 18 inches from a lot line.
- (B) Architectural features may extend up to 3 feet into a right-of-way with the permission of the Board of Public Works.

**(2) Awning or Canopy.** A wall-mounted, roof-like cover, often of fabric, metal, fiberglass, or glass providing protection from the weather or decorative embellishment over a window, door, sidewalk, walkway or the like.

- (A) An awning or canopy may encroach a maximum of 8 feet into a minimum required front or corner setback.
- (B) With the permission of the Board of Public Works, an awning or canopy may extend into a right-of-way to within 18 inches of a curb.
- (C) An awning shall be securely attached to and supported by the building. A canopy shall be attached to the building but may also be supported by posts.
- (D) An awning or canopy shall match the approximate width of the windows or doors to which the awning or canopy is attached or covering.
- (E) The bottom edge of the awning or canopy shall have a minimum clear height over a sidewalk or walkway of 8 feet.
- (F) An awning shall be made of a durable, weather resistant material, such as cloth, canvas,

canvas-like material, acrylic fabrics, nylon, or metal. Awnings shall not be made of vinyl.

- (G) Open-ended awnings and operable awnings are encouraged. Rounded and hooped awnings are discouraged.
- (H) Awnings shall not be internally or back lit.
- (I) An awning or canopy used as a building sign is subject to the additional requirements of [Section 21-10](#).

**(3) Balcony.** A platform with a railing that may project or be recessed within a building facade located above the first story.

- (A) Balconies shall be a minimum of 5 feet deep and 6 feet wide, excluding false or juliet balconies that are less than 16 inches deep.
- (B) A balcony may encroach a maximum of 5 feet into a minimum required front, corner, or rear setback.
- (C) With the permission of the Board of Public Works, a balcony may extend into a right-of-way.

**(4) Bay Window.** A bay window extends outward from a building to increase light, views, and articulation of a facade.

- (A) A bay less than 10 feet in width may encroach a maximum of 3 feet into any minimum required setback but shall be located at least 18 inches from a lot line.

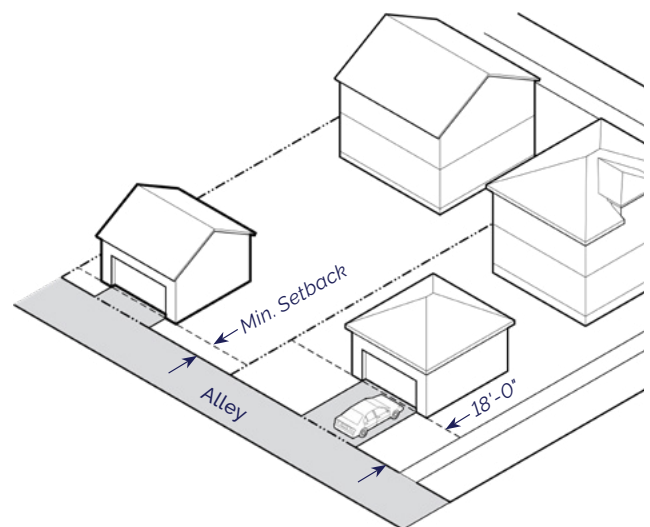
**(5) Building Entrance.** A point of ingress and egress for pedestrians into a building, upper story use, or first floor tenant space.

**(6) Building Frontage Type.** Building frontage types are located at the main building entrance and provide an interface or transition between the private realm (building interiors) and the public realm (sidewalks and civic spaces).

- (A) See [Section 21-08.03](#) for all frontage type regulations.
- (B) Multiple frontage types may exist for buildings that have more than one main entrance.

- (7) **Deck.** A roofless, ground-supported, and unenclosed platform, usually constructed of wood, of which any permanent horizontal area(s) of the platform is raised above grade level and is designed and intended for the recreational enjoyment of the occupant(s) and guest(s) of the primary structure or use.
  - (A) Any deck over 30 inches above grade shall comply with all minimum required setbacks for the applicable district.
  - (B) A deck less than 30 inches above grade, inclusive of any railing, may be located within any minimum required setback but shall not encroach more than 8 feet into the minimum front setback.
- (8) **Fire Escapes, Exterior.** An emergency exit mounted outside of a building that provides a method of escape in the event of a fire or other emergency when interior stairwells are inaccessible.
  - (A) Fire escapes may be added to existing buildings when no other means of providing egress is possible or practical.
  - (B) To the extent possible, fire escapes shall not be located on a front or corner facade. Rear or side facades are preferred.
  - (C) Exterior fire escapes may encroach into any minimum required setback and may encroach into a right-of-way with permission of the Board of Public Works.
  - (D) Sizing and location of fire escapes shall be approved by the Fire Marshal.
- (9) **Forecourt.** See [Section 21-08.03\(f\)](#) for all regulations relating to forecourts.
- (10) **Gallery.** See [Section 21-08.03\(e\)](#) for all regulations relating to galleries.

- (11) **Garage.** A fully-enclosed structure, whether attached to or detached from a primary building, used for the storage of vehicles.
  - (A) Garages shall comply with all minimum required building setbacks but may encroach into a required rear setback up to within 5 feet of the rear lot line.
  - (B) Except in a S1 district, if the garage door on an attached garage faces a primary or secondary street, the garage shall be set back at least 5 feet behind the front or corner building facade.
  - (C) If oriented with garage doors facing a street, a garage shall not be located less than 18 feet from the right-of-way, sufficient to accommodate the parking of an automobile without blocking the sidewalk or any public way.
  - (D) If oriented with garage doors facing an alley, a garage shall be located 5 feet from the lot line or have a setback of not less than 18 feet from the right-of-way, sufficient to accommodate the parking of an automobile without blocking any public way.
  - (E) In a S1, U1, or U2 district, the total capacity of a garage, garages, or carports, in combination, whether attached or detached, shall not exceed 4 vehicles.



*Garage Location*



- (12) Patio.** A hard-surfaced space laid or poured directly on finished grade with at least one side open to the weather and essentially unobstructed to the sky, specifically designed and intended for the recreational enjoyment of the occupant(s) and guest(s) of the primary structure or use and not designed or intended for use by automotive vehicles.
- (A) A patio less than 30 inches above grade may be located within any minimum required setback but shall not encroach more than 8 feet into the minimum required front setback.
- (13) Porch.** See [Section 21-08.03\(c\)](#) for all regulations relating to porches.
- (14) Porte-Cochere.** A porte-cochere is a roofed structure that is integrated with the design of the primary building and extends over a driveway, providing an articulated entryway and protection from the weather.
- (A) A porte-cochere shall be open on at least two sides.
- (B) A porte-cochere may be located within an established front, corner, side or rear yard but shall comply with all minimum required building setbacks.
- (15) Ramps/Wheelchair Lifts.** Includes accessibility ramps or wheelchair lifts that meet federal, state, and local accessibility standards.
- (A) Accessibility features may encroach into any minimum required setback to the extent necessary to perform its proper function.
- (16) Rear Extensions.** A secondary extension from the rear wall of a primary building that extends into a required rear setback for a primary building.
- (A) Rear extensions may encroach into a required rear setback for a primary structure, but they shall be limited to a maximum of one story and shall comply with the maximum allowed height limit for accessory buildings within the applicable zoning district.
- (B) Rear extensions shall have a smaller footprint, a narrower width, and a depth not greater than the main building.
- (C) Rear extensions shall comply with the maximum allowed building coverage within the applicable zoning district.
- (D) Rear extensions may encroach into any established rear yard up until the rear setback for accessory buildings. Rear extensions shall meet the minimum required corner and side setbacks for primary buildings.
- (17) Satellite Dishes.** See [Section 21-06.02\(f\)\(22\)](#) for all regulations relating to satellite dishes.
- (18) Storefront.** See [Section 21-08.03\(g\)](#) for all regulations relating storefronts.
- (19) Stoop.** See [Section 21-08.03\(d\)](#) for all regulations relating to stoops.
- (20) Terrace.** See [Section 21-08.03\(h\)](#) for all regulations relating to terraces.
- (21) Towers, Turrets, and Cupolas.** A building component that is significantly taller than it is wide with the purpose of gaining views, providing light and ventilation to a building, adding a decorative element, or terminating an important axis including tower, turrets, cupolas, elevator or stair towers, or steeples.
- (A) Towers, turrets, cupolas, and the like may exceed the maximum building height, up to 25 feet in height above the roof line.
- (B) Towers, turrets, cupolas, and the like shall comply with all minimum required setbacks for a primary structure.

**Section 21-08.02: Building Types**

**(a) Intent**

This section regulates different physical forms of buildings within each zoning district, creating variation in the urban environment within an appropriate scale. The following regulations apply in addition to the development standards for each zoning district. In the case of a conflict, the more restrictive regulation shall prevail.

**(b) Applicability**

All primary buildings in any Standard District shall comply with the requirements of this section in addition to the development standards of [Section 21-03](#). Building types do not apply to development within a Special District, as regulated within [Section 21-04](#).

- (1) An applicant shall select which allowed building type corresponds to the building proposed for construction or alteration, and shall comply with the standards for that building type as it relates to that new construction or alteration.
- (2) The applicant shall select which allowed building frontage type will be used with the selected building type, per [Section 21-08.03](#).
- (3) Each building type may house any use allowed in the zone in which it is located in accordance with [Section 21-06](#). The names of the building types are not intended to limit or expand uses within a building type.
- (4) Civic and Institutional uses are exempt from this section.

**(c) Number of Buildings**

Each lot shall comply with the maximum number, if any, of primary buildings allowed by the building type requirements of this section. The Zoning Administrator may waive this requirement if the submitted building permit application includes a site plan with potential lot lines that meet the intent and all the requirements of this Ordinance.

**Table 21-08A: Building Types Allowed by Zoning District**

	S1	S2	U1	U2	U3	UF	NC	DT
Carriage House	■	■	■	■	■	■	■	
Detached House	■	■	■	■	■	■		
Cottage Court		■		■	■	■		
Duplex	■	■	■	■	■	■		
Townhouse		■		■	■	■	■	■
Apartment House		■		■	■	■	■	■
Stacked Flats		■			■	■	■	■
Shop						■	■	■
Mid-Rise/Tower								■

Key ■ Allowed

21-08.02(d) **Building Type: Carriage House**

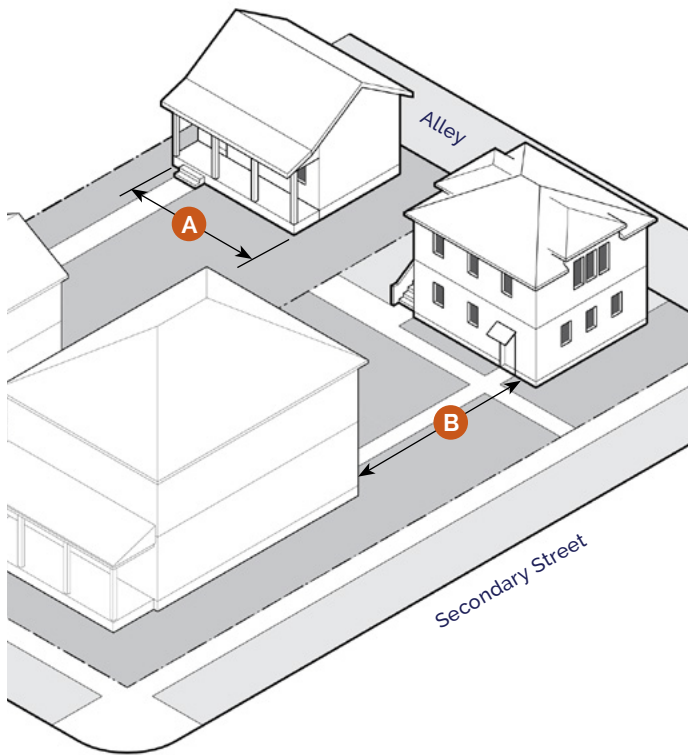
**(1) Description**

A Carriage House is an accessory structure typically located at the rear of a lot, designed as a small residential dwelling, home office space, or small business space located above a garage or at ground level. Carriage Houses provide affordable housing opportunities within walkable neighborhoods.

**(2) Zoning Districts**

The Carriage House building type is permitted in the following districts:

- S1
  - S2
  - U1
  - U2
- U3
  - UF
  - NC



**(3) Building Type Standards**

Lot Requirements	
Only allowed on a lot that has a primary building.	
Building Dimensions	
Building Height	See Zoning District
Building Width	36' max. <span style="float: right;">A</span>
Total Finished Floor Area	800 sq. ft. max.
Separation between buildings	10' min. <span style="float: right;">B</span>
Number of Dwelling Units	
Units per Carriage House	1 max.
Carriage Houses per Lot	1 max.
Facade Design	
Placement of windows and doors requires careful consideration for privacy of both owner and neighbors.	
Allowed Frontage Types	
Porch	Gallery
Stoop	

Illustrative Examples





**21-08.02(e): Building Type: Detached House**

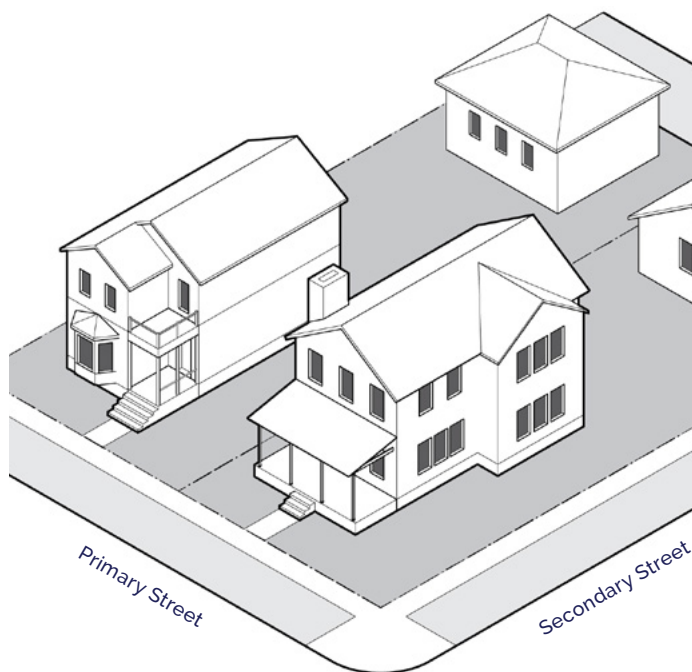
**(1) Description**

A Detached House is a small to medium-sized, freestanding structure on a single lot. It is typically located within a residential neighborhood of primarily single unit houses in a walkable urban setting or in outlying areas of the City. A Detached House may be accessed from the alley or from a driveway off of the street. Garages may be attached or detached to the main house on the same lot.

**(2) Zoning Districts**

The Detached House building type is permitted in the following districts:

- S1
  - S2
  - U1
- U2
  - U3
  - UF



<b>(3) Building Type Standards</b>	
Building Dimensions	
Building Height	2.5 stories max.
Number of Dwelling Units	
Units per Detached House	1 max.
Detached Houses per Lot	1 max.
Allowed Frontage Types	
Porch	Gallery
Stoop	

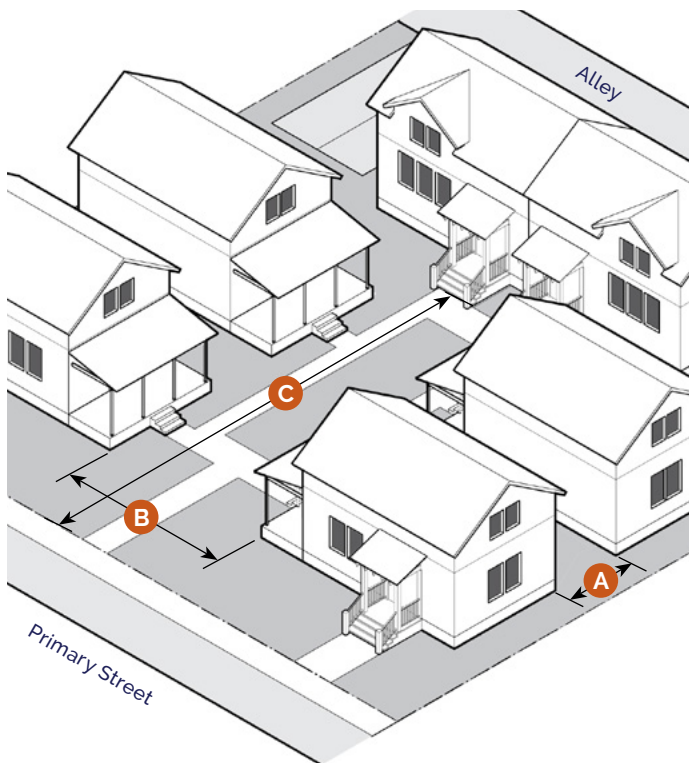
**Illustrative Examples**



**21-08.02(f) Building Type: Cottage Court**

**(1) Description**

A Cottage Court consists of a series of small, detached buildings arranged to define a shared court that is typically perpendicular to the street. This type is appropriately scaled to fit within primarily single unit or medium-density neighborhoods. The courtyard shall be either partially or wholly open to the street.



**(2) Zoning Districts Allowed**

The Cottage Court building type is permitted in the following districts:

- S2
- U3
- U2
- UF

**(3) Building Type Standards**

**Lot Requirements**

Lot Width (along street) 50' min.

If cottage court is subdivided into multiple lots, each lot shall front onto the open space and meet the building coverage requirements of the applicable zoning district.

**Building Dimensions**

Building Height 1.5 story max.

Separation between buildings 5' min. A

**Number of Dwelling Units (includes ancillary dwellings)**

Units per Cottage 2 max.

**Dwelling Units Per Lot**

U2 district 3 min. / 5 max.

All other districts 3 min. / 9 max.

**Common Space**

Width 18' min. B

Depth 20' min. C

**Allowed Frontage Types**

Porch Stoop

**Illustrative Examples**





**21-08.02(g) Building Type: Duplex**

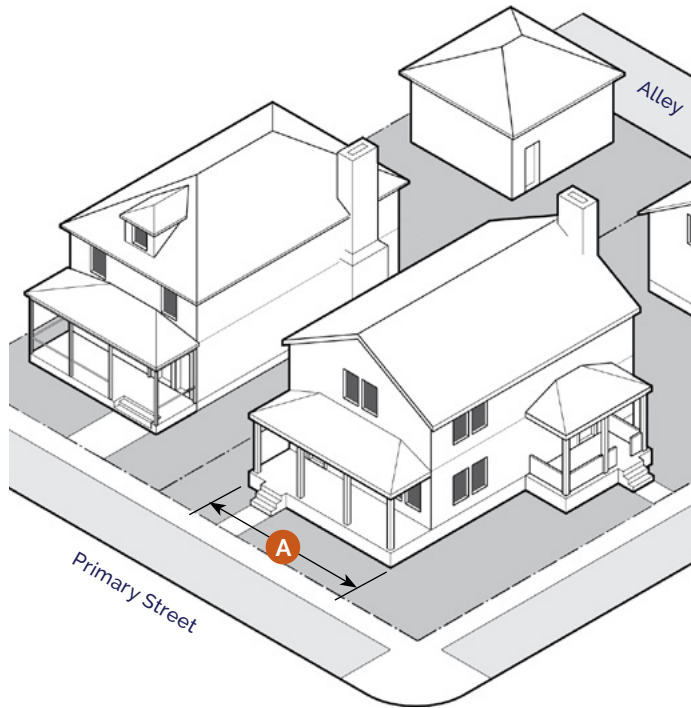
**(1) Description**

A Duplex consists of two side-by-side or stacked dwelling units, both facing the street, within a single building mass. This type has the appearance of a medium to large detached home and is appropriately scaled to fit within primarily single unit neighborhoods or medium-density neighborhoods.

**(2) Zoning Districts Allowed**

The Duplex building type is permitted in the following districts:

- S1
- U2
- S2
- U3
- U1
- UF



**(3) Building Type Standards**

Building Dimensions	
Building Height	2.5 story max.
Building Width	48' max. <span style="float: right; border: 1px solid red; border-radius: 50%; padding: 2px;">A</span>
Number of Dwelling Units	
Units per Duplex	2 max.
Duplex per Lot	1 max.
Allowed Frontage Types	
Porch	Gallery
Stoop	

**Illustrative Examples**



21-08.02(h) **Building Type: Townhouse**

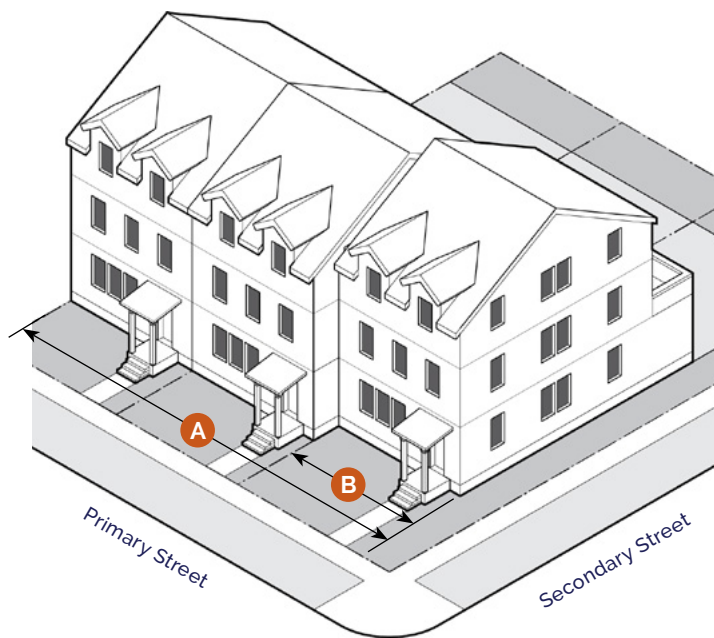
**(1) Description**

A Townhouse is an attached structure that consists of 3–8 townhouses placed side-by-side on narrow lots that share a party wall. Typically located within medium-density neighborhoods or in a location that transitions from residential into a neighborhood center. Each unit has an individual entrance along a street or open space. Garages may be detached or attached, often tucked under the main living floor above.

**(2) Zoning Districts Allowed**

The Townhouse building type is permitted in the following districts:

- S2
- UF
- U2
- NC
- U3
- DT



**(3) Building Type Standards**

Building Dimensions	
Building Height	3 story max.
Building Width (total of all attached Townhouses)	A
U2 district	4 units or 72' max.
All other districts	8 units or 168' max.
Townhouse Width	15' min., 36' max. style="text-align: right;">B
Number of Dwelling Units	
Units per Townhouse	1 per floor
Townhouses per Lot	1 max.
Allowed Frontage Types	
Porch	Gallery
Stoop	

Illustrative Examples





**21-08.02(i) Building Type: Apartment House**

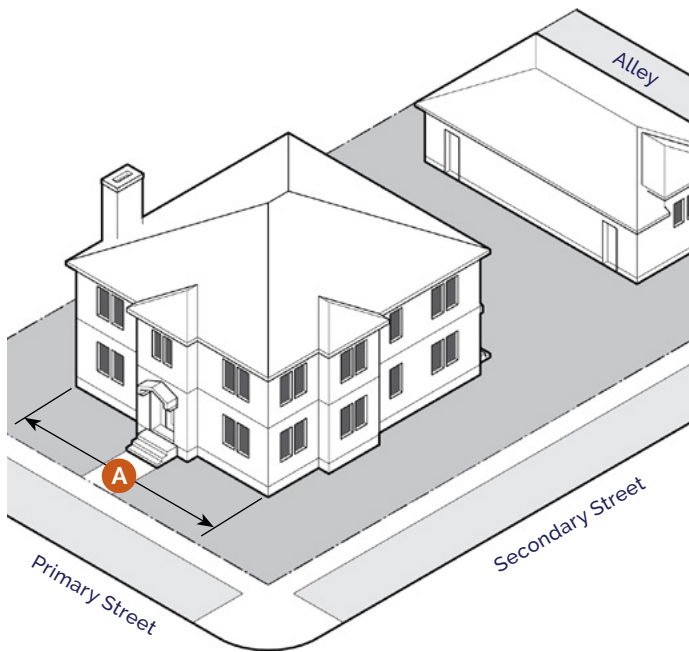
**(1) Description**

An Apartment House is a medium-sized structure that consists of 3 or 4 side-by-side and/or stacked dwelling units, typically with a shared entry. This type has the appearance of a large family home and is appropriately scaled to fit within primarily single unit neighborhoods or into medium-density neighborhoods.

**(2) Zoning Districts Allowed**

The Apartment House building type is permitted in the following districts:

- S2
- UF
- U2
- NC
- U3
- DT



<b>(3) Building Type Standards</b>	
Building Dimensions	
Building Height	3 story max.
Building Width	48' max. <span style="float: right; border: 1px solid red; border-radius: 50%; padding: 2px;">A</span>
U2 district	48' max.
All other districts	60' max.
Separation between buildings	10' min.
Number of Dwelling Units	
Units per Apartment House	3 min. / 4 max.
Apartment Houses per lot	
U2 district	1 max.
All other districts	Unlimited
Allowed Frontage Types	
Porch	Gallery
Stoop	

**Illustrative Examples**

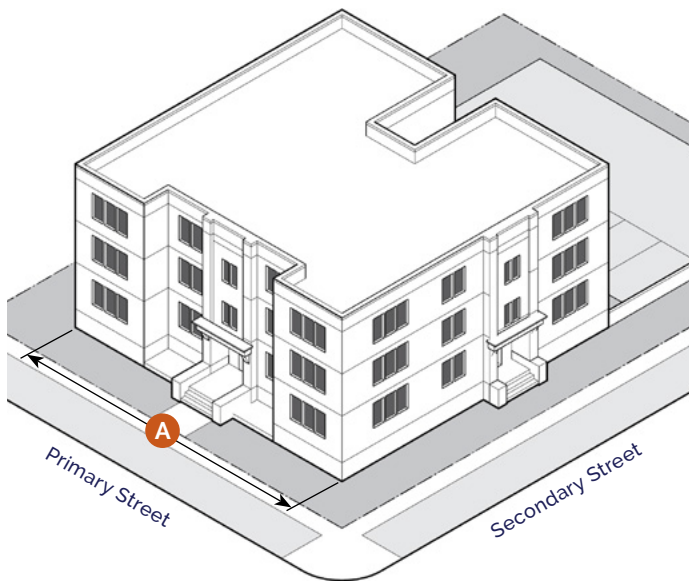




21-08.02(j) **Building Type: Stacked Flats**

**(1) Description**

Stacked Flats is a medium-to-large-sized structure that consists of 5 or more side-by-side and/or stacked dwelling units. Units typically share one or more common entries but may have an individual entry accessed off of a courtyard or series of courtyards. This type is appropriately scaled to fit within medium-density neighborhoods, neighborhood centers or downtown.



**(2) Zoning Districts Allowed**

The Stacked Flats building type is permitted in the following districts:

- S2
  - U3
  - UF
- NC
  - DT

**(3) Building Type Standards**

Building Dimensions	
Building Height (stories)	2 min. / 5 max.
Building Width	A
S2, DT districts	200' max.
All other districts	120' max.
Separation between buildings	10' min.
Number of Dwelling Units	
Units per Stacked Flats	5 min.
Allowed Frontage Types	
Porch	Gallery
Stoop	Forecourt

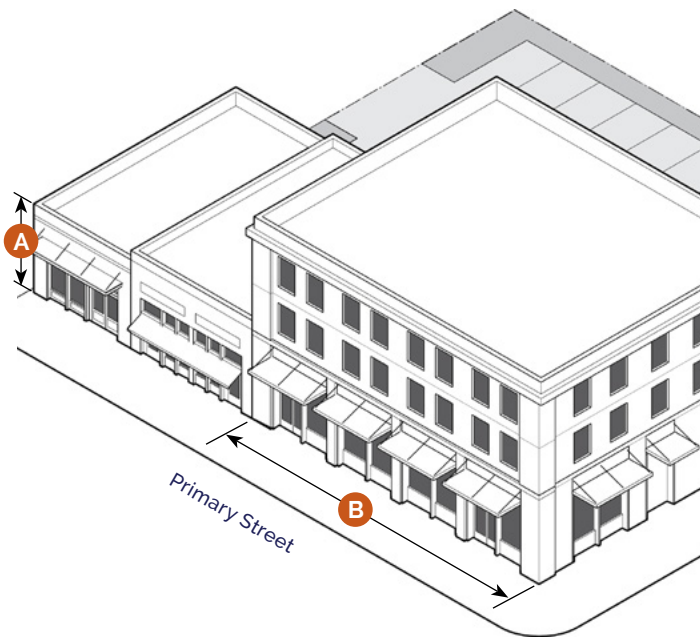
Illustrative Examples



**21-08.02(k) Building Type: Shop**

**(1) Description**

A Shop is a structure intended to provide pedestrian oriented retail and services on the ground floor. It may be a single story or provide a vertical mix of uses with upper-floor residential or office uses. Upper floor units are typically accessed by a common entry, preferably located along the street. This type is the primary component of a neighborhood center and may be found downtown. It is a critical component to creating a walkable environment.



**(2) Zoning Districts Allowed**

A Shop building type is permitted in the following districts:

- UF
- NC
- DT

**(3) Building Type Standards**

Building Dimensions		
Facade Height	16' min.	<b>A</b>
Building Height	6 stories max.	
Building Width	150' max.	<b>B</b>
Number of Dwelling Units		
Units per building	Unlimited	
Allowed Frontage Types		
Gallery	Storefront	
Forecourt	Terrace	

**Illustrative Examples**

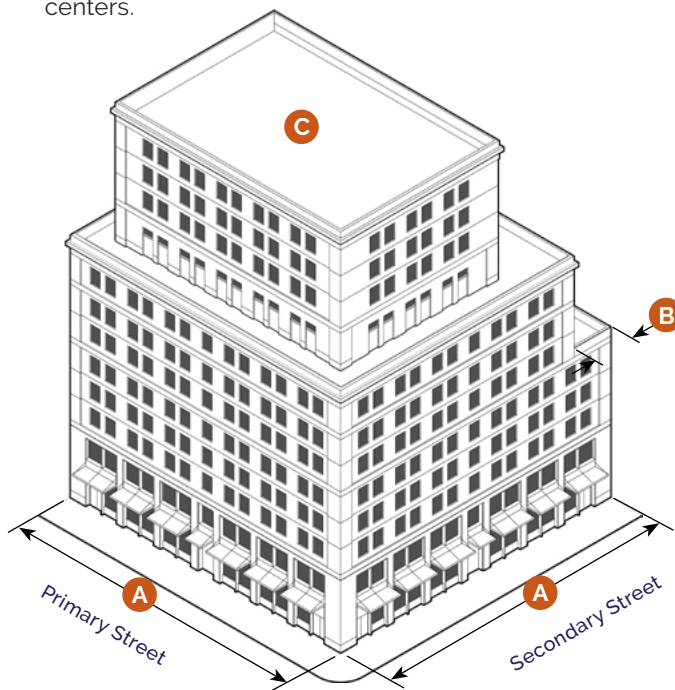




21-08.02(l) Building Type: Mid-Rise/Tower

(1) Description

A Mid-Rise/Tower is a structure with substantial height, built on a large lot that may incorporate structured parking. It is used to provide a vertical mix of uses with retail or service on the ground-floor and residential or office on the upper-floors; or may be a single-use building. Upper floors shall step back from ground floor building facade in order to provide adequate light and air at the sidewalk level. This type is a primary component of an urban downtown and high intensity neighborhood centers.



(2) Zoning Districts Allowed

The Mid-Rise/Tower building type is permitted in the following districts:

- DT

(3) Building Type Standards

Building Dimensions	
Building Height	6 stories min.
Building Footprint	400' x 400' max. <b>A</b>
Number of Dwelling Units	
Units per building	Unlimited
Facade Setback (from facade of floors below)	
Floors 6-8	
Abutting DT district	0' min
Abutting any other district	10' min. <b>B</b>
Floors 9+	
Front/Corner	80% of building footprint max. <b>C</b>
Allowed Frontage Types	
Gallery	Storefront
Forecourt	Terrace

Illustrative Examples



## Section 21-08.03: Building Frontage Types

**(a) Intent**

Building frontage types provide a transition and appropriate interface between the public realm (street and sidewalk) and the private realm (yard and building). The allowed frontage type standards supplement the standards for each building type.

**(b) Applicability**

Building frontage types shall be applied to all primary buildings located in a Standard District. If any of the building frontage types are included on a building, even if not required, it shall comply with the standards of this section.

- (1) [Table 21-08B](#) identifies the frontage types allowed for each building type.
- (2) Building frontage types may encroach into a minimum required setback as allowed by the applicable zoning district.
- (3) Any encroachment of a frontage type into a public right-of-way shall be approved by the Board of Public Works.
- (4) Civic and Institutional uses are exempt from this section.

**Table 21-08B: Building Frontage Types Allowed**

	Carriage House	Detached House	Cottage Court	Duplex	Townhouse	Apartment House	Stacked Flats	Shop	Mid-Rise/Tower
Porch	■	■	■	■	■	■	■		
Stoop	■	■	■	■	■	■	■		
Gallery	■	■		■	■	■	■	■	■
Forecourt							■	■	■
Storefront								■	■
Terrace								■	■

**Key** ■ Allowed

**21-08.03(c) Frontage Type: Porch**

**(1) Description**

A porch is a raised, roofed platform attached to a building to form an articulated entryway and semi-private social space. Porches may be projecting, engaged, or integral to a building facade.

**(2) Frontage Standards**

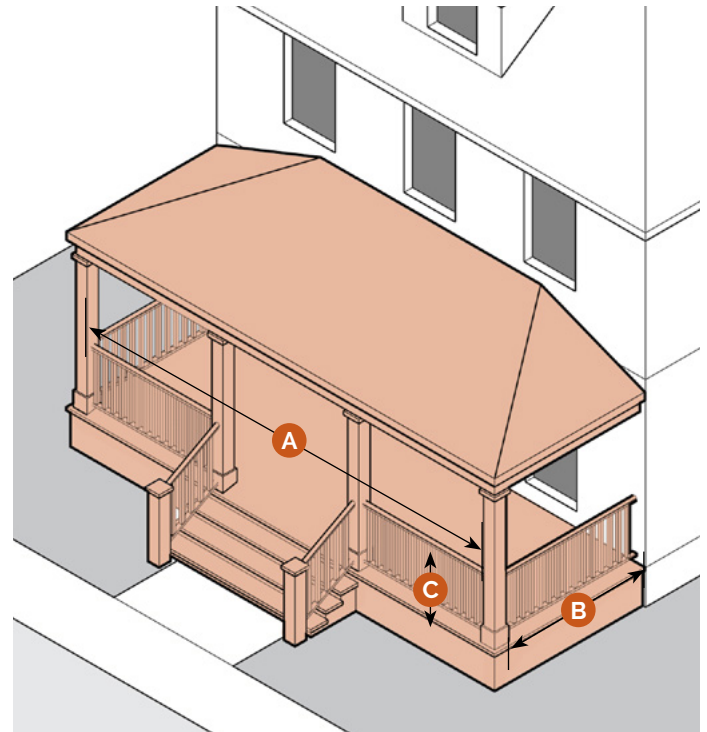
Dimensions		
Width, Clear	8' min.	<b>A</b>
Depth, Clear	6' min	<b>B</b>
Finished Level above Sidewalk	18" min., 48" max	
Railing/Porch Wall Height	4' max.	<b>C</b>

**Standards**

A porch shall have a roof.

If unenclosed and open on three sides, a porch may encroach into a required front or corner setback as allowed by the applicable zoning district.

Open porch bases shall be enclosed with latticework or similar material, or visually concealed with landscape.



**21-08.03(d) Frontage Type: Stoop**

**(1) Description**

A stoop is a small raised platform that serves as an entryway to a building, typically for residential uses with small setbacks. A stoop may be roofed or open to the sky, although a covered or recessed stoop is preferred to provide shelter from the elements.

**(2) Frontage Standards**

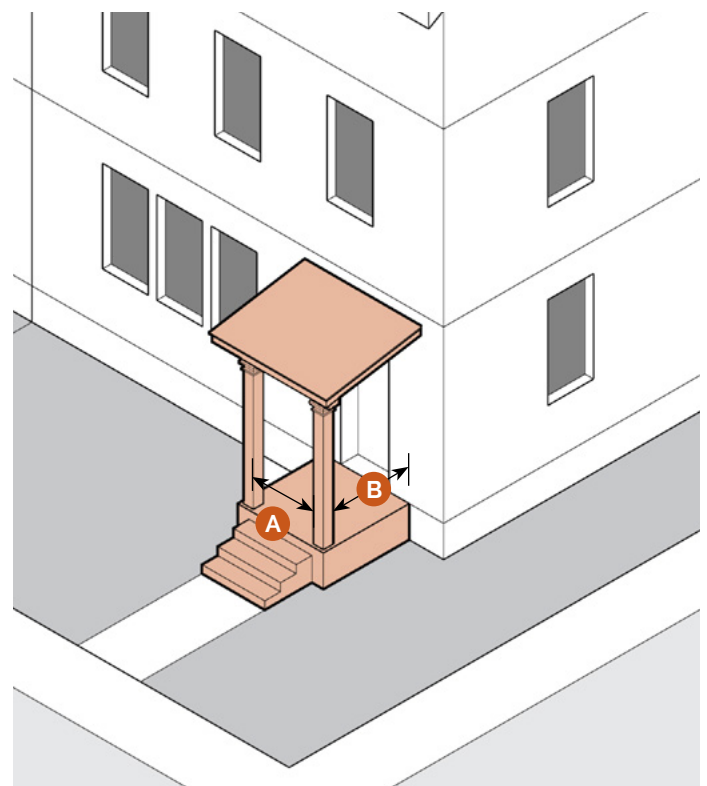
Dimensions		
Width, Clear	4' min.	<b>A</b>
Depth, Clear	4' min.	<b>B</b>
Railing/Stoop Wall Height	4' max.	

**Standards**

A stoop shall be at least 18" above the sidewalk and shall directly connect to the sidewalk, walkway, or driveway.

A stoop shall have a railing or wall, a covering, or be at least 18" above the adjacent walkway or driveway.

If unenclosed and open on three sides, a stoop may encroach into a required front or corner setback as allowed by the applicable zoning district.





**21-08.03(e) Frontage Type: Gallery**

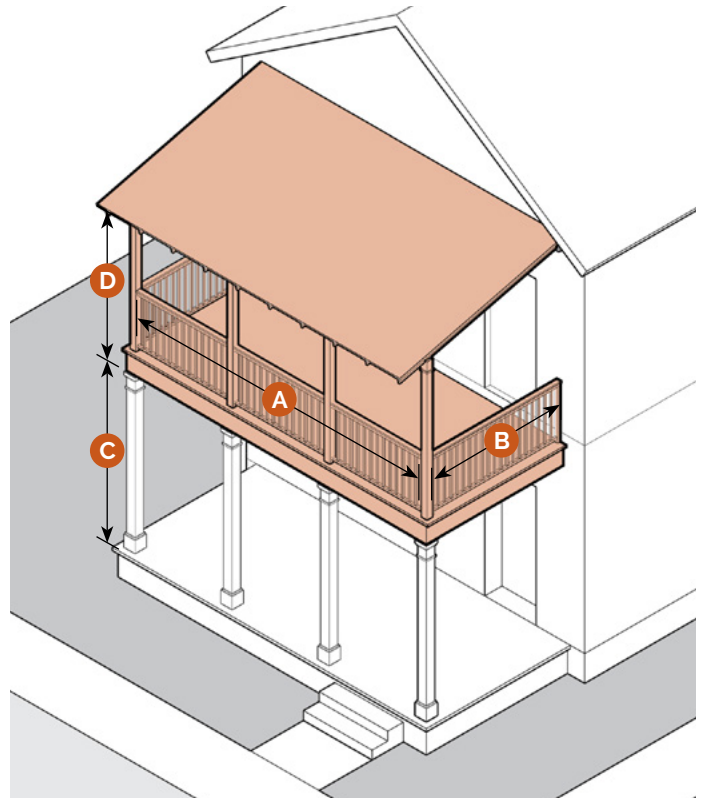
**(1) Description**

A raised platform that provides additional living space for upper floor uses, with access solely from the interior of a building. A gallery may be roofed or uncovered and may be projecting or be integral to the building.

<b>(2) Frontage Standards</b>		
<b>Dimensions</b>		
Width, Clear	8' min.	<b>A</b>
Depth, Clear	6' min.	<b>B</b>
Ground Floor Height, Clear	8' min.	<b>C</b>
Height	1 story max. <sup>1</sup>	<b>D</b>

<sup>1</sup> A 2-story gallery may be approved by the Zoning Administrator on stacked flats, shops, or mid-rise/towers.

**Standards**  
Galleries shall be supported from below by a porch, arcade, or other structure; or visually supported by brackets, corbels, or beams along its full depth.  
In a NC or DT district with a retail ground floor, a gallery shall extend over the sidewalk with approval of the Board of Public Works.



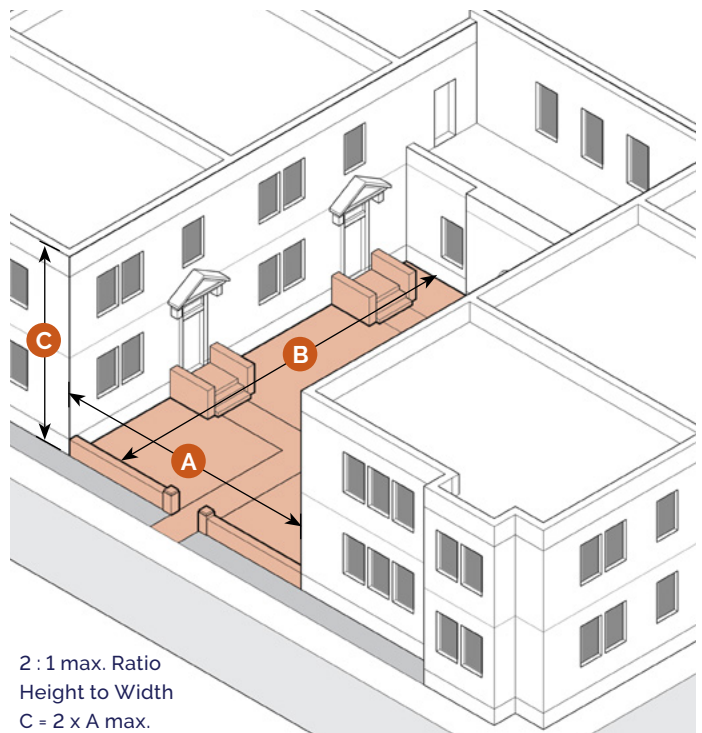
**21-08.03(f) Frontage Type: Forecourt**

**(1) Description**

A forecourt is a space open to the sky formed by a recess in the central portion of the building facade. Porches, stoops, and galleries may encroach into the forecourt.

<b>(2) Frontage Standards</b>		
<b>Dimensions</b>		
Width, Clear	12' min.	<b>A</b>
Depth, Clear	12' min.	<b>B</b>
Height (max.)	2 x width of forecourt	<b>C</b>

**Standards**  
A forecourt shall be enclosed by building walls on three sides and give careful consideration to solar orientation.  
A minimum 25% of forecourt shall be composed of landscape with remaining areas paved with hardscape material. Asphalt may not be used as a surface material.



## 21-08.03(g) Frontage Type: Storefront

**(1) Description**

A storefront is utilized for all retail uses featuring a primary entrance at grade and incorporating substantial windows at the sidewalk level for the display of goods, services, and signs.

**(2) Frontage Standards****Dimensions**

Depth of Recessed Entry 5' max.

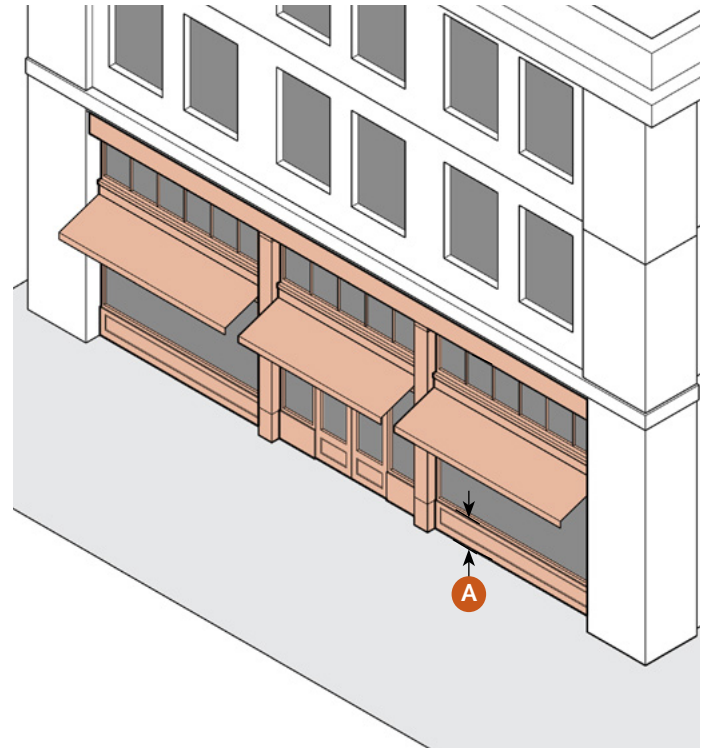
Sill Height 3' max. **A**

**Standards**

Open-ended, operable awnings or canopies are encouraged for shade and weather protection.

Bi-fold glass windows and doors that allow the space to open to the sidewalk are encouraged.

Residential grade windows are not permitted.



## 21-08.03(h) Frontage Type: Terrace

**(1) Description**

A terrace accommodates a change in grade by using an elevated platform to provide circulation and access across the front of a building. Terrace frontages may be used to mimic historic loading docks of old industrial areas.

**(2) Frontage Standards****Dimensions**

Depth, Clear 8' min. **A**

Finished Level above Sidewalk 4' max. **B**

**Standards**

Frequent steps up to the terrace are required to maximize access and avoid blank walls along the sidewalk.

Low walls used as seating are encouraged.

