

# STAFF REPORT

## CONCERNING APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

**Date:** September 5, 2018

**Application Number:** 2018-0906

**Property Location:** 601 N Lafayette Boulevard

**Architectural Style/Date/Architect or Builder:** Gabled-el / 1897

**Property Owner:** DSN IRA, LLC

**Landmark or District Designation:** Chapin Park Local (Ordinance #9574-05) and National Historic District

**Rating:** *Non-Contributing*

**DESCRIPTION OF STRUCTURE/SITE:** This structure is a one and a half story frame home that originally had wood siding and wood shingle roof. The foundation is a combination of brick and concrete. The house is currently sided in vinyl and has long 2/2 original windows in some of the lower openings and vinyl replacement windows in the remainder.

**ALTERATIONS:** The house was converted into three apartments in 1945. A 12' x 12' porch was added to the second floor in 1949. Asphalt shingles were installed on the roof in the 1940s. The porch on the first floor south side was removed in the 1940s. Exterior stairs were added to access the second story apartment. The vinyl siding and replacement windows are not original. COA #2005-0607 allowed for re-roofing, fascia and soffit repair, and site maintenance. COA #2009-1005A allowed for the gutters to be replaced. RME #2018-0906A allowed for the replacement of two vinyl windows with like, removal of one vinyl window and replacement with vinyl siding, replacement of three entry doors with like, and reconstruction / rebuilding of wooden second-story stairs.

**APPLICATION ITEMS:** "Replace windows and doors, block on window, install new gutters and aluminum soffits, aluminum trim [w]rapping on all windows."

**DESCRIPTION OF PROPOSED PROJECT:** Applicant seeks a Certificate of Appropriateness for improvements on the structure:

1. Windows -
  - a. Removal and replacement of two original wood windows on the south face of the house, to be replaced with vinyl windows of the same size.
  - b. Removal and replacement of one original wood window on the west face of the house, to be replaced with vinyl window of the same size.
2. Gutters and Soffits –
  - a. Remove and replace wood soffits with aluminum.
  - b. Install aluminum gutters (this would qualify for a 'Routine Maintenance Exclusion' but its installation is contingent upon the Soffit condition / material, therefore it is included here).
3. Window Trim
  - a. Install aluminum trim to cover all existing (and proposed replacement) windows.

### **SITE VISIT REPORT:**

September 6, 2018

On August 16, 2018 I visited the property located at 601 N Lafayette. I noticed a window had been replaced and the old window resting against the house. I approached the gentleman that was at the house and introduced myself. He identified himself as the new owner and explained he was unaware of the requirements that came with a property located in a locally designated historic district.

I gave him a copy of the Chapin Park LHD guidebook and my and [Specialist Toering's] business cards. He explained to me what his intentions are with the house and what he would like to replace in the near future.

I photographed the window that was removed and each window that is currently in place.

Windows:

17 windows are currently vinyl replacement windows. Only two of those had been changed out by this new owner. The windows currently are Kinro brand vinyl windows. These are manufactured housing and recreational vehicle windows made in Elkhart County. The photographs of the one that was removed will show the quality of those windows.

There are 5 original windows remaining.

Two large double hung wood windows on the south face of the structure have multiple repairs including metal angle brackets and screws. The original storms are missing and have allowed the deep window framework to collect the elements and rot out the bottom sash and sill. Water stains are present on the inside wall material as a result of the water infiltration. These two windows will need the jambs rebuilt and the lower sashes remade or replaced. I believe these are beyond repair. The two upper sashes are structurally intact but have started to separate. There is ample caulk applied to these sashes which has caused greater separation and damage. Still repairable but will require considerable attention.

There is one more double hung wood window located on the west side of the structure that have been spared from the onslaught of the elements due to the proximity of the neighboring house. This will need considerable attention however including stripping, re-glazing, re-ropping, and some repair where it looks like the lower sash had been forced open.

The last two original windows are non-operable windows that needs glazing and some trim repair or replacement.

The owner also showed me the rotting wood on the exterior staircase that will need to be replaced. He had some concerns on the structural stability of the posts and bracing holding that staircase in place as well.

Steve Szaday  
Preservation Inspector

## **STANDARDS AND GUIDELINES: CHAPIN PARK**

### II. EXISTING STRUCTURES

#### A. BUILDING MATERIALS

Original exterior building materials in the district include brick, stucco, clapboard, wood shingles, and brick or stone masonry. In some instances, vinyl, composite and aluminum siding have been applied over the original material.

##### **Required**

**Original exterior building materials shall be retained when possible. Deterioration of wood materials shall be prevented through repair, cleaning and painting. The existing architectural detail around windows, porches, doors and eaves shall be retained or replaced by replicas of the same design when deteriorated beyond repair.**

Masonry, including brick and stucco structures, shall be maintained, and properly cleaned only when necessary to halt deterioration or to remove stains and shall be done in a method acceptable for the preservation of the surface: i.e. low-pressure water and soft natural bristle brushes. Brick or masonry mortar joints should be repointed only when there is evidence of moisture problems, or when sufficient mortar is missing to allow water to stand in the mortar joint. Existing mortar shall be duplicated in composition, color, texture, joint size, method of application and joint profile.

When repairing stucco, stucco mixture shall be used. A professional shall make a study of the old stucco, to determine the exact mixture and underlayment used in the original work. Some repair methods are not compatible with the original techniques and may cause early disintegration of the repair work and the original work.

Ample ventilation must be afforded the structure when siding is installed, in order to prevent increased deterioration of the structure from moisture and insects.

##### **Recommended**

**Whenever possible, the original building materials should be restored. When maintaining or repairing original siding is not feasible, aluminum, vinyl or composite siding may be used. When used over wood surfaces, this siding should be the same size and style as the original wood. Every effort should be made to retain the original trim around windows, doors, cornices gables, eaves and other architectural features.**

Property owners should contact the Historic Preservation Commission of South Bend and St. Joseph County prior to initiating any restoration or rehabilitation effort. [ Address and contact information is listed in the front of the Guidebook.] The Commission is an invaluable source of information about all facets of rehabilitation and restoration – materials, methods, contractors and the like.

##### **Prohibited**

Wood siding shall not be resurfaced with new materials that is inappropriate or was unavailable when the building was constructed, such as artificial stone, brick veneer, asbestos or asphalt shingles.

Sandblasting or the use of harsh detergents shall not be used on masonry including brick, stucco, limestone, flagstone and sandstone. This method of cleaning erodes the surface material and accelerates deterioration.

Repointing shall not be done with a mortar of high Portland cement content which can often create a bond that is stronger than the building material. Usage of Portland cement can cause deterioration as a result of the differing coefficient of expansion and porosity of the historic masonry unit and the mortar. This most often results in serious damage to adjacent brick.

Unpainted masonry surfaces shall not be painted unless they had been painted originally. Paint shall not be removed from masonry surfaces by any means that damage the surface.

##### **Not Recommended**

Waterproof or water repellent coatings or surface consolidation treatments should not be used on masonry surfaces unless required to solve a specific problem that has been studied and identified. Coatings are frequently unnecessary and expensive, and can accelerate deterioration of the masonry. Mortar joints, which do not need repointing, should not be repointed. Wood siding should not be power-washed.

## B. ROOFS AND ROOFING

**Roof shapes in the district encompass all the various designs found in residential structures: hipped, gabled, gambrel, flat and combinations of these. Roofs are covered with a variety of materials such as asphalt, asbestos, wood and slate shingles as well as clay tiles. Residences in most cases have wood fascias with gutters and downspouts. The fascias of some vinyl- and aluminum-sided houses are covered with the same materials.**

### Required

The existing shape and type of materials of the roof shall be retained. All architectural features, which give the roof its essential character, shall be retained, including dormer windows, cupolas, cornices, brackets, chimneys, cresting and weather vanes.

### Recommended

**The original shape and materials of the roof should be restored. Particular effort should be made to retain materials such as slate, tile and other unique materials not commonly found in new construction. Roof covering which is deteriorated beyond repair should be replaced with new material that matches as closely as possible the original in composition, size, shape, color and texture. Gutters and downspouts are often a necessary adjunct in order to prevent deterioration of the structure; they should be maintained whenever possible or replaced with a style comparable and suitable to the architectural period.**

### Prohibited

Nothing shall be done to change the essential character of the roof as viewed from a street by adding architectural features or large unsightly fixtures, or by using materials inappropriate to the style of the house. The roof shall not be stripped of architectural features important to its character.

### Not Recommended

**Overhanging eaves, soffit, brackets and gables should not be covered or enclosed when adding siding to a building.**

## C. WINDOWS AND DOORS

Window and door frames are in most cases wood and vary depending upon the style of the home. Many are double-hung windows with wood trim and sills. Brick structures have stone sills and brick lintels. In some cases where aluminum siding has been applied, the window and door trim has been covered. About half of the structures in the district have aluminum storm windows; the other half have wood storm windows.

### Required

**Original windows and doors shall be retained including sashes, lintels, sills, shutters, decorative glass, pediments, hoods and hardware. When deteriorated beyond repair, they shall be replaced with units and trim resembling the original.**

### Recommended

**Wood storm windows and doors painted or finished to match the original should be used but should not damage existing frames. If new sashes or doors are installed, the existing or original materials, design and hardware should be used. When metal storm doors are used, they should be painted, anodized or coated to match the existing. When awnings are used, they should be of canvas material.**

### STAFF RECOMMENDATION:

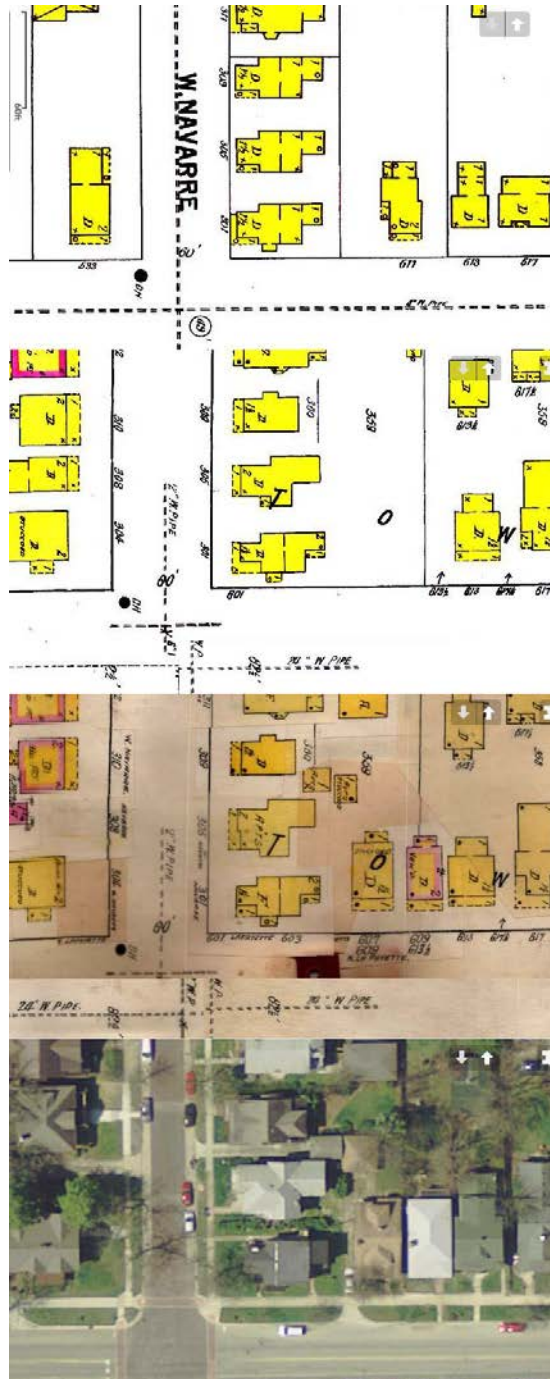
Per Inspector Szaday's site visit, only five wood windows remain on the structure. Of those, the most character defining are the two on the south (W. Navarre) facing side. The house has been extensively modified to the detriment of much of the character of the original construction, with many features covered, removed, added-to, or enclosed. The structure is rated *non-Contributing* per the most recent county-wide survey, and staff is of the opinion that this is an appropriate rating.

Staff would divide the application into two components: 1) the replacement of the two original windows with vinyl, 2) the installation of aluminum soffits, gutters, and window trim. As to the replacement of the original windows, Staff makes no recommendation. As to the installation of the aluminum soffits, gutters, and trim, staff makes a favorable recommendation.

Written by  
Adam Toering  
Historic Preservation Specialist

Approved by  
Elicia Feasel  
Historic Preservation Administrator

**Sanborn Maps / Satellite Image**



Map 1 - Sanborn Maps corresponding to 1899, 1917, 1960, and Satellite imagery from 2016.



**Site Visit – Photos**



*Figure 2 – 601 Lafayette Boulevard from the sidewalk, looking north west. Window replacement on entry addition is visible at right.*



*Figure 3 – 601 Lafayette Boulevard, from the sidewalk corner, looking north, northwest. Original windows are obscured by the bush.*





*Figure 4 -- Rear of property, looking south east.*



*Figure 5 -- Subject property, looking southeast.*





*Figure 6 - Subject property, looking north. Original window at edge of frame.*



*Figure 7 - Original window/sill on the south face of the subject property.*



*Figure 8 - Original window, south side of the subject property.*





**HISTORIC PRESERVATION COMMISSION**  
OF SOUTH BEND AND ST. JOSEPH COUNTY  
County—City Building, South Bend, IN 46601  
http://www.southbendin.gov/government/department/community-investment  
Phone: 574/235.9371 Fax: 574/235.9021  
Email: [hpcsbsjc@southbendin.gov](mailto:hpcsbsjc@southbendin.gov)

Michele Gelfman, President

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation  
Administrator

**APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS**

*OFFICE USE ONLY*>>>>>>>**DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX**<<<<<<<<<<*OFFICE USE ONLY*

Date Received: \_\_\_\_\_ Application Number: \_\_\_\_\_

Past Reviews:  YES (Date of Last Review) \_\_\_\_\_  NO

Staff Approval authorized by: \_\_\_\_\_ Title: \_\_\_\_\_

Historic Preservation Commission Review Date: \_\_\_\_\_

Local Landmark  Local Historic District (Name) \_\_\_\_\_

National Landmark  National Register District (Name) \_\_\_\_\_

Certificate Of Appropriateness:  Denied  Tabled  Sent To Committee  Approved and issued: \_\_\_\_\_

Address of Property for proposed work: 601 N. La Fayette Blvd, South Bend, IN 46601  
(Street Number—Street Name—City—Zip)

Name of Property Owner(s): BVR LLC (Wakim Aboukhaled) Phone #: (574) 329-9065

Address of Property Owner(s): 50886 Lexington Glen Dr Granger, IN 46530  
(Street Number—Street Name—City—Zip)

Name of Contractor(s): \_\_\_\_\_ Phone #: \_\_\_\_\_

Contractor Company Name: \_\_\_\_\_

Address of Contractor Company: \_\_\_\_\_  
(Street Number—Street Name—City—Zip)

Current Use of Building: Multi-Family  
(Single Family—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)

Type of Building Construction: Wood Frame  
(Wood Frame—Brick—Stone—Steel—Concrete—Other)

Proposed Work: (more than one box may be checked)  Landscape  New  Replacement (not in-kind)  Demolition

Description of Proposed Work: Replace Windows and doors, block on window, install New gutter's and aluminum soffits, ~~install~~ aluminum trim rapping on all windows.

Owner e-mail: Wbukaled@aol.com and/or Contractor e-mail: \_\_\_\_\_

X Wakim and/or X \_\_\_\_\_  
Signature of Owner Signature of Contractor

By signing this application I agree to abide by all local regulations related to project and to obtain a Building Department Permit, if applicable.

**Description of Proposed Work for the property on 601 N. LaFayette Blvd., South Bend, IN 46601**

Dear Representatives.

The intent of this project is to restore and protect the building outside structure and make it an efficient home to live in by replacing some bad windows and doors, installing gutters and aluminum soffits, install aluminum trim rapping around all window frames and replace the stairways for the upstairs unit.

**1) Windows and Doors on lower level.**

- a. Replace the front (east side) 2 vinyl windows size 36" x 60" with 2 new vinyl windows.
  - i. Old windows are bad and had broken seal creating draft during winter.
- b. Remove one front vinyl window (facing north on the addition part) and replace it with matching vinyl siding.
  - i. Old window with bad seals and insulations creates draft and inefficiency.
- c. Replace 2 wood frame windows on the south side with same size vinyl windows.
  - i. Widows are beyond repair and very inefficient.
- d. Replace one wood frame window on the west side with same size vinyl window.
  - i. Widow is beyond repair and very inefficient.
- e. Replace the 2 front entrance steel doors with the same type doors.
  - i. Doors and jams are in bad shape and don't seal or close well.

**2) Upper Level unit.**

- a. Replace the stairways in the back west side with pressure treated wood and re-enforce the deck and railing.
  - i. Stairs are getting old and unsafe.
- b. Replace the steel entrance door (back west side) with the same style/type door.
  - i. Door and jam are in bad shape and don't seal or close well.

**3) Gutters and Soffits.**

- a. Install aluminum gutters and down spouts.
  - i. Need to divert the rain water away from the house and prevent it from going into the basement and creating damages in there.
- b. Install aluminum Soffits.
  - i. The wood is getting old and rotten and started to create problem with leaking water inside the houses.
  - ii. Aluminum soffits are more effective and much easier to maintain.

**4) Covering Window Frames.**

- a. Install Aluminum Trim to cover all the window frames.
  - i. Wood frames are getting very bad shape and rotten and leaking water to the inside.
  - ii. Aluminum is more effective and much easier to maintain.