

**STAFF REPORT**  
CONCERNING APPLICATION FOR A  
**CERTIFICATE OF APPROPRIATENESS**

**Date:** 8 May 2018

**Application Number:** 2018-0507E

**Property Location:** 701 N Portage Avenue

**Architectural Style/Date/Architect or Builder:** Romanesque Revival / 1898 / Charles A. Brehmer (Architect)

**Property Owner:** Andrew Caspers and Amanda Shutts

**Landmark or District Designation:** Chapin Park Local Historic District, Ordinance #9574-05; National Register District; Local Landmark, Ordinance #6242-1977.

**Rating:** Outstanding

**DESCRIPTION OF STRUCTURE/SITE:** Fire House #6 is one of the oldest extant fire houses in South Bend. The triangular plot, of which the building is situated, has a long connection to South Bend's history. During the Civil War, the land was used as part of Camp Rose, a training ground for local troops headed to war. The Saint Joseph County Agricultural Society later owned the land and used it as part of their fair grounds. In 1896, the City of South Bend purchased the land to build a "Hose House" on the property, serving the City until it was decommissioned in 1967. The Civic Theatre used the structure as a theatre and workshop for nearly fifty years following.

Fire House #6 is a two and a half story, brick structure, with rectangular plan and hip and gabled roof with dormer. There is a hose tower protruding from the roof at the rear. The front first story features the main equipment door, a thin, curved corrugated metal canopy supported by cast iron brackets designed with a sun and scroll motif. Brick pilasters with stone capitals support a false brick arch at second story. Windows are wood, 1/1 with some fixed in attic and hose tower. Centered between two second story windows is a large stone placard with No. 6 in relief.

**ALTERATIONS:** COA #1985-0819 permitted the cleaning of bricks, replace roof ventilator, windows, and rear entry door. COA #1987-1019 permitted the replacement of the entrance door. COA #1988-1207 permitted the installation of curbing at the Portage-Lindsey intersection as per Project no. MG-000-C Fed Rd. Region 5. COA #1989-0208 permitted the installation of security lights with wiring concealed by the eave material and covered in metal conduit painted to match the structure. COA #1989-0602 permitted the removal of old roofing and re-roofing with Owens Corning 3-tab 20-year shingles. COA #1993-1118 permitted the repair of holes and the straightening of the edges of the canopy. COA#1994-1215 permitted the grading of the drive and in-kind replacement of limestone base. COA #1995-1025 permitted the removal and replacement of a dead tree. COA #1999-0713 permitted the installation of a pole, siren, and related electrical/radio parts all contained /attached to the pole on Lindsey between Portage Avenue and Leland Avenue. COA #2003-1031A permitted the installation of landscape lighting around the building, a new sign in the lawn, replacement of the front garage door sign, and re-glazing of the scheduling boards on the windows flanking the garage door. COA #2003-1031B permitted the removal of loose paint and dirt from the metal awning with water and/or Conklin's Rust-Off, caulking all seams on top of awning, priming of the awning and the structural braces, and a final coat of paint on the awning. COA #2017-1002G permitted masonry repair (in-kind) using Glen Gery Molded Series '53-DD Spec Sand' or '250-M'. Replace roof (in-kind), with Certainteed Highland Slate 'black granite'; replacement of the house tower wall material with Petersen Aluminum 'matte black', replacement of the hose tower windows (in-kind) with wood windows of the same size and configuration; install new gutters, downspouts, and flashing of copper. COA#2018-0402 approved window replacement with new aluminum clad 1/1 double hung, fire egress casement, hose tower fixed, restoring exterior wood moldings, replace garage doors with new steel bi-fold, replace passage doors with new custom wood.

**APPLICATION ITEMS:** "See attached site plan with notes and product data/literature."

## DESCRIPTION OF PROPOSED PROJECT:

1. SITE
  - a. Fence (see C1.1 Proposed Site Plan and Elite Fence Products brochure): Install 4'H Elite decorative aluminum commercial grade fence enclosing the property. Style EFS-15 with 4" space between pickets.
2. NORTH
  - a. Utility (see C1.1 Proposed Site Plan): Install new air conditioning condenser unit. Install 6'H chain-link security fence around all four units, also enclosing top. Add loose gravel ground cover. Plant landscape screening using arborvitae or similar plantings.
3. SOUTH
  - a. Basement access (see C1.1 Proposed Site Plan): Utilizing an existing window well opening, install new 8" thick concrete foundation walls and 36" – 44"W stairs to basement level. Handrail will be painted steel pipe. New steel door (see A5.2 door 101, 103, 104). Install 42"H black metal guardrail to match fence.
  - b. Dumpster enclosure (see C1.1 Proposed Site Plan): Install 8'H brick enclosure with 6'-8"W steel frame wood clad gate and door (see A5.2 door 106 and 105).
  - c. Door: Install new steel door in between dumpster enclosure and basement enclosure (see A5.2 door 101, 103, 104).
4. EAST
  - a. Patio and walk (see Enlarged Patio Plan, Town Hall spec sheet, and fire table photo): Install 27' x 22' patio outside of bi-fold entry doors using Unilock "Town Hall" permeable pavers. Fire table installed in center.
5. WEST
  - a. Driveway (see C1.1 Proposed Site Plan and Town Hall spec sheet): Existing gravel driveway updated with new concrete curbs to be flush with new Unilock "Town Hall" permeable pavers.

## SITE VISIT REPORT: n/a

## STANDARDS AND GUIDELINES, CHAPIN PARK:

### I. THE ENVIRONMENT

#### A. The District Environment

The Chapin Park Local Historic District is a particularly fine residential area located close to downtown South Bend, the St. Joseph River, Memorial Hospital and Leeper Park. This section is meant to protect and guide appropriate maintenance of the common areas of the district (i.e. visual landscape and streetscapes).

#### Required

Brick streets contribute greatly to the character of the neighborhood. These streets have always been essentially passenger car thoroughfares. The appointments of the streets (i.e. lighting, curbs, horse hitches and monuments) should contribute as much as possible to their architectural, historic and residential character. Retention and maintenance of existing brick streets in the district is required. Repair work to fill voids and gaps must utilize brick paver materials and acceptable installation methods whenever applicable. When utility work dictates the removal of street sections (pavers), the original materials will be reinstalled. Brick streets shall be patched with brick pavers. Concrete, asphalt, fillers and similar materials shall not be used. All original streetlights shall be maintained, especially the George Cutter "Park View" streetlights designed by Cutter Company for this neighborhood. Present efforts by the Neighborhood Association and the Historic Preservation Commission to restore "Park View" streetlights to the district shall continue. Any change in lighting must receive approval of the Historic Preservation Commission. **New or different fencing requires a C of A and shall reflect the style and character of the individual property and the surrounding environment and properties.**

#### Recommended

The current or historic character of lawns should be preserved. Front yard areas, common lawns and tree lawns should remain open. New or replacement trees should be compatible in variety with those presently growing. Vacant lots should be kept landscaped appropriately while vacant, and may be used for recreational or residential development. When replacement of utility poles or power supply lines is necessary, consideration should be given to underground conduits or utility poles erected along rear property lines.

#### Prohibited

Existing relationships of building and their environments shall not be destroyed by widening existing streets, applying asphalt or other bituminous coverings or by introducing new streets or parking lots. **Signs, streetlights, benches, new plant materials, fencing, walkways and paving materials which are out of scale or inappropriate to the neighborhood may not be used.** The erection of high walls or barriers, which would alter the relationship of the houses, shall be prohibited. Utility poles with high intensity overhead lights shall not be used on main thoroughfares.

### B. BUILDING SITE, LANDSCAPING & ACCESSORIES

This section focuses on individual properties and amenities. Building sites tend to be irregularly shaped, of varying topography and with different setbacks with regard to plots. Alleys are generally behind houses. **Landscape accessories like fences are unique to each structure.** Chapin Place presents a unique situation within the district. Applications from properties that have property lines on Chapin Park will be considered on a case-by-case basis.

#### Required

**Fencing, walkways, outbuildings, private yard lights, signs (i.e. house numbers) and benches (visible from the street) as well as trees**

located in a yard or tree lawn which reflect the property's history and development shall be retained.

A tree located in such areas shall only be removed if the removal is required due to storm damage, disease, threatened damage to a structure or for such other reason acceptable to the Historic Preservation Commission. Storm damage or diseased trees should then be replaced with an approved species at the same or approximate location wherever possible. **Fencing visible from the street in front of the structure shall be open (meaning spaces between the pickets) and consistent with the historic character of a structure enclosed.**

Recommended

**New site work should be based upon actual knowledge of the past appearance of the property found in photographs, drawings and newspapers. New site work should also be appropriate to existing surrounding site elements in scale, type and appearance. Front yard areas should remain open. (See above for information regarding fences.)** Trees in close proximity to a building may cause structural damage. Owners are encouraged to remove these trees and replace (or replant) them at a more appropriate location as soon as planting season permits and upon approval of a C of A.

Prohibited

**No changes may be made to the appearance of the site by removing trees, fencing, walkways, outbuildings or other elements before evaluating their importance to the property's history and development. Front yard areas shall not be transformed into parking lots nor paved nor blacktopped, nor enclosed by solid fences, chain link, nor industrial / commercial style fences.**

The installation of unsightly large devices, such as television satellite dishes, skylights or solar panels, shall not be permitted in areas where they detract from the architecture of a building, are intrusive to the public view of the building or are highly visible from a public street, or ruled inappropriate after Commission review.

Utility poles with high-intensity overhead lights should be installed so that they cannot be seen from a street. The Commission will evaluate all installations as well as any potential exceptions resulting from special circumstances, before granting a C of A.

## II. EXISTING STRUCTURES

### A. BUILDING MATERIALS

Original exterior building materials in the district include brick, stucco, clapboard, wood shingles, and brick or stone masonry. In some instances, vinyl, composite and aluminum siding have been applied over the original material.

Required

Original exterior building materials shall be retained when possible. Deterioration of wood materials shall be prevented through repair, cleaning and painting. The existing architectural detail around windows, porches, doors and eaves shall be retained or replaced by replicas of the same design when deteriorated beyond repair.

**Masonry, including brick and stucco structures, shall be maintained, and properly cleaned only when necessary to halt deterioration or to remove stains and shall be done in a method acceptable for the preservation of the surface: i.e. low-pressure water and soft natural bristle brushes. Brick or masonry mortar joints should be repointed only when there is evidence of moisture problems, or when sufficient mortar is missing to allow water to stand in the mortar joint. Existing mortar shall be duplicated in composition, color, texture, joint size, method of application and joint profile.**

When repairing stucco, stucco mixture shall be used. A professional shall make a study of the old stucco, to determine the exact mixture and underlayment used in the original work. Some repair methods are not compatible with the original techniques and may cause early disintegration of the repair work and the original work.

Ample ventilation must be afforded the structure when siding is installed, in order to prevent increased deterioration of the structure from moisture and insects.

Recommended

Whenever possible, the original building materials should be restored. When maintaining or repairing original siding is not feasible, aluminum, vinyl or composite siding may be used. When used over wood surfaces, this siding should be the same size and style as the original wood. Every effort should be made to retain the original trim around windows, doors, cornices gables, eaves and other architectural features.

Property owners should contact the Historic Preservation Commission of South Bend and St. Joseph County prior to initiating any restoration or rehabilitation effort. [Address and contact information is listed in the front of the Guidebook.] The Commission is an invaluable source of information about all facets of rehabilitation and restoration – materials, methods, contractors and the like.

Prohibited

Wood siding shall not be resurfaced with new materials that is inappropriate or was unavailable when the building was constructed, such as artificial stone, brick veneer, asbestos or asphalt shingles.

**Sandblasting or the use of harsh detergents shall not be used on masonry including brick, stucco, limestone, flagstone and sandstone. This method of cleaning erodes the surface material and accelerates deterioration.**

**Repointing shall not be done with a mortar of high Portland cement content which can often create a bond that is stronger than the building material. Usage of Portland cement can cause deterioration as a result of the differing coefficient of expansion and porosity of the historic masonry unit and the mortar. This most often results in serious damage to adjacent brick.**

**Unpainted masonry surfaces shall not be painted unless they had been painted originally. Paint shall not be removed from masonry surfaces by any means that damage the surface.**

Not Recommended

**Waterproof or water repellent coatings or surface consolidation treatments should not be used on masonry surfaces unless required to solve a specific problem that has been studied and identified. Coatings are frequently unnecessary and expensive, and can accelerate deterioration of the masonry. Mortar joints, which do not need repointing, should not be repointed. Wood siding should not be power-washed.**

### C. WINDOWS AND DOORS

Window and door frames are in most cases wood and vary depending upon the style of the home. Many are double-hung windows with wood trim and sills. Brick structures have stone sills and brick lintels. In some cases where aluminum siding has been applied, the window and door trim has been covered. About half of the structures in the district have aluminum storm windows; the other half have wood storm windows.

Required

Original windows and doors shall be retained including sashes, lintels, sills, shutters, decorative glass, pediments, hoods and hardware. When deteriorated beyond repair, they shall be replaced with units and trim resembling the original.

#### Recommended

Wood storm windows and doors painted or finished to match the original should be used but should not damage existing frames. If new sashes or doors are installed, the existing or original materials, design and hardware should be used. When metal storm doors are used, they should be painted, anodized or coated to match the existing. When awnings are used, they should be of canvas material.

#### D. ENTRANCES, PORCHES AND STEPS

Most houses in the district have either an open or enclosed porch across the front. Most porches have either hip or gabled roofs or are covered by the main roof of the house.

##### Required

When deteriorated beyond repair, existing or original porches, stoops, patios and steps, including handrails, balusters, columns, brackets, tiles and roof decorations, shall be retained or replaced by replicas of the same design or by a design more in keeping with the historic period of the structure.

Porches and additions reflecting later architectural styles and which are important to the building's historical integrity shall be retained.

##### Recommended

When enclosing porches for heat conservation or for other reasons, it should be done in a manner that does not alter the architectural or historical character of the building.

##### Not Recommended

Original porch details should not be replaced with materials representing a different period or style from the original.

#### E. MECHANICAL SERVICES

The majority of the structures within the district have oil or gas heat, and have brick chimneys through the roof. Some houses have one or two window air conditioners.

##### Required

**Required mechanical systems shall be placed in areas that will result in the least possible alteration of the structural integrity and physical appearance of the building.**

##### Recommended

Solar collectors and TV dishes should be placed in the rear of the property and shielded by shrubbery and landscaping. Window air conditioners and exhaust fans should be installed at the rear or an inconspicuous side window. Original lighting fixtures should be utilized whenever possible.

#### III. NEW CONSTRUCTION

New construction includes any new building or structure built within the boundaries of the historic district, or any new addition to an existing building. **New construction should be designed considering the appearance, scale, styles and setbacks of the other buildings in the neighborhood. New work may be contemporary or may suggest motifs from historic buildings in the district.**

#### A. HEIGHT AND PROPORTION

The majority of the structures in the district are two stories in height and have square or rectangular plans. There are several houses that have L- or T- shaped or rambling ground plans. There are a few single-story cottages and one- and one-and-a-half story bungalows. The most prevalent façade proportions are between a 1:1 and 1:2 height to width ratio.

##### Required

The height of a new structure and its height to width proportions shall be consistent with adjacent buildings in the district. The building height shall be no greater than that of the tallest existing structure and no less than that of the lowest existing structure in the same block. Façade proportion shall be established by permitting no structure with a façade wider or narrower than those existing in the same block. Additions to the existing buildings shall be related in height and proportion to the existing structure.

##### Recommended

**Design of new construction should be compatible in character and mood to the building or neighborhood.**

##### Prohibited

Additions that would add new height or change the existing façade of a building, and change its scale and architectural character shall not be considered.

##### Not Recommended

New stories should not be added nor existing stories be removed which would destroy important architectural details, features and spaces of the building. Any style or period of architecture that is incompatible with the existing should not be permitted in the new additions.

#### B. BUILDING MATERIALS

Wall materials in the district range from brick, stucco and wood clapboard and shingles, to aluminum, vinyl and fiberboard / composite siding.

##### Required

**Exterior materials used on a new structure shall be compatible in scale, texture and color (as pertains to masonry) with adjacent structures. Materials used on an addition to an existing structure shall related to the existing or original materials of that structure. Also, as much of the original structure as possible shall be retained so that the addition could be removed without damage to the basic structure and appearance of the building.**

##### Recommended

Alternative or composite siding may be used when it is the only feasible alternative. This siding should be compatible with the original size and style and with the materials of other buildings in the district.

##### Prohibited

Inappropriate materials such as asbestos, asphalt, cast stone or artificial brick shall not be used.

##### Not Recommended

Glass blocks should not be used. Concrete block should not be used for anything other than the foundations.

### **STANDARDS AND GUIDELINES, GROUP B LOCAL LANDMARKS:**

The Commission has the authority to determine the architectural merits and the extent of any proposed treatment, renovation, or addition to a historic landmark. The commission will require drawings, plans, specifications, and/or samples where appropriate.

#### A. Maintenance



The maintenance of any historical structure or site shall in no way involve any direct physical change except for the general cleaning and upkeep of the landmark. The Commission shall encourage the proper maintenance of all structure or sites.

#### B. Treatment

Treatment shall be defined as any change of surface materials that will not alter the style or original form. Such improvements include re-roofing, glazing, or landscaping lawns and may involve a change that can potentially enhance or detract from the character of the landmark. A treatment change of any surface whether on the landmark or in its environment may require a Certificate of Appropriateness if it significantly alters the appearance of the landmark. Although these kinds of changes may not require a Building Permit, a Certificate of Appropriateness may be necessary. The commission should review the proposed treatment for character and style consistency with the original surfaces.

#### C. Renovation and Additions

Renovation is the modification of a structure, which does not alter the general massing while an addition, is a change in mass. A modification, which involves the removal of a part of the landmark, should be considered under demolition (see demolition).

Additions to landmarks should not detract from the original form and unity of the landmark and should not cover singular examples of architectural detail. Additions to landmarks should be added in a manner that does not disrupt the visible unity of overall appearance of the site. The proportions, materials and ratios of the existing structures should be carried through in the additions. Care should be taken not to change or alter the following:

1. Structure—Necessary structural improvements, where safety demands should be accomplished in such a way as to cause minimal visual change to the original style and construction.
2. Material—Additions and improvements involving any new material in the landmark should be of the same material as the original. It should be the same size and texture. An alternative material may be allowed if it duplicates the original.
  - a. wood—all wood trim should conform with existing trim in shape and size.
  - b. siding materials—the Commission discourages the covering or alteration of original materials with additional siding. Structures already sided with incompatible materials should be returned to a siding similar to the original when renovation is considered.

#### D. Demolition

Historic landmarks shall not be demolished. When a landmark poses a threat to the public safety, and demolition is the only alternative, documentation by way of photographs, measured drawings, or other descriptive methods should be made of both the exterior and interior of the landmark. The person or agency responsible for demolition of the landmark shall be responsible for this documentation.

#### E. Moving

The moving of landmarks is discouraged, however, moving is preferred to demolition. When moving is necessary, the owner of the landmark must apply to the Commission for a Certificate of Appropriateness.

#### F. Signs

No neon or flashing signs will be permitted unless they are original to the structure. Billboards and super-graphics will also be disallowed. Only one appropriate identifying sign will be permitted per business.

#### G. Building Site and Landscaping

(These standards apply to both A and B)

##### 1. Required

Major landscaping items, trees, fencing, walkways, private yard lights, signs (house numbers) and benches which reflect the property's history and development shall be retained. Dominant land contours shall be retained. Structures such as: gazebos, patio decks, fixed barbecue pits, swimming pools, tennis courts, green houses, new walls, fountains, fixed garden furniture, trellises, and other similar structures shall be compatible to the historic character of the site and neighborhood and inconspicuous when viewed from a public way.

##### 2. Recommended

New site work should be based upon actual knowledge of the past appearance of the property found in photographs, drawings, and newspapers. Plant materials and trees in close proximity to the building that are causing deterioration to the buildings historic fabric should be removed. However, trees and plant materials that must be removed should be immediately replaced by suitable flora. Front yard areas should not be fenced except in cases where historic documentation would indicate such fencing appropriate. Fencing should be in character with the buildings style, materials, and scale.

##### 3. Prohibited

No changes may be made to the appearance of the site by removing major landscaping items, trees, fencing, walkways, outbuildings, and other elements before evaluating their importance to the property's history and development. Front yard areas shall not be transformed into parking lots nor paved nor blacktopped. The installation of unsightly devices such as TV reception dishes and solar collectors shall not be permitted in areas where they can be viewed from public thoroughfares.

**STAFF RECOMMENDATION:** Staff recommends approval as all projects appear to conform to the Standards and Guidelines.

Written by  
Elicia Feasel  
Historic Preservation Administrator

EAST (FRONT) VIEW



SOUTH VIEW





WEST and NORTHWEST VIEWS



Rec 5-7-18 MA  
No 192975 #20



# HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

County—City Building, South Bend, IN 46601  
http://www.southbendin.gov/government/department/community-investment  
Phone: 574/235.9371 Fax: 574/235.9021  
Email: hpcsbsjc@southbendin.gov

Timothy S. Kluszczinski, President

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation  
Administrator

## APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS

**OFFICE USE ONLY>>>>>>DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX<<<<<<OFFICE USE ONLY**

Date Received: 7 May 18 Application Number: 2018 - 0507E

Past Reviews:  YES (Date of Last Review) 2018-0402  NO

Staff Approval authorized by: \_\_\_\_\_ Title: \_\_\_\_\_

Historic Preservation Commission Review Date: May 22

Local Landmark  Local Historic District (Name) Chapin Park

National Landmark  National Register District (Name) Chapin Park

Certificate Of Appropriateness:  Denied  Tabled  Sent To Committee  Approved and issued: \_\_\_\_\_

Address of Property for proposed work: 701 Portage; South Bend, IN 46616  
(Street Number—Street Name—City—Zip)

Name of Property Owner(s): Seven Entropy Design Studio Phone #: 858-717-3157

Address of Property Owner(s): 3623 Eastham Drive; Los Angeles, CA 90232  
(Street Number—Street Name—City—Zip)

Name of Contractor(s): Norrie Emmons Phone #: 574-232-9600

Contractor Company Name: H.G. Christman Construction

Address of Contractor Company: 23186 Ireland Road; South Bend, IN 46614  
(Street Number—Street Name—City—Zip)

Current Use of Building: Vacant  
(Single Family—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)

Type of Building Construction: Wood frame with steel and masonry structural members  
(Wood Frame—Brick—Stone—Steel—Concrete—Other)

Proposed Work:  In-Kind  Landscape  New  Replacement (not in-kind)  Demolition  
(more than one box may be checked)

Description of Proposed Work: See attached site plan with notes and product data/literature.

Owner e-mail: \_\_\_\_\_ and/or Contractor e-mail: norrie@hgchristmanconstruction.com

X \_\_\_\_\_ and/or X Elicia Feasel  
Signature of Owner Signature of Contractor

By signing this application I agree to abide by all local regulations related to project and to obtain a Building Department Permit, if applicable

—APPLICATION REQUIREMENTS ARE LISTED ON REVERSE SIDE—





**H.G. CHRISTMAN  
CONSTRUCTION**  
GENERAL CONTRACTING  
CARPENTRY • CONSULTING  
BUILDING RESTORATION

**LETTER OF TRANSMITTAL**

TO: Historic Preservation Commission  
227 W. Jefferson Suite 1400  
South Bend, IN 46601

DATE: 5/7/18  
ATTENTION: Elicia Feasel  
RE: Firehouse #6  
701 Portage  
JOB #: 17059

**WE ARE SENDING YOU:**

- For Approval
- Reviewed Submittals
- For Pricing
- For Review & Comment
- For your information
- Other

**CONTENTS:**

Item #	Description	# of Copies
1	Certificate of Appropriateness Application	1
2	HGC Check #3343 - \$20.00	1
3	Site plan with notes (Kil Architecture & Planning)	1
4	Product Literature – Unilock Pavers	1
5	Paver Samples	1
6	Product Literature – Elite Fence	1
7	Fire table photo	1

MESSAGE: We will drop off application check 5/7 and bring the paver samples to the board meeting on 5/14.

SENT VIA: Emailed PDF

**H.G. Christman Construction LLC**

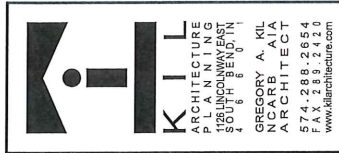
Norrie Emmons, President



Certificate of Appropriateness Application Contents  
Firehouse #6 at 701 Portage Avenue

May 7, 2018

1. COA Application
2. Copy HGC check #3343 for application fee
3. Site and architectural plans with notes
  - a. Note: New work subject to HPC review is color coded
4. Permeable pavers: Unilock 'Townhall'
  - a. Product data/literature for wood windowss
  - b. Samples
5. Aluminum Fence: Elite Fence Products 'EFS-15'
  - a. Product data and cut sheet
6. Fire Table
  - a. Photo to show intent; manufacturer not yet known



ProDocCon, Inc.  
141 North Main Street, Suite 1000  
South Bend, IN 46601  
(574) 232-9800



RESTAURANT  
CONVERSION  
AT  
**No. 6**  
701 PORTAGE AVENUE  
SOUTH BEND, IN  
46601

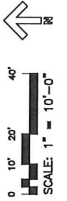
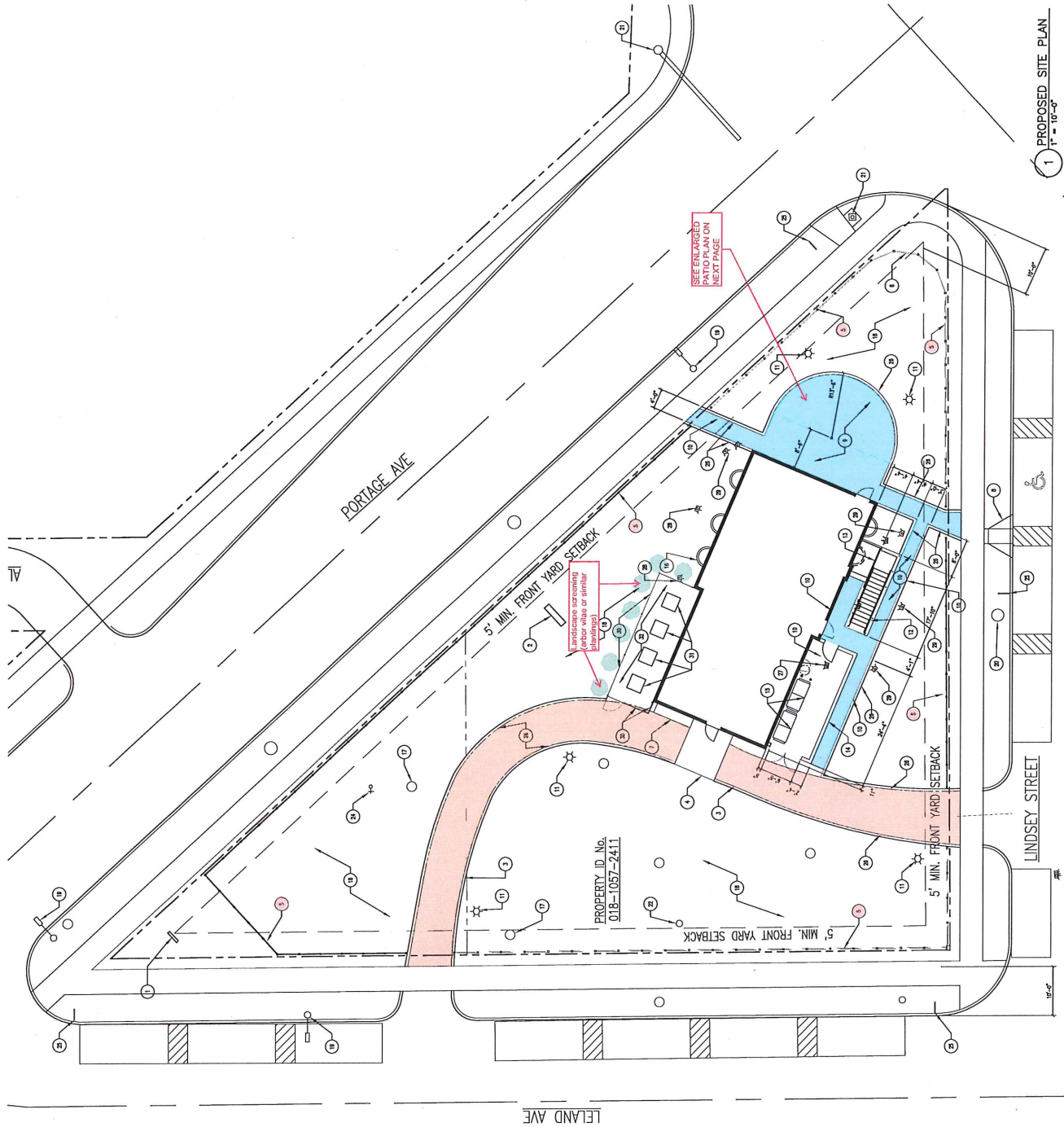
**PROPOSED  
SITE PLAN**

DATE: MARCH 19, 2018  
INDIANA DHS PLAN REVIEW

REVISED:


**C1.1**  
© COPYRIGHT 2018  
KIL ARCHITECTURE PLANNING

- KEYED NOTES:**
- EXISTING HERSEYAL COMMUNICATIVE PLAZA SIGN
  - EXISTING LIGHTED MONUMENT SIGN
  - EXISTING BRICK PAVINGS
  - EXISTING BRICK PAVINGS
  - 4'-0" DECORATIVE ALUMINUM FENCE. SEE PAGE C2.1
  - 3'-0" DEBRAND ALUMINUM FENCE 10' BACK FROM CORNER. SEE PAGE C2.1
  - EXISTING CONCRETE PAD
  - ACCESSIBLE CONCRETE CURB RAMP
  - PERMEABLE PAPER PAVING. SEE CURB DETAIL 1/22.1
  - PERMEABLE PAPER MULCH. SEE CURB DETAIL 1/22.1
  - PROPOSED NEW LIGHT POLE. SEE FOUNDATION DETAIL 2/22.1
  - CONCRETE SIGN TO BASEMENT WITH LIGHTING AND CANTILEVER. SEE SHEET S11
  - CONCRETE STOP W/ ACFT. SEE SHEET S13
  - 4" RIL BRICK PAVINGS W/ WOOD DOORS. SEE DETAIL 1/22.1
  - DUMPSTER
  - EXISTING WINDOW WELL (TYP)
  - EXISTING DECORATIVE TREE (TYP)
  - EXISTING JUNK
  - EXISTING POWER POLE W/ STREET LIGHT
  - EXISTING COMMUNICATIONS POLE
  - EXISTING TRAFFIC LIGHT POLE
  - EXISTING DECORATIVE LIGHT
  - EXISTING FIRE HYDRANT
  - EXISTING WATER SPOUT
  - EXISTING STREET SIGN
  - 6" W/4" CONCRETE CURB TO BE FINISH W/ FINISH 1/22.1
  - RELOCATE EXISTING LIGHT FIXTURE & EXTEND WIRES (TYP OF 4)
  - REBAR OR REPLACE EXISTING LIGHT FIXTURE
  - RELOCATED LIGHT FIXTURE
  - NEW 6" TALL CHALKLINE SECURITY FENCE
  - NEW AIR CONDITIONING CONDENSER UNIT
  - LOOSE GRAVEL GROUND COVER



1 PROPOSED SITE PLAN  
1" = 10'-0"



**KIL**  
 ARCHITECTURE  
 175 N. MAIN ST.  
 SOUTH BEND, IN  
 46601  
 GREGORY A. KIL  
 ARCHITECT  
 P.A. 208-293-1  
 www.kilarchitecture.com

**HGC**  
 H.G. CHRISTMAN  
 CONSTRUCTION  
 3014 BEECHER RD  
 SOUTH BEND, IN 46601  
 (574) 232-9800  
 ProData/Compa, Engineering, Inc.  
 181 North Main Street, South Bend, IN 46601  
 (574) 298-8000  
 www.prodata.com

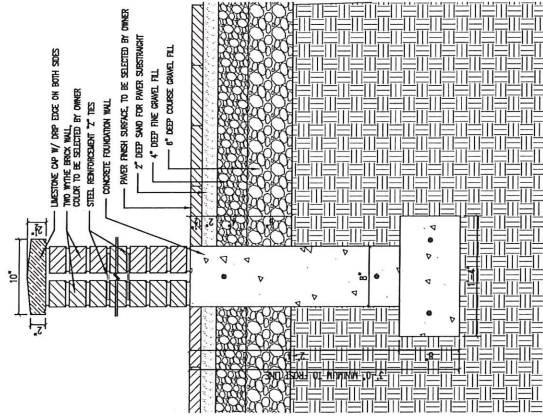
Professional Engineer  
 No. 44604  
 State of Indiana  
 License Expires 12/31/2018  
 H.G. CHRISTMAN

**RESTAURANT  
 CONVERSION  
 AT  
 FIREHOUSE  
 No. 6**  
 781 PORTAGE AVENUE  
 SOUTH BEND, IN  
 46601

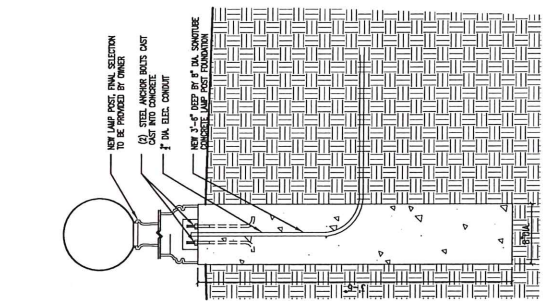
**SITE DETAILS**  
 DATE: MARCH 19, 2018  
 INDIANA DHS PLAN REVIEW

**REVISED:**

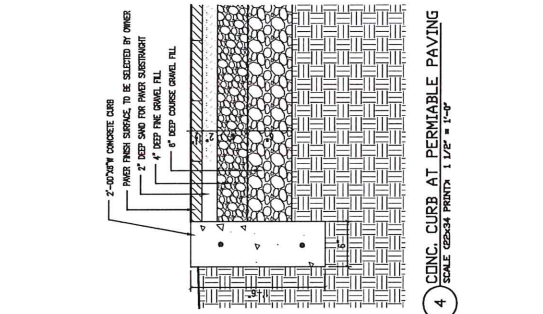
**C2.1**  
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 KIL ARCHITECTURE/PLANNING



3 CONC. CURB AT DRIVEWAY  
 SCALE: 1/2" = 1'-0"

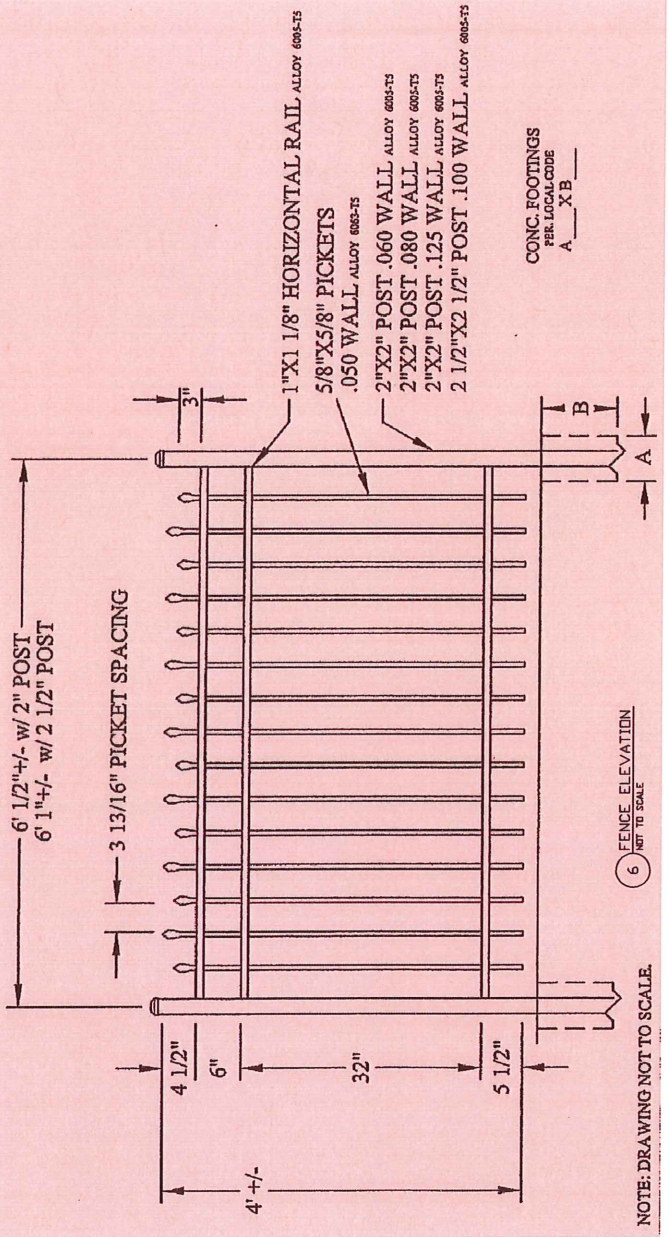


2 CONC. PIER FOR NEW YARD LAMPS  
 SCALE: 1/2" = 1'-0"



4 CONC. CURB AT PERMEABLE PAVING  
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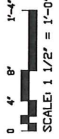
1 CONC. FTNG & BRICK TRASH ENCL.  
 SCALE: 1/2" = 1'-0"



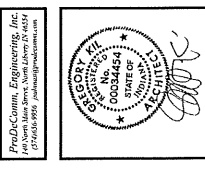
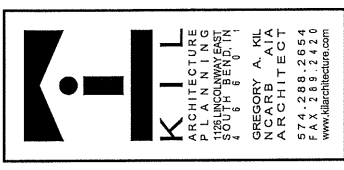
6 FENCE ELEVATION  
 NOT TO SCALE

NOTE: DRAWING NOT TO SCALE.

5 FENCE POST FOUNDATION  
 SCALE: 1/2" = 1'-0"







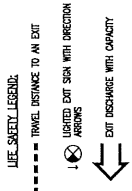
**RESTAURANT CONVERSION AT FIREHOUSE No. 6**  
 701 PORTAGE AVENUE  
 SOUTH BEND, IN 46714

**BASEMENT PLANS**  
 DATE: MARCH 19, 2018  
 INDIANA DHS PLAN REVIEW

REVISED:

**A1.1**  
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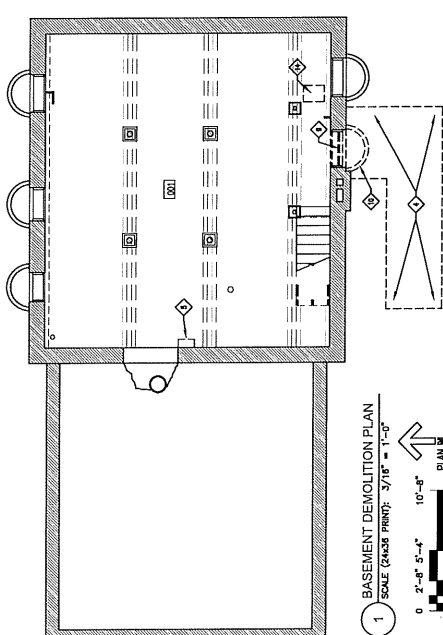
- DRAWING NOTES:**
1. ALL EXISTING WALLS AND CEILING SHALL BE DEMOLISHED AND PAINTED AS NOTED.
  2. ALL FLOORS SHALL BE REFINISHED TO OWNER SPECIFICATION.
  3. ALL MASONRY WORK SHALL BE RE-POINTED AND WEATHER PROOFED WITH WEATHER RESISTANT FINISH.
  4. SEE SHEET A1.1 FOR WALL TYPES.



- DEMOLITION LEGEND:**
- == REMOVE PARTITION WALL
  - REMOVE
  - - - REMOVE DOOR, FRAME, & HINGE
  - - - REMOVE SUSPENDED HEATING UNIT
  - - - REMOVE BLACK PAINTED FLOORING
  - - - REMOVE FLOORING TO EXPOSE WOOD FLOORING BELOW
  - - - REMOVE CARPET AND LINOLEUM FLOORING TO EXPOSE WOOD FLOORING BELOW
  - - - REMOVE EXISTING TOILET
  - - - REMOVE EXISTING LAUNDRY
  - - - EXCAVATE FOR NEW CONCRETE FOUNDATION WALLS AND STAIR TO BASEMENT LEVEL
  - - - REMOVE BRICK PLASTER AND EXPOSE BRICK WALL BEHIND TO BE FINISH
  - - - REMOVE EXISTING WOOD COVER
  - - - REMOVE EXISTING STEPS AND REPAIR SURROUNDING WALLS AND FOOTWORK
  - - - REMOVE RETURN AIR GRILLE
  - - - REMOVE WINDOW, SILL AND BRICK MASONRY AT WIDTH OF EXISTING OPENING
  - - - REMOVE BRICK WINDOW WELL
  - - - REMOVE AND RELOCATE EXISTING GAS SERVICE METER

- DRAWING LEGEND:**
- ⊕ NOT USED
  - ⊕ REMOVE CARPET AND LINOLEUM FLOORING TO EXPOSE WOOD FLOORING BELOW
  - ⊕ REMOVE SUSPENDED HEATING UNIT
  - ⊕ REMOVE BLACK PAINTED FLOORING
  - ⊕ REMOVE FLOORING TO EXPOSE WOOD FLOORING BELOW
  - ⊕ REMOVE CARPET AND LINOLEUM FLOORING TO EXPOSE WOOD FLOORING BELOW
  - ⊕ REMOVE EXISTING TOILET
  - ⊕ REMOVE EXISTING LAUNDRY
  - ⊕ EXCAVATE FOR NEW CONCRETE FOUNDATION WALLS AND STAIR TO BASEMENT LEVEL
  - ⊕ REMOVE BRICK PLASTER AND EXPOSE BRICK WALL BEHIND TO BE FINISH
  - ⊕ REMOVE EXISTING WOOD COVER
  - ⊕ REMOVE EXISTING STEPS AND REPAIR SURROUNDING WALLS AND FOOTWORK
  - ⊕ REMOVE RETURN AIR GRILLE
  - ⊕ REMOVE WINDOW, SILL AND BRICK MASONRY AT WIDTH OF EXISTING OPENING
  - ⊕ REMOVE BRICK WINDOW WELL
  - ⊕ REMOVE AND RELOCATE EXISTING GAS SERVICE METER

- DEMOLITION LEGEND NOTES:**
- 1. REMOVE AND REPAIR EXISTING CEMENT DECK TO BE RE-SET IN NEW DECK
  - 2. REMOVE EXISTING TOILET
  - 3. REMOVE EXISTING LAUNDRY
  - 4. EXCAVATE FOR NEW CONCRETE FOUNDATION WALLS AND STAIR TO BASEMENT LEVEL
  - 5. REMOVE BRICK PLASTER AND EXPOSE BRICK WALL BEHIND TO BE FINISH
  - 6. REMOVE EXISTING WOOD COVER
  - 7. REMOVE EXISTING STEPS AND REPAIR SURROUNDING WALLS AND FOOTWORK
  - 8. REMOVE RETURN AIR GRILLE
  - 9. REMOVE WINDOW, SILL AND BRICK MASONRY AT WIDTH OF EXISTING OPENING
  - 10. REMOVE BRICK WINDOW WELL
  - 11. REMOVE AND RELOCATE EXISTING GAS SERVICE METER

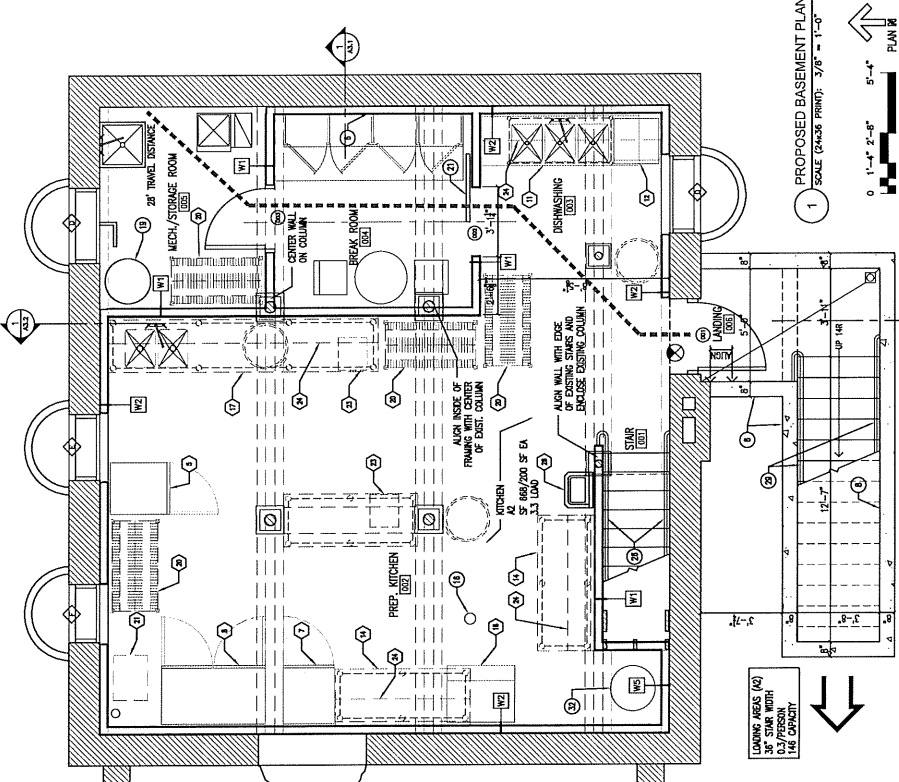


**1 BASEMENT DEMOLITION PLAN**  
 SCALE (24x36 PRINT): 3/16" = 1'-0"  
 SCALE (11x17 PRINT): 1/8" = 1'-0"  
 PLAN N

- KEYED NOTES:**
1. BRICK VENEER OPENING W/ NO. 2 STUDS & GAS TO MATCH SURROUNDING WALL
  2. NEW 4x4 SUPPORT POST FOR STAIR ABOVE
  3. FIRE RESISTANT SHIELD WALL
  4. 6" HIGH BRICK SCREEN WALL - 6" MIN. THICK. TOP FIN. 0.11 & C-11
  5. NEW STEEL FRAME WOOD GLAZED DATE
  6. POINT OF SALE
  7. POINT OF SALE REMOVE EXIST. DOOR AND OPENING TO ALLOW FOR NEW 24" WIDE DOOR
  8. 6" CONCRETE FOUNDATION WALL
  9. CONCRETE STAIR
  10. CONCRETE STAIR
  11. 42" HIGH ALUM. GUARD RAIL STYLE TYP BY OWNER
  12. REMOVABLE PARTS
  13. RETURN AIR DUCT
  14. GLASS & STL. BACK BRK
  15. SALVAGED W/ CABINET IN NEW LOCATION
  16. FLOOR DRAIN
  17. STL. BR-FOLDING PHOTO DOOR HENNER
  18. WALL MOUNTED INSTANT WATER HEATER
  19. TANK WATER HEATER
  20. STACKED WASHERS & DRYER
  21. SLIDING BARN TYPE DOOR
  22. WELL 3" DIA. FIVE POLE HOLE W/ 200 FRAMING, PLYWOOD SUBFLOOR & NEW FLOORING
  23. MAINTAIN 4"x4" - RECAL IN CEILING AT FIRE POLE HOLE
  24. NEW BRASS FIRE POLE FLOOR
  25. REFRESH ORIGINAL WOOD FLOORING
  26. BULKHEAD W/ SETBACKS AT TOP & BOTTOM OF STAIRS
  27. KEEP 1"X4" TOWER
  28. 36" GRAB BARS @ 36" MIN. & 36" MAX. AFF.

- KITCHEN EQUIPMENT KEY NOTES:**
1. NEW MAKE UP AIR DUCT CONNECTED TO (1) WINDOW OPENING ABOVE
  2. NEW EXHAUST HOOD CHASE & FAN/BLUVER
  3. GAS RANGE (NC)
  4. GAS GRIDDLE (NC)
  5. 27" REFRIGERATOR (NC)
  6. GLASS FRONT SALES COOLER (NC)
  7. 27" FREEZER (NC)
  8. 46" KEG COOLER
  9. 48" MEA-TOP PREP TABLE (NC)
  10. PREP. SINK
  11. DISHWASHER 3 COMPARTMENT SINK
  12. DISHWASHER
  13. 30"x72" S.S. PREP TABLE (NC)
  14. 30"x72" S.S. PREP TABLE (NC)
  15. 30"x72" S.S. PREP TABLE (NC)
  16. 30"x72" S.S. PREP TABLE (NC)
  17. 12" S.S. PREP TABLE W/ 2-COMPARTMENT SINK
  18. ICE MAKER
  19. ICE CHEST
  20. STORAGE SHELVING (NC)
  21. PLASTIC STRIP STORAGE RACK (NC)
  22. KEEP 1"X4" TOWER
  23. 36" GRAB BARS @ 36" MIN. & 36" MAX. AFF.

24. S.S. WALL SHELF (NC)
25. 24"x72" S.S. WORK TABLE (NC)
26. HAND SINK
27. GAS FIRED WARMUP AIR UNIT (NC)



**1 PROPOSED BASEMENT PLAN**  
 SCALE (24x36 PRINT): 3/16" = 1'-0"  
 SCALE (11x17 PRINT): 1/8" = 1'-0"  
 PLAN N

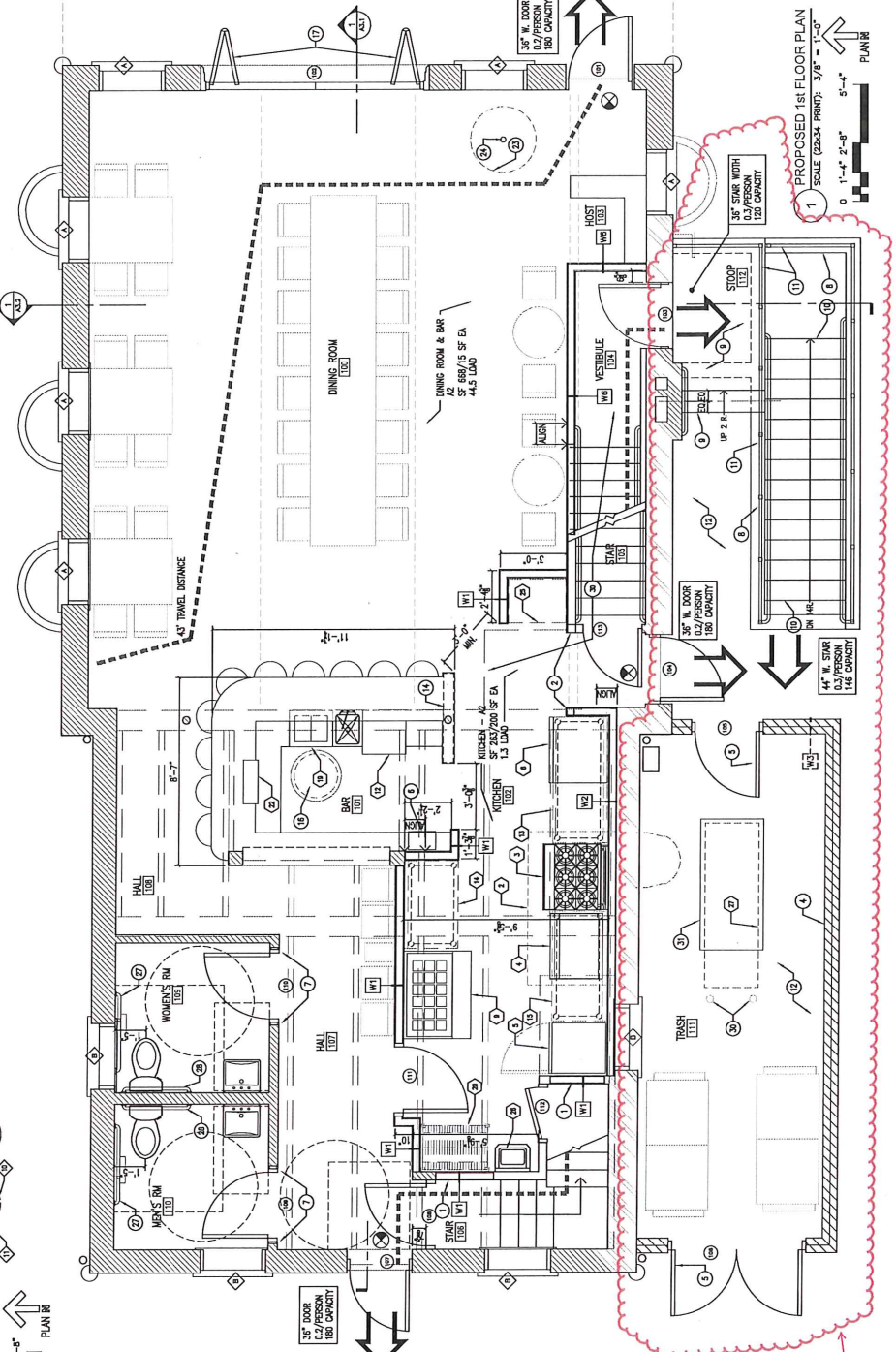
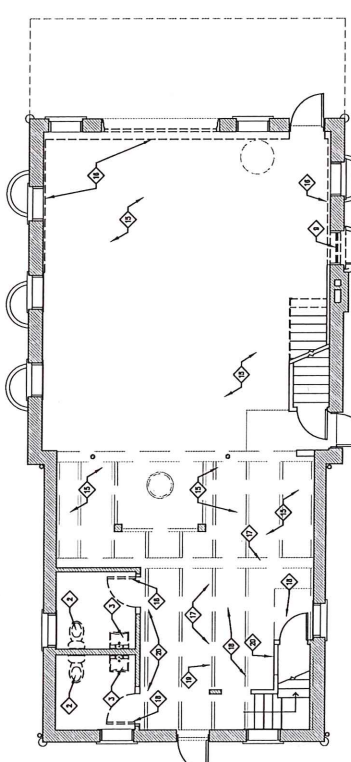
- KEYED NOTES:**
1. 36" GRAB BARS @ 36" MIN. & 36" MAX. AFF.
  2. PAINTED STL. PIPE HANDRAIL
  3. UNDERSIDE OF 2nd FLOOR STAIR
  4. FIRE RESISTANT SHIELD WALL
  5. 6" HIGH BRICK SCREEN WALL - 6" MIN. THICK. TOP FIN. 0.11 & C-11
  6. NEW STEEL FRAME WOOD GLAZED DATE
  7. POINT OF SALE
  8. POINT OF SALE REMOVE EXIST. DOOR AND OPENING TO ALLOW FOR NEW 24" WIDE DOOR
  9. 6" CONCRETE FOUNDATION WALL
  10. CONCRETE STAIR
  11. 42" HIGH ALUM. GUARD RAIL STYLE TYP BY OWNER
  12. REMOVABLE PARTS
  13. RETURN AIR DUCT
  14. GLASS & STL. BACK BRK
  15. SALVAGED W/ CABINET IN NEW LOCATION
  16. FLOOR DRAIN
  17. STL. BR-FOLDING PHOTO DOOR HENNER
  18. WALL MOUNTED INSTANT WATER HEATER
  19. TANK WATER HEATER
  20. STACKED WASHERS & DRYER
  21. SLIDING BARN TYPE DOOR
  22. WELL 3" DIA. FIVE POLE HOLE W/ 200 FRAMING, PLYWOOD SUBFLOOR & NEW FLOORING
  23. MAINTAIN 4"x4" - RECAL IN CEILING AT FIRE POLE HOLE
  24. NEW BRASS FIRE POLE FLOOR
  25. REFRESH ORIGINAL WOOD FLOORING
  26. BULKHEAD W/ SETBACKS AT TOP & BOTTOM OF STAIRS
  27. KEEP 1"X4" TOWER
  28. 36" GRAB BARS @ 36" MIN. & 36" MAX. AFF.

- DRAWING NOTES:**
1. ALL EXISTING WALLS AND CEILING WILL BE REPAIRED AND PAINTED AS NOTED.
  2. ALL FLOORS WILL BE DEMOLISHED TO OWNER SPECIFICATION.
  3. ALL MASONRY WORK WILL BE REPAIRED AND FINISHED WITH A WEATHER REPELLENT.
  4. SEE SHEET A5.1 FOR WALL TYPES.

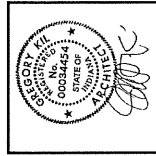
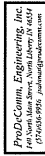
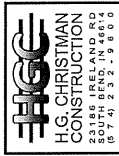
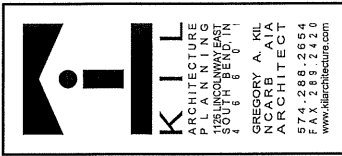
- LIFE SAFETY LEGEND:**
- TRAVEL DISTANCE TO AN EXIT
  - ⊗ LIGHTED EXIT SIGN WITH BROADCAST WORKERS
  - ← EXIT DISCHARGE WITH CAPACITY

- DEMOLITION LEGEND:**
- == REMOVE PARTITION WALL
  - REMOVE
  - REMOVE DOOR, FRAME & HINGE
  - REMOVE SUSPENDED HEATING UNIT
  - REMOVE BLACK PAINTED PLAYWOOD FLOORING
  - REMOVE FURRED OUT WOOD STUD WALL AND CIP. ED. COVERING
  - REMOVE 2x4 WOOD STUD WALL AND CIP. ED. SHEATHING
  - REMOVE DOOR, FRAME & HINGE
  - REMOVE CEILING FRAME AND GYPSUM/PLASTER
  - REMOVE WOOD STUDS TO ALLOW FOR NEW DOOR OPENING
  - REMOVE BRICK WINDOW WELL
  - REMOVE AND RELOCATE EXISTING GAS SERVICE METER

- DEMOLITION LEGEND (CONT.):**
- ⊗ NOT USED
  - ⊗ REMOVE CARPET AND UNDERLAY FLOORING TO EXPOSE WOOD FLOORING BELOW
  - ⊗ REMOVE SUSPENDED HEATING UNIT
  - ⊗ REMOVE BLACK PAINTED PLAYWOOD FLOORING
  - ⊗ REMOVE FURRED OUT WOOD STUD WALL AND CIP. ED. COVERING
  - ⊗ REMOVE 2x4 WOOD STUD WALL AND CIP. ED. SHEATHING
  - ⊗ REMOVE DOOR, FRAME & HINGE
  - ⊗ REMOVE CEILING FRAME AND GYPSUM/PLASTER
  - ⊗ REMOVE WOOD STUDS TO ALLOW FOR NEW DOOR OPENING
  - ⊗ REMOVE BRICK WINDOW WELL
  - ⊗ REMOVE AND RELOCATE EXISTING GAS SERVICE METER



- 1ST FLOOR DEMOLITION PLAN 0 2'-0" x 5'-4" SCALE (2024) PRINT: 3/16" = 1'-0"**
- KEY NOTES:**
1. BLOCK EXIST. OPENING W/ WOOD STUDS TO BE FINISHED WITH 1-HR FIRE RATED ASSEMBLY PER DET.
  2. NEW 4x4 SUPPORT POST FOR STAR ABOVE
  3. FIRE RESISTANT SHIRT WALL
  4. 8" HIGH BRICK SCREEN WALL - SEE SITE DETAIL DRWG. PR. C1.1
  5. NEW STEEL FRAME WOOD GUAD CASE
  6. POINT OF SALE
  7. POINT OF SALE REMOVE EXIST. DOOR, WHEN OPENING TO ALLOW FOR NEW 36" WIDE DOOR
  8. 8" CONCRETE FOUNDATION WALL
  9. CONCRETE STOP
  10. 42" HIGH ALUM. GUARD RAIL STYLE TBD BY OWNER
  11. FENESTRABLE PAGES
  12. RETURN AIR DUCT
  13. GLASS & STL. BACK BAR
  14. SANAGED W/O CABINET IN NEW LOCATION
  15. FLOOR PAN
  16. STL. B-FOLDING PAID DOOR HEATER
  17. WALL MOUNTED INSTANT WATER HEATER
  18. TANK WATER HEATER
  19. STACKED W/HEAT & DRYER
  20. SLIDING BARN TYPE DOOR
  21. INFILL 2" DIA. POLE HOLE SUBFLOOR & NEW FLOORING
  22. MAINTAIN 4"x4" REVEN. IN CEILING AT FIRE POLE HOLE
  23. NEW BRASS FIRE POLE, FLOOR TO CEILING
  24. REDISH ORIGINAL WOOD FLOORING
  25. BALANCE W/ BELINGS AT TOP & BOTTOM OF STAIRS
  26. 42" GRAB BARS @ 35" MIN. & 36" MAX. AFF.
  27. 35" GRAB BARS @ 35" MIN. & 36" MAX. AFF.
- KITCHEN EQUIPMENT KEY NOTES:**
1. NEW EXHAUST HOOD CHASE & VENTILATOR CONNECTED TO (1) WINDOW OPENING ABOVE
  2. NEW EXHAUST HOOD CHASE & VENTILATOR
  3. GAS RANGE (NC)
  4. GAS GRIDDLE (NC)
  5. 27" REFRIGERATOR (NC)
  6. GLASS FRONT SALES COOLER (NC)
  7. 27" FREEZER (NC)
  8. 48" KEG COOLER
  9. 48" MEGA-TOP PREP TABLE (NC)
  10. PREP. SINK
  11. DISHWASHER 3 COMPARTMENT SINK
  12. DISHWASHER
  13. 30"x35" S.S. PREP TABLE (NC)
  14. 30"x44" S.S. PREP TABLE (NC)
  15. 30"x45" S.S. PREP TABLE (NC)
  16. 30"x46" S.S. PREP TABLE (NC)
  17. 17" S.S. PREP TABLE W/ 2-COMPARTMENT SINK
  18. ICE MAKER
  19. ICE CHEST
  20. STORAGE SHELVING (NC)
  21. FOUNTAIN STIRUP STORAGE BOX (NC)
  22. BEER TAP TOWER
  23. UNDER-COUNTER DRAWER (NC)
  24. S.S. WALL SHELF (NC)
  25. 24"x30" S.S. WORK TABLE (NC)
  26. HAND SINK
  27. GAS FIRED MAKEUP AIR LINE (NC)
- AREA OF NEW WORK**

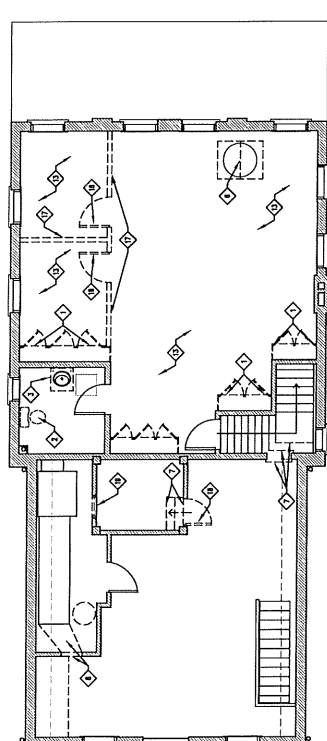


- DRAWING NOTES:**
1. ALL EXISTING WALLS AND PARTITIONS TO BE REMOVED AND REPAINTED AS SHOWN.
  2. ALL FLOORS WILL BE REFINISHED TO OWNER SPECIFICATION.
  3. ALL MASONRY WORK WILL BE RE-POINTED AND REPAIRED WITH A BREATHABLE WATER RESISTANT FINISH.
  4. SEE SHEET A1.1 FOR WALL TYPES.

- LIFE SAFETY LEGEND:**
- TRAVEL DISTANCE TO AN EXIT
  - LIGHTED EXIT SIGN WITH DIRECTION
  - ARROWS
  - EXIT DISCHARGE WITH CAPACITY

- DEMOLITION LEGEND:**
- REMOVE PARTITION WALL
  - REMOVE
  - REMOVE DOOR, FRAME, & HINGE

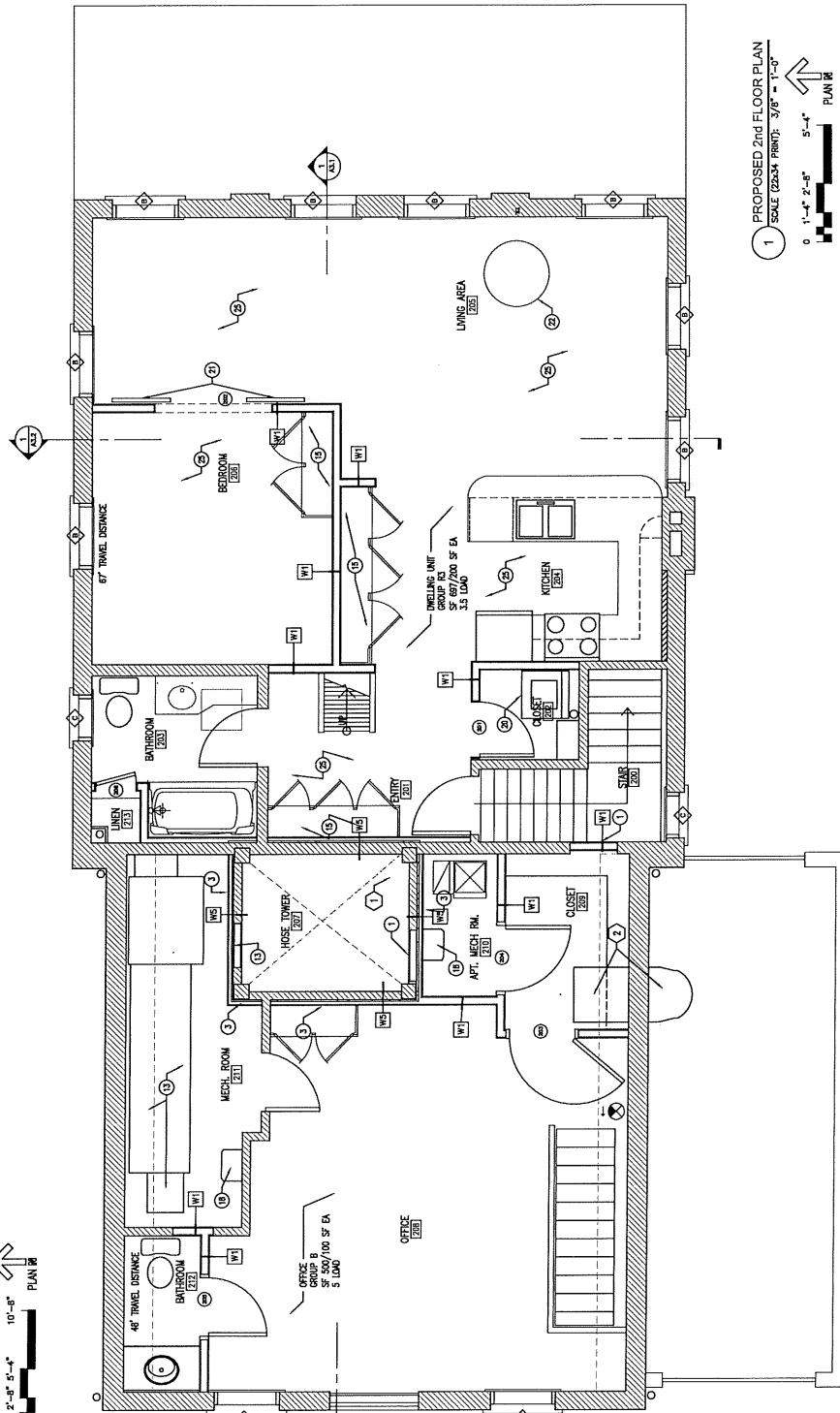
- DEMOLITION NOTED NOTES:**
- REMOVE AND RETAIN EXISTING CONCRETE TO BE USED IN NEW CONCRETE
  - REMOVE EXISTING TOILET
  - REMOVE EXISTING LAVATORY
  - EXCAVATE FOR NEW CONCRETE FOUNDATION WALLS AND STAIR TO BASEMENT LEVEL
  - REMOVE BRICK PLASTER AND REPAIR BRICK WALL BEHIND TO BE FLUSH
  - REMOVE EXISTING WOOD COVER
  - REMOVE EXISTING STEPS AND REPAIR SURROUNDING WALLS AND DACTWORK
  - REMOVE SECTION AIR GRILLE
  - REMOVE WINDOW SILL AND BRICK MASONRY AT MOUTH OF EXISTING OPENING
  - REMOVE BRICK WINDOW WELL
  - REMOVE AND RELOCATE EXISTING GAS SERVICE NEEDS
- NOT USED:**
- REMOVE CARPET AND UNDERLAY FLOORING TO EXPOSE WOOD FLOORING
  - REMOVE SUSPENDED HEATING UNIT
  - REMOVE BLACK PAINTED PLYWOOD FLOORING
  - REMOVE FINISH OUT NO. 20 S.D. WALL AND GYP. ED. COVERING
  - REMOVE 2x4 W/ GYP. ED. COVERING AND GYP. ED. BEARING
  - REMOVE DOOR, FRAME & HINGE
  - REMOVE EXISTING STEPS AND REPAIR SURROUNDING WALLS AND DACTWORK
  - REMOVE GYP. ED. & W/ STUDS TO ALLOW FOR NEW DOOR OPENING



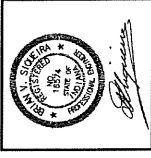
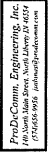
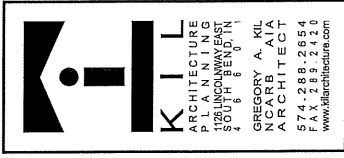
2 2nd FLOOR DEMOLITION PLAN  
SCALE (225x PRINT): 3/8" = 1'-0"  
PLAN B

- KEYED NOTES:**
1. BLOCK PART. OPENING W/ NO. 20 S.D. WALL
  2. NEW 4x4 SUPPORT POST FOR 2ND FLOOR STAIR
  3. FIRE RESISTANT SHUNT WALL - 8\"/>

4. 8\"/>
5. NEW STEEL FRAME WOOD CLAD DOOR
6. POINT OF SALE
7. FRONT OF SALE REMOVE EXIST. DOOR, WHEN OPENING TO ALLOW FOR NEW 36\"/>
8. CONCRETE FOUNDATION WALL
9. CONCRETE STOOP
10. CONCRETE STAIR
11. 4\"/>
12. REMOVABLE PARTS
13. RETURN AIR DUCT
14. GLASS & STL BACK BAR LOCATION
15. SWANED W/ CABINET IN NEW LOCATION
16. FLOOR DRAIN
17. STL. B-FOLLOWING PARTO DOOR
18. WALL-MOUNTED INSTANT WATER HEATER
19. TANK WATER HEATER
20. STACKED WASHER & DRYER
21. SLIDING BARN TYPE DOOR
22. WALL 1\"/>
23. HANGING 4\"/>
24. NEW BRASS FIRE POLE FLOOR TO CEILING
25. REMOVE ORIGINAL WOOD FLOORING
26. FINISH W/ REPAIRS AT TOP & BOTTOM OF STEPS
27. 4\"/>



1 PROPOSED 2nd FLOOR PLAN  
SCALE (225x PRINT): 3/8" = 1'-0"  
PLAN B



RESTAURANT  
CONVERSION  
AT  
FIREHOUSE  
No. 6  
701 PORTAGE AVENUE  
SOUTH BEND, IN  
46614

ATTIC PLAN

DATE: MARCH 10, 2018  
INDIANA DIS PLAN REVIEW

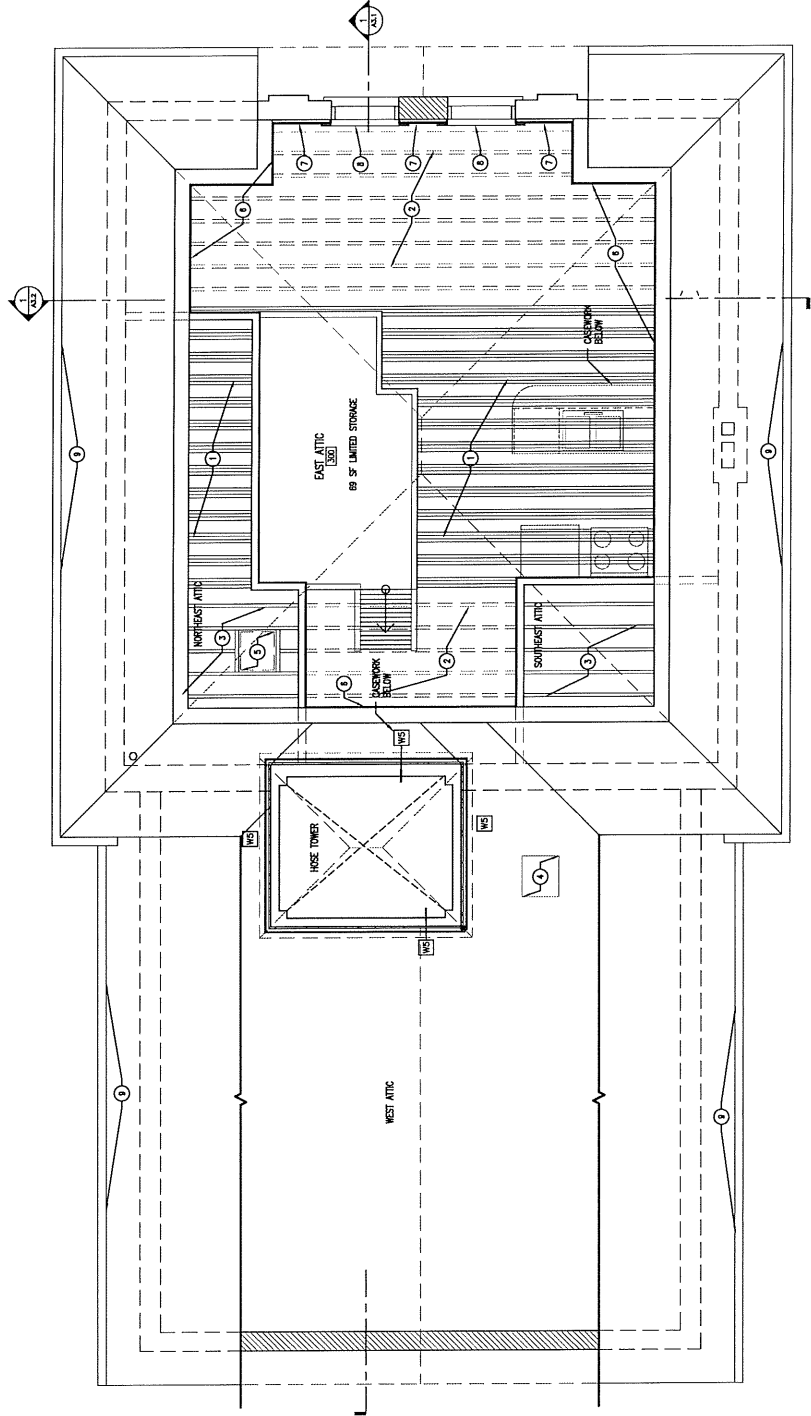
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DATE: 3/10/18  
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DATE: 3/10/18

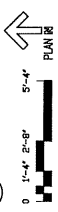
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- ATTIC FIELD NOTES:
1. 1" X 6" LVL SPACERS ON EACH SIDE OF EXISTING JOIST - CONNECT W/ 2" THRU BOLTS @ 24" O.C. TOP AND BOTTOM
  2. REMOVE ALL CEILING JOISTS SHOWN IN DASHED LINES
  3. CEILING JOISTS TO REMAIN W/ NO CHANGE
  4. EXISTING ACCESS HATCH
  5. REMOVE EXISTING ACCESS HATCH
  6. 1" ONE ON EXISTING RAFTERS FILLED W/ SPUNKED FOAM INSULATION
  7. 1" ONE ON 1" W.G. FLOORING FILLED W/ SPUNKED FOAM INSULATION - DOWN TO EXISTING PLASTER
  8. 1" X 4" REMAIN IN TEN ON EXIST WINDOWS (TYP)
  9. CORNER CENTER AND PARALLEL



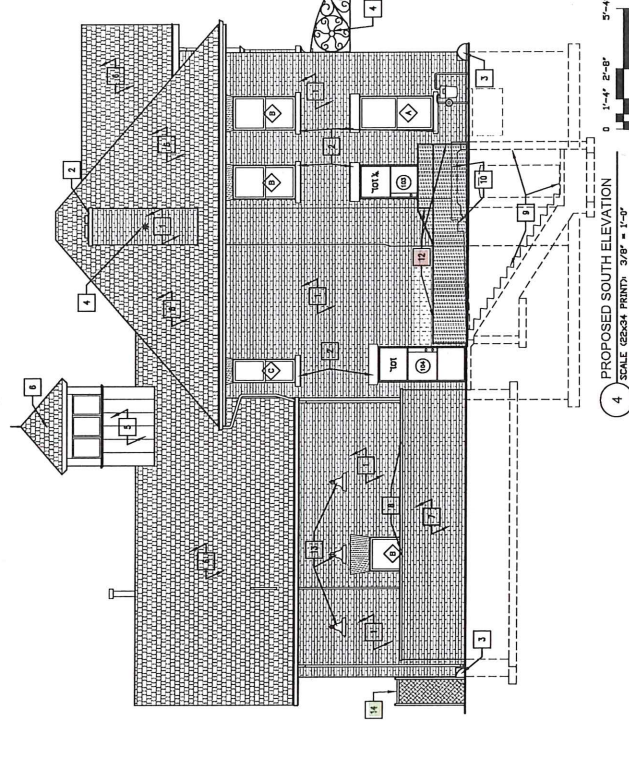
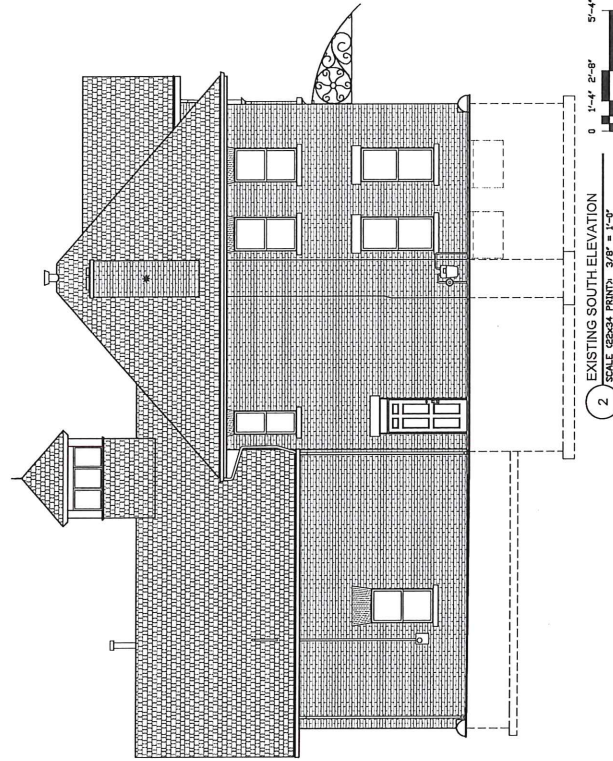
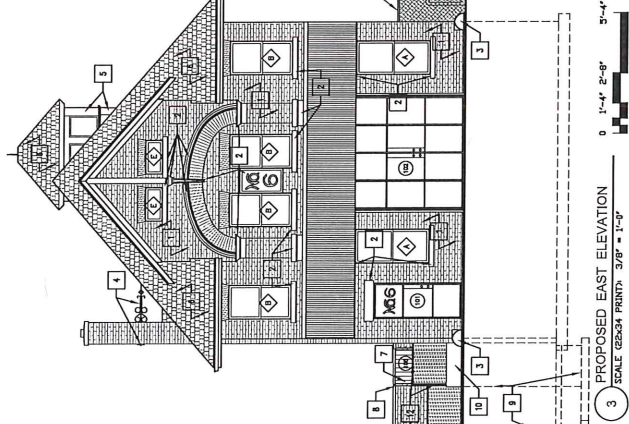
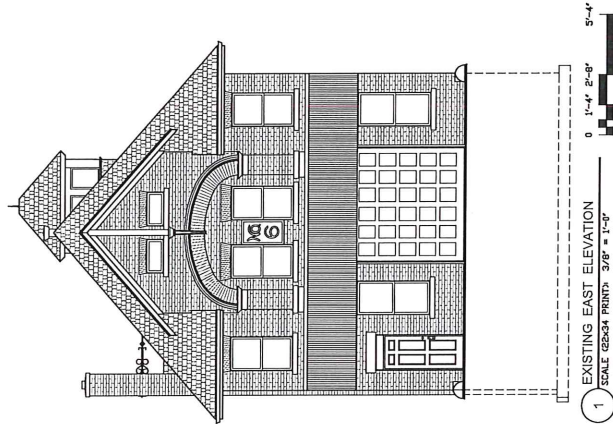
1 PROPOSED ATTIC PLAN  
SCALE: GE2x34 PRINT: 3/8" = 1'-0"



PLAN 18



- KEY NOTES:**
- 1 DIST. BRICK WALLS
  - 2 DIST. LIMESTONE UNITS, SILLS, AND DETAILS
  - 3 DIST. LIMESTONE CORNER BLOCKS
  - 4 DIST. WROUGHT IRON ANVING BRACKETS
  - 5 DIST. ROSE TOWER W/ VERTICAL METAL SING
  - 6 SHINGLED ROOF
  - 7 BRICK DUMPISTER ENCLOSURE
  - 8 LIMESTONE CAP
  - 9 CONC. STAR WELL. SEE DETAILS ON PG. S11
  - 10 CONCRETE STOP. SEE DETAILS ON PG. S11
  - 11 RE-LOCATED GAS METER
  - 12 BLACK STEEL 4" HIGH CHAIR/HAND RAIL TO MATCH FENCE
  - 13 EXTENDS CUSTOM USE# FENCES TO MATCH LANGUAGE OF OTHER IRON WORKS ON THE BUILDING
  - 14 CHAIN LINK ENCLOSURE WITH LANDSCAPE SCREENING ARBOR VITAE OR SIMILAR PLANTING. (LANDSCAPING NOT SHOWN)



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 A R C H I T E C T  
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 ( 5 7 4 ) 2 3 2 - 9 8 0 0  
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 South Bend, IN 46615  
 (574) 232-9800



RESTAURANT  
 CONVERSION  
 AT  
 FIREHOUSE  
**No. 6**  
 701 PORTAGE AVENUE  
 SOUTH BEND, IN  
 4 6 6 1 6

SOUTH & EAST  
 ELEVATIONS

DATE: MARCH 19, 2016  
 INDIANA DHS PLAN REVIEW

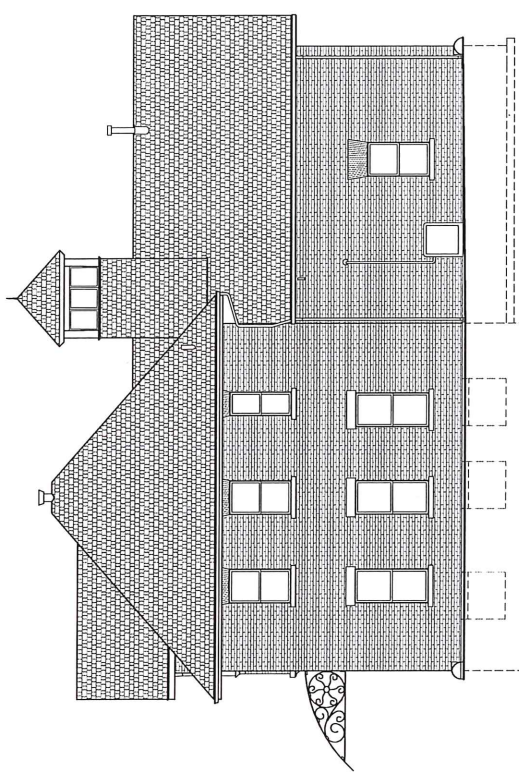
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REVISIONS:

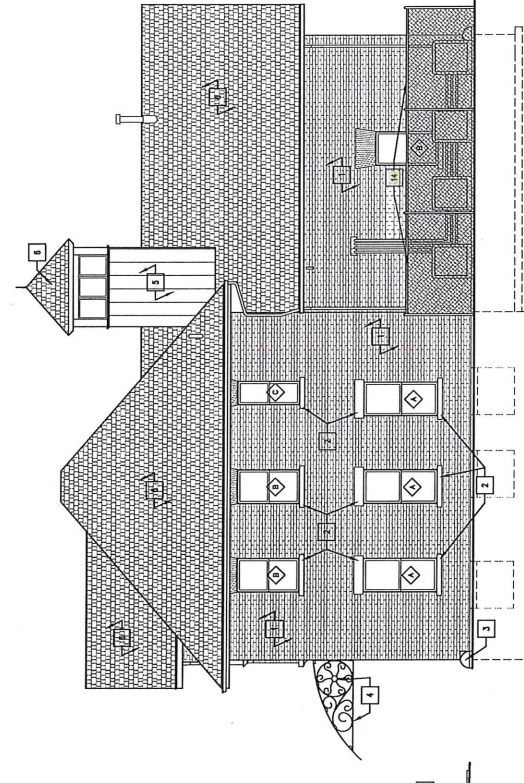
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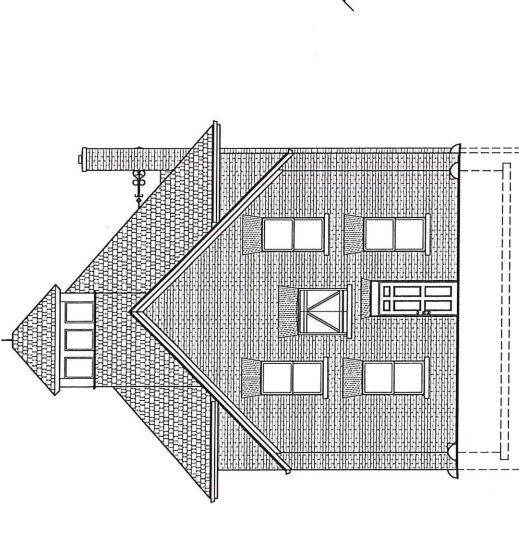
- KEY NOTES:**
- 1 EXIST. BRICK WALLS
  - 2 EXIST. LIMESTONE LINTLS, SILLS, AND DETAILS
  - 3 EXIST. LIMESTONE CORNER BLOCKS
  - 4 EXIST. WROUGHT IRON ANKING BRACKETS
  - 5 EXIST. HOSE TOWER W/ VERTICAL METAL SIGN
  - 6 SHINGLED ROOF
  - 7 BRICK DUMPSTER ENCLOSURE
  - 8 LIMESTONE CAP
  - 9 CONC. STAR WELL. SEE DETAILS ON PG. S1.1
  - 10 CONCRETE STOP. SEE DETAILS ON PG. S1.1
  - 11 RE-LOCATED GAS METER
  - 12 BLACK STEEL 4" HIGH GUARD/HAND RAIL TO MATCH FENCE
  - 13 EXTERIOR CUSTOM LIGHT FIXTURES TO MATCH LANGUAGE OF OTHER IRON WORKS ON THE BUILDING
  - 14 CHAIN LINK ENCLOSURE WITH LANDSCAPE SCREENING (ARBOR OR FENCE) TO MATCH EXISTING (AND), HANDSICAPING NOT SHOWN.



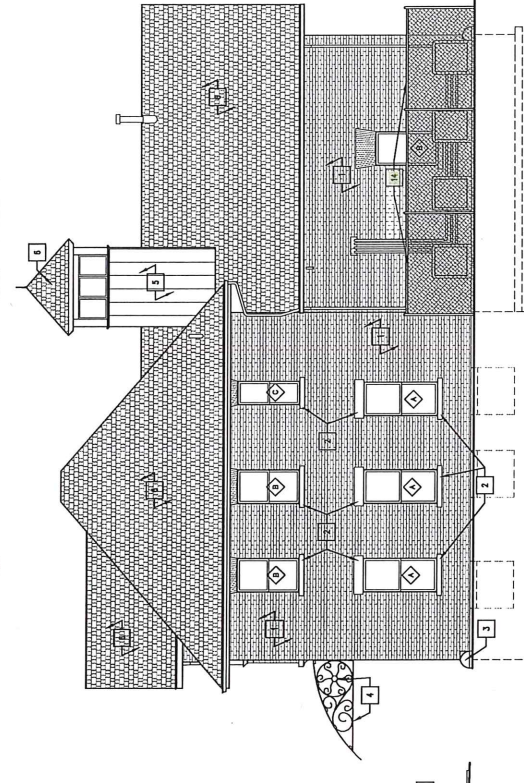
1 EXISTING WEST ELEVATION  
SCALE: 62x24 PRINT: 3/8" = 1'-0"



2 EXISTING NORTH ELEVATION  
SCALE: 62x24 PRINT: 3/8" = 1'-0"



3 PROPOSED WEST ELEVATION  
SCALE: 62x24 PRINT: 3/8" = 1'-0"

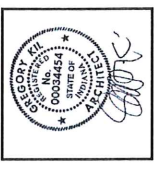


4 PROPOSED NORTH ELEVATION  
SCALE: 62x24 PRINT: 3/8" = 1'-0"

**K I L**  
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P A N I N G  
1126 LACONWAY EAST  
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874.232.9800

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Professional Engineer  
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219.338.1100



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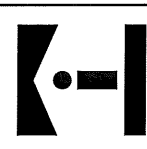
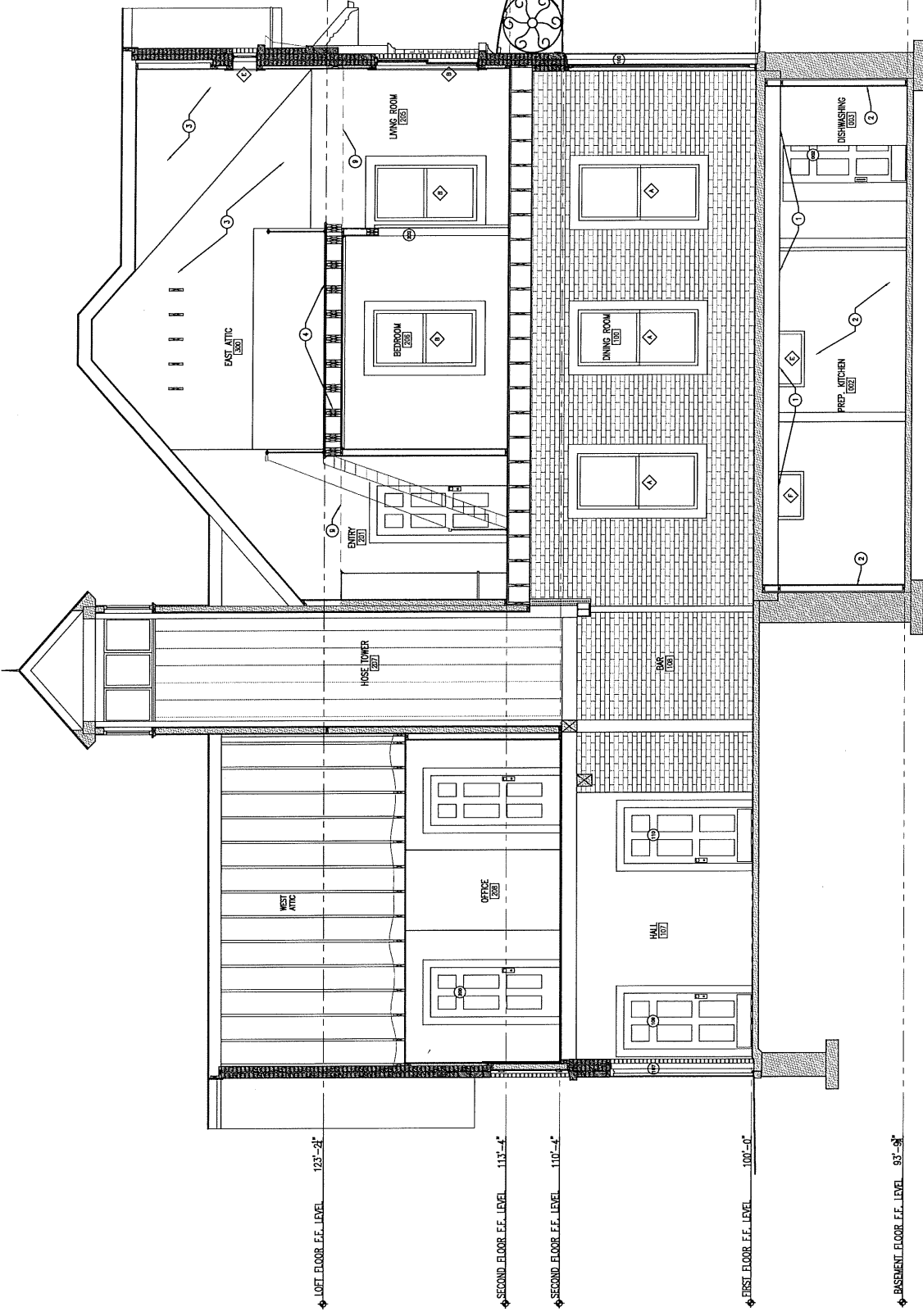
**NORTH & WEST  
ELEVATIONS**

DATE: MARCH 19, 2018  
INDIANA DSHS PLAN REVIEW

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**A2.2**  
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- SECTION KEY NOTES:**
- 1 PAINT CONCRETE CEILING
  - 2 FINISH WALLS W/ 1/2" G.B. 7' 11" STUBS & EXIST. STONE WALL
  - 3 ROOF HATCHES MAINTAINED WITH CLOSED CELL FLOW INSULATION & COVERED IN 1" G.B. ATTACHED DIRECT TO BOTTOM OF HATCHES, 1/2" X 1/2" X 1/2" X 1/2"
  - 4 ATIC DECK ON EXIST. CEILING WITH PANELED MEMBERS
  - 5 NEW 3/8" METAL HANG/BOARD RAIL
  - 6 NEW SERVICE STAIR LANDING, AND STAIR
  - 7 NEW RESIDENTIAL KITCHEN
  - 8 NEW BAR
  - 9 USE WARE NEW G.B. TO MEET WITH EXISTING PLASTER WALL FINISH



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SOUTH BEND, IN  
46601

**BUILDING  
SECTION E-W**

DATE: MARCH 10, 2018  
INDIANA DHS PLAN REVIEW

REVISED:

PROJECT NO.: 18-001  
DATE: 03/10/18  
DRAWN BY: GAK  
CHECKED BY: GAK  
SCALE: AS SHOWN

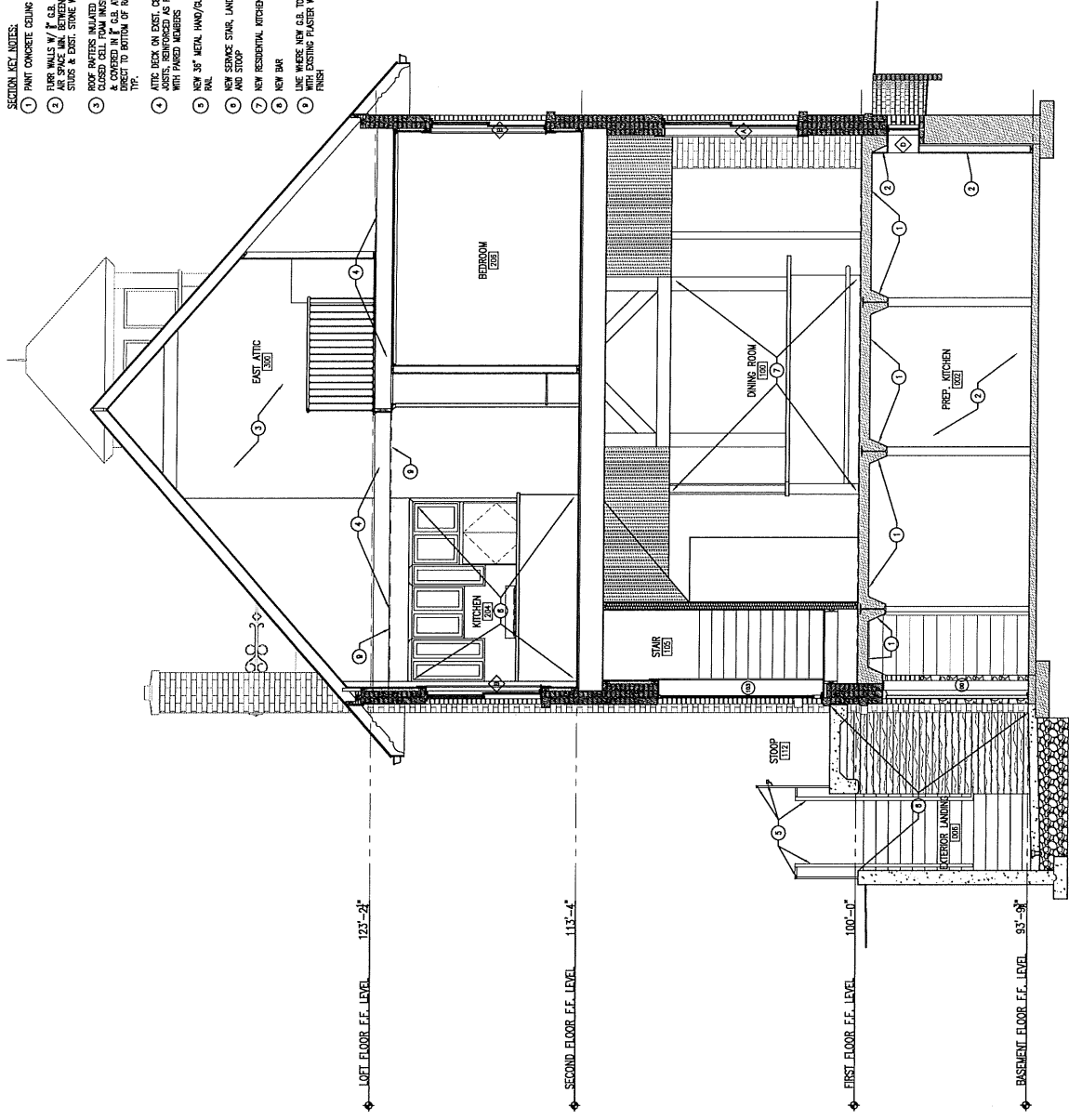
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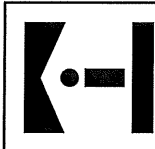
1 E - W BUILDING SECTION  
SCALE: 3/8" = 1'-0"  
0 1'-4" 2'-8" 5'-4"

**SECTION LCL NOTES:**

- 1 PAINT CONCRETE CEILING
- 2 FURF WALLS W/ 7" G.S. 7" 1" AIR SPACE LIN. BETWEEN NEW STUCCO & EXIST. STONE WALL
- 3 ROOF rafters insulated with 2" polyiso. 2x12s @ 16" O.C. & covered in 1/2" gypsum board. Gypsum board direct to bottom of rafters. Typ.
- 4 ATTIC DECK ON EXIST. CEILING JOISTS, REINFORCED AS REQ'D WITH PAGED MEMBERS
- 5 NEW 3/4" METAL HAND/GUARD RAIL
- 6 NEW SERVICE STAIR, LANDING, AND STOP
- 7 NEW RESIDENTIAL KITCHEN
- 8 NEW BAR
- 9 LINE WHERE NEW G.B. TO MEET EXISTING PLASTER WALL FINISH



1 N-S BUILDING SECTION  
SCALE: 3/8" = 1'-0"  
0 1'-4" 2'-8" 5'-4"

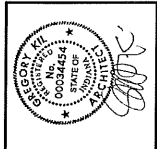


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701 PORTAGE AVENUE  
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46606

**BUILDING**  
SECTION N-S

DATE: MARCH 10, 2018  
INDIANA DHS PLAN REVIEW

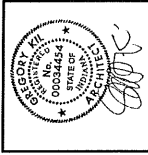
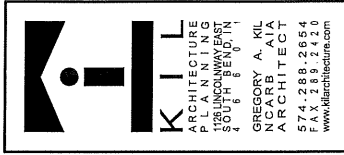
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**No. 6**  
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48106-1001

WALL TYPES  
& SECTIONS

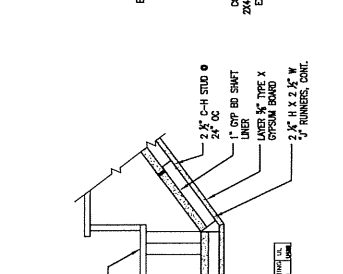
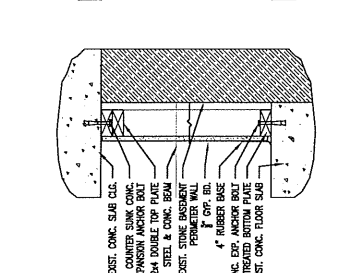
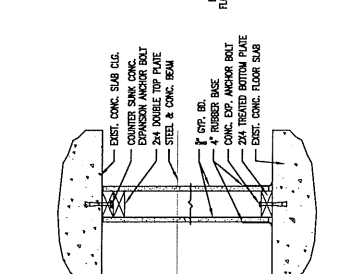
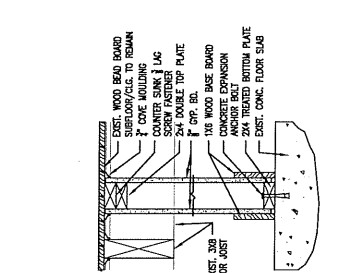
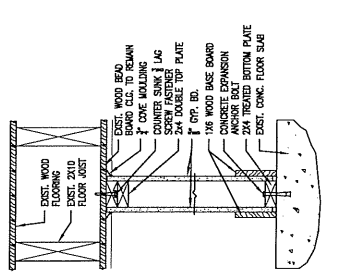
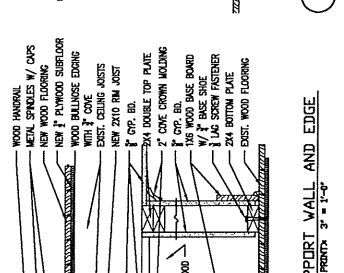
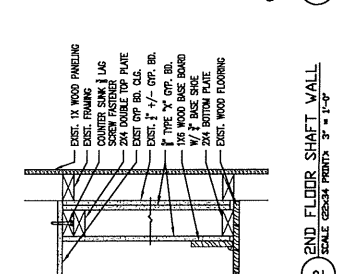
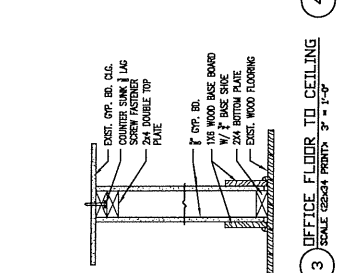
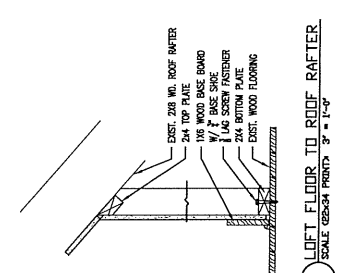
DATE: MARCH 10, 2018  
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ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.  
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL BUILDING CODE (IBC).

**A5.1**

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W1

W2

W3

W4

W5

W6

WALL TYPE	DESCRIPTION	FOUNDATION	CEILING	FLOOR	ROOF	TEST	HOURLY RATING
W1	INTERIOR PARTITION WALL		5/8" OPSUM BOARD	2x4 WOOD STUD @ 16" O.C.	5/8" OPSUM BOARD	TEST	1 HR
W2	INTERIOR FURRED WALL		1-1/2" AIR SPACE, EXISTING MASONRY WALL, 2x4 WOOD STUD @ 16" O.C., R-7.1 BATT INSULATION, 5/8" OPSUM BOARD			TEST	1 HR
W3	EXTERIOR WALL	2 W/YES POLYMER BRICK, SPREAD CONC. FOUNDATION				TEST	1 HR
W4	FOUNDATION WALL	8" CAST IN PLACE CONC. WALL, SPREAD CONC. FOUNDATION				TEST	1 HR
W5	FIRE BARRIER @ SHAFT		EXIST. FRAMED WALL, OPT. BR. SHIP LUG, LAYER 3/4" TYPE X OPSUM BOARD, 2x4, P-H STUD @ 24" O.C.			TEST	1 HR
W6	1-HR FIRE PARTITION				5/8" TYPE X OPT. BR. EA. SIDE, 2x4 STUDS @ 16" O.C.	TEST	1 HR

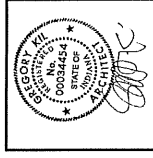
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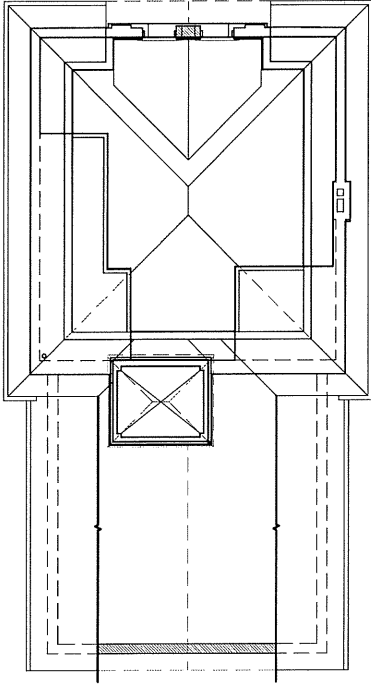
REFLECTED  
 CLG PLANS

DATE: MARCH 19, 2018  
 INDIANA DHS PLAN REVIEW

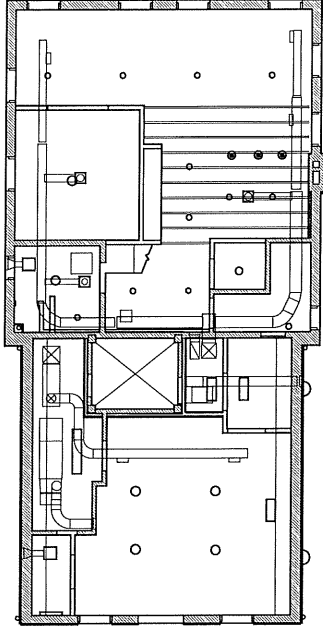
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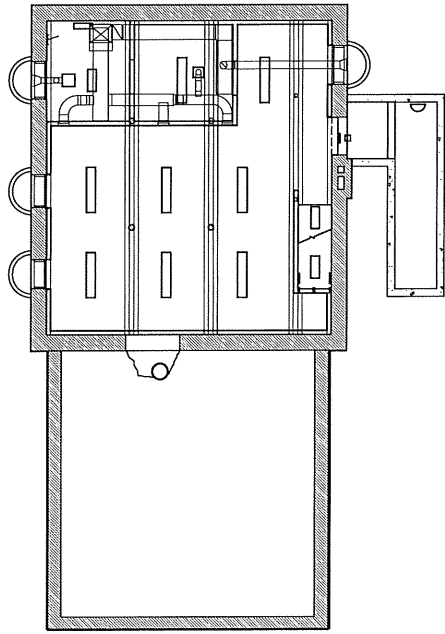
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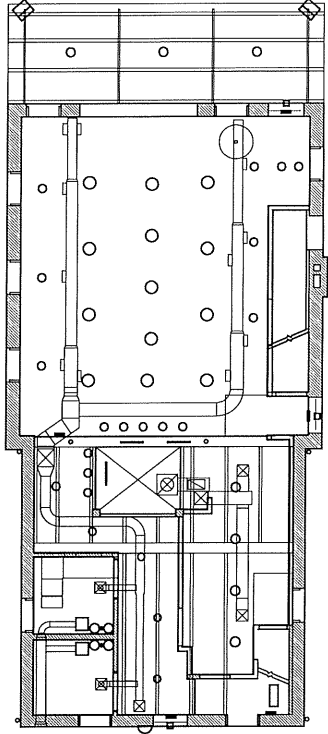
4 ATTIC REFLECTED CLG PLAN  
 SCALE: 3/16" = 1'-0"  
 PLAN



3 2ND FLR REFLECTED CLG PLAN  
 SCALE: 3/32" PRINTS, 3/16" = 1'-0"  
 PLAN



1 BASEMENT REFLECTED CLG PLAN  
 SCALE: 3/16" PRINTS, 3/16" = 1'-0"  
 PLAN



2 1ST FLR REFLECTED CLG PLAN  
 SCALE: 3/32" PRINTS, 3/16" = 1'-0"  
 PLAN







FENCE PRODUCTS, INC.

	Residential	Avalanche Series™	Commercial	Industrial/Heavy Ind.
<b>Post</b>	2" x 2" x .060 Wall*	2" x 2" x .060 Wall*	2" x 2" x .060 Wall*	2-1/2" x 2-1/2" x .075 or .100 Wall
	2" x 2" x .080 Wall	2" x 2" x .080 Wall	2" x 2" x .080 Wall	3" x 3" x .125 Wall
	2" x 2" x .125 Wall	2" x 2" x .125 Wall	2" x 2" x .125 Wall	4" x 4" x .125 or .250 Wall
	2-1/2" x 2-1/2" x .075 or .100 Wall	2-1/2" x 2-1/2" x .075 or .100 Wall	2-1/2" x 2-1/2" x .075 or .100 Wall	6" x 6" x .125 or .250 Wall
<b>Horizontal Rails</b>	1-1/8" x 1"	1-1/8" x 1" for Residential 1-3/8" x 1-1/4" for Commercial	1-1/8" x 1-3/4"	1-5/8" x 1-5/8"
<b>Enclosed Bottom</b>	N/A	N/A	N/A	Heavy Industrial Only
<b>Side Walls</b>	.082	.082	.082	.100
<b>Top Walls</b>	.062	.062	.062	.070
<b>Pickets</b>	5/8" x 5/8" x .050 Wall or 5/8" x 1" x .050 Wall	5/8" x 5/8" x .050 Wall or 5/8" x 1" x .050 Wall For Residential 3/4" x 3/4" x .050 Wall or 3/4" x 1" x .062 Wall For Commercial	3/4" x 3/4" x .050 Wall or 3/4" x 1" x .062 Wall	1" x 1" x .062 Wall
<b>Picket Spacing</b>	3-13/16" or 1-5/8"	3-13/16" or 1-5/8" for Residential 3-3/4" or 1-1/2" for Commercial	3-3/4" or 1-1/2"	3-3/4" or 1-3/8"
	3" Picket Spacing Available in Most Grades and Styles, Please Call for Details.			
<b>Heights</b>	3, 3 1/2, 4, 4 1/2, 5, & 6 Feet	3, 3 1/2, 4, 4 1/2, 5, & 6 Feet	3, 3 1/2, 4, 4 1/2, 5, & 6 Feet	3, 3 1/2, 4, 5, 6, 7, 8 & 10 Feet
<b>Panel Length</b>	6'	6' for Residential 6' or 7' 6" for Commercial	6' or 7' 6"	6' 3" or 8'

Panels come fully assembled in above Heights & Lengths. Custom Heights available please call for details.

**Screws:** 410 Stainless Steel corrosion resistant. The heads are coated with zinc and yellow chromate, then painted to match the color of the fence.

**Colors Available:** Black, Quaker Bronze, White, Walnut Brown, Beige, Sandstone & Hartford Green. Custom colors available upon request.

*\*Not available in Walnut Brown, Beige, Sandstone or Hartford Green*



Residential



Avalanche Series™  
No Exposed Screws  
(Patent Pending)



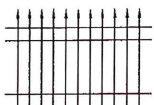
Commercial



Industrial



Heavy Industrial  
No Exposed Screws



EFS-10



EFS-15



EFF-20



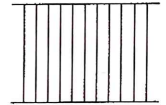
EFF-25



EFS-50



EFS-55



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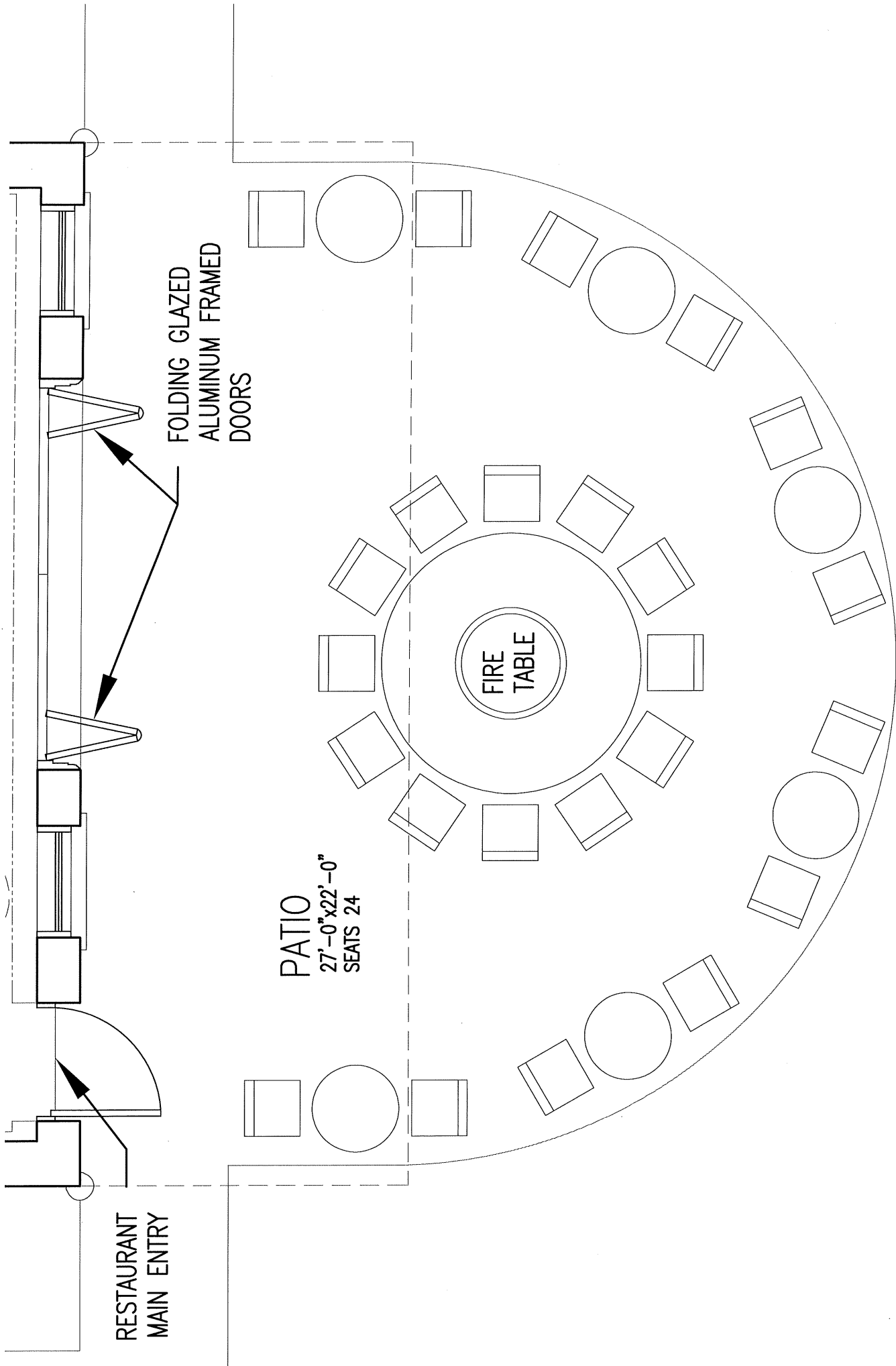
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COATED  
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PROUDLY MADE IN AMERICA  
EXTRUDED & ASSEMBLED



We are environmentally responsible

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MAIN ENTRY

FOLDING GLAZED  
ALUMINUM FRAMED  
DOORS

PATIO  
27'-0" x 22'-0"  
SEATS 24

FIRE  
TABLE

ENLARGED PATIO PLAN



# TOWN HALL®



With more substantial proportions than **Copthorne®**, Town Hall is cast from original brick street pavers and offers a distressed, time-worn appearance. As well, with Unilock's ever-increasing focus on permeable pavers, Town Hall has been designed to satisfy both traditional and permeable installation methods.



BURGUNDY RED



BURNT CLAY



OLD OAK



BASALT



3 COLOUR BLEND  
BLENDED ON SITE



HERITAGE RED



HERITAGE CLAY



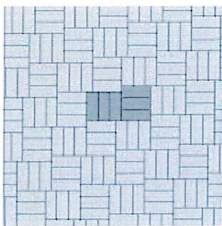
HERITAGE 2 COLOUR BLEND  
BLENDED ON SITE



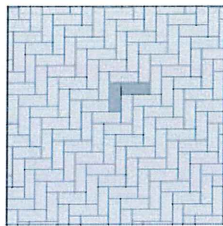
STANDARD  
25 CM X 10 CM X 7 CM  
9.875" X 3.875" X 2.75"

Stones & Bundling	Unit	SqFt Per			Per Bundle	Soldier LnFt Per		Sailor LnFt Per		Units Per		Lbs Per	
	Thickness	Bundle	Layer	Stone	Layers	SqFt	Bundle	SqFt	Bundle	SqFt	Bundle	Layers	Bundle
Standard	2-3/4" (7cm)	88.41	11.05	0.28	8	0.84	104.99	0.34	262.47	3.62	320	361	2888

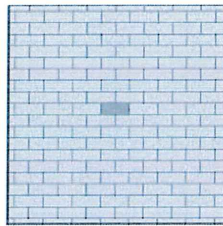
Sold in full or half bundles only on a refundable skid. All measurements are nominal. Important: Textured surfaces require a buffer between the plate compactor and the paver surface to prevent scuffing. Take extra care when using Polymeric Sand with this product. Call for more information.



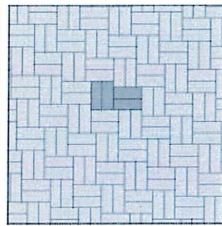
Town Hall A  
Standard (100%)



Town Hall B  
Standard (100%)



Town Hall C  
Standard (100%)



Town Hall D  
Standard (100%)



Fire table: photo to show intent

