



Department of  
**Community Investment**

## Redevelopment Commission Agenda Item

DATE: December 15, 2016  
FROM: Brian Pawlowski, Interim Executive Director  
SUBJECT: Budget Request: Fire Station #4

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The City of South Bend is making vital improvements to its infrastructure, including the upgrading of existing services building stock. The age/condition/configuration at some existing facilities are such that reuse and modification of the facility isn't feasible, as is the case with Fire Station # 4 on Olive St. As such, the City is planning a new, replacement Fire Station #4 facility on the same parcel where the existing station is located.

The new Station #4 has been designed to become the City of South Bend's first LEED Silver certified building. The existing station has served both as a residential facility and as a maintenance facility for department vehicles since 1973. The new Station #4 will be located immediately north of the existing facility, and after demolition of the existing building, the remainder of the block will form a new fire station/neighborhood greenspace, maintained by the Station, as an outreach to its immediate community neighbors.

Station #4 will be a two-story, 8,200 square foot residential station accommodating three crews of eight, with a two-bay drive-thru Apparatus Bay housing one engine and one ambulance. The apparatus bay has been designed, however, to accommodate two ambulances and one aerial (ladder) truck as the need arises.

The architecture of the station has been designed to reflect and enhance its immediate neighborhood. Using both traditional brick masonry and a contemporary metal panel system, the building will display the nature of the station as a "home" and the station as a center of the latest in firefighting technology. While not being entirely visible from the surrounding streets, the station will also include a 325 watt, 72 cell solar panel array for power production.

The mechanical, electrical, and plumbing systems, being designed to a LEED Silver standard, will utilize the new and efficient systems to minimize its carbon footprint. Some of these innovations include a direct digital facility management system that will control the HVAC systems and the interior and exterior lighting, utilizing all LED fixtures with vacancy and daylighting sensors. In addition, the station will be fully equipped with an automatic sprinkler system.



The site layout of the station has been designed to minimize its footprint, while accommodating the drive-thru apparatus bay's front and rear aprons. This drive-thru approach should limit hazards common to the existing station of relying on stopping traffic on Olive Street and the backing-up of fire trucks upon each return to the station. There will be 100% water retention on-site, with extensive use of native species planting. An irrigation system has not been included, utilizing strategic placement of bio-swales. Surrounding the new greenspace to the south will be a six foot wide asphalt walking path.

Staff requests a not-to-exceed budget of \$3m from the River West Development Area for the new Fire Station # 4.

INTERNAL USE ONLY: Project Code: 16J015

Total Amount new/change (inc/dec) in budget: \$3,000,000; broken down by:

Acct #324-1050-460-42.02 Amt:TBD ; Acct #324-1050-460-31.02 Amt:TBD;

Acct #324-1050-460-39-82 Amt:TBD; Acct #324-1050-460-31.06 Amt:TBD;

Going to BPW for Contracting? Yes Is this item ready to encumber now? NO

Existing PO# \_\_\_\_\_ Inc/Dec \$ \_\_\_\_\_

Issued For:

No.	Description	Date
1	DD OWNER REVIEW	06/09/2016
2	DD SUBMISSION	06/24/2016
3	90% REVIEW SUBMISSION	07/28/2016
4	95% OWNER REVIEW SUBMISSION	08/09/2016
5	100% INTERNAL REVIEW SET	08/23/2016
6	100% OWNER REVIEW SUBMISSION	09/02/2016
7	100% REVIEW	09/13/2016
8	BIDDING DOCUMENTS	11/08/2016

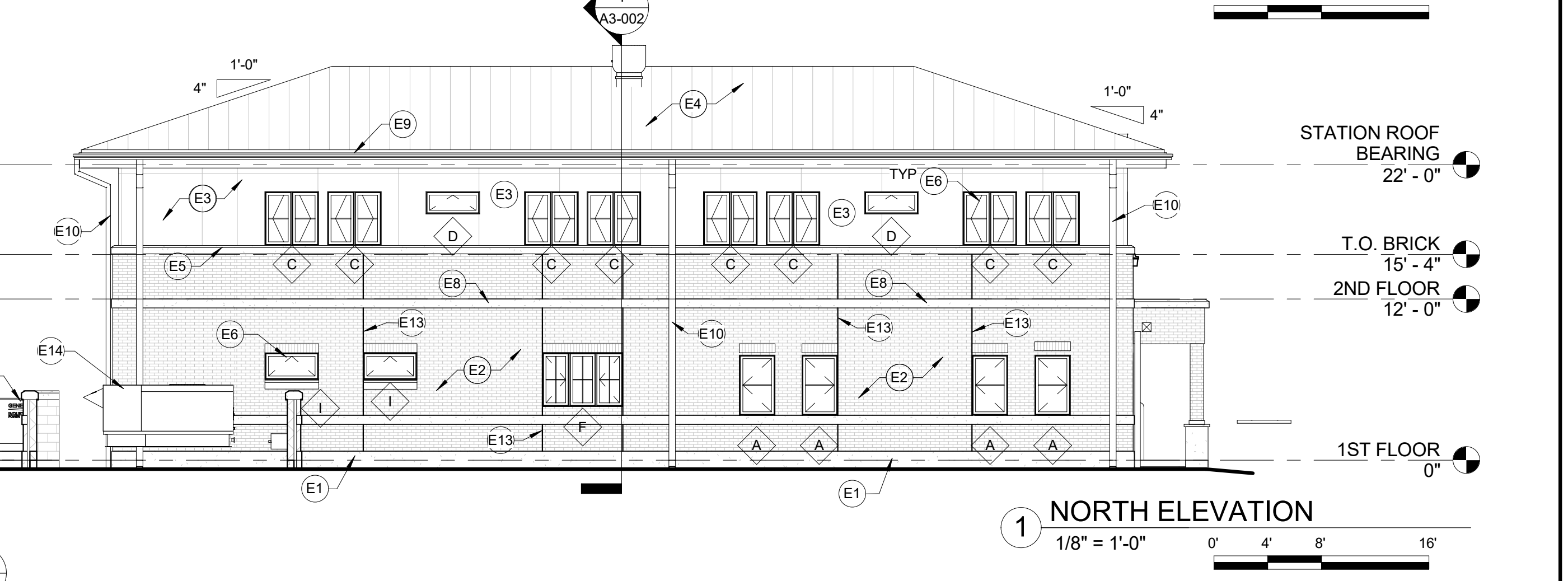
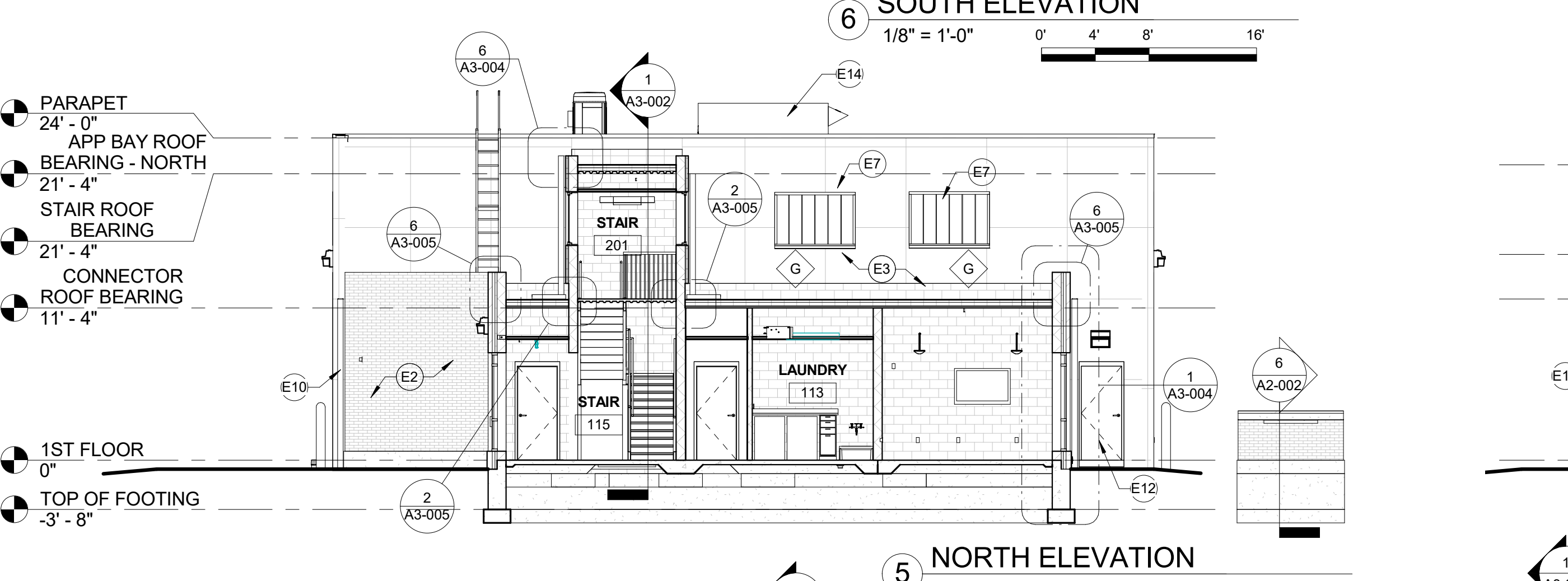
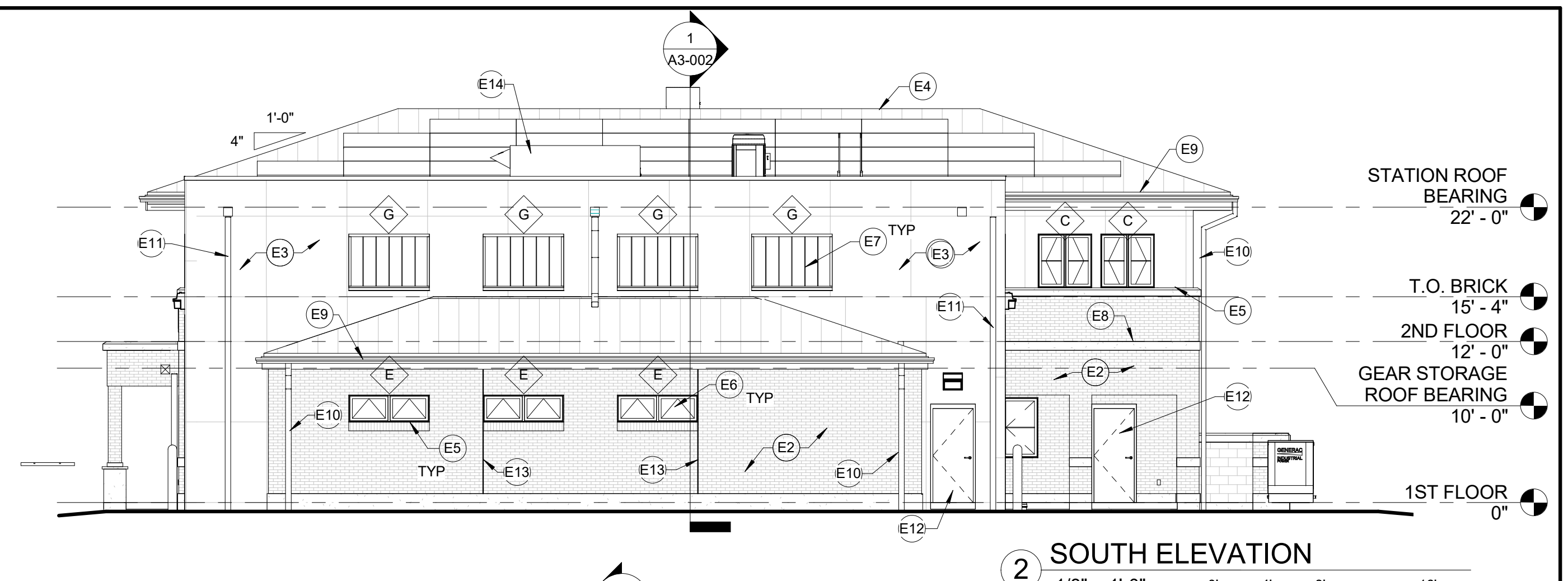
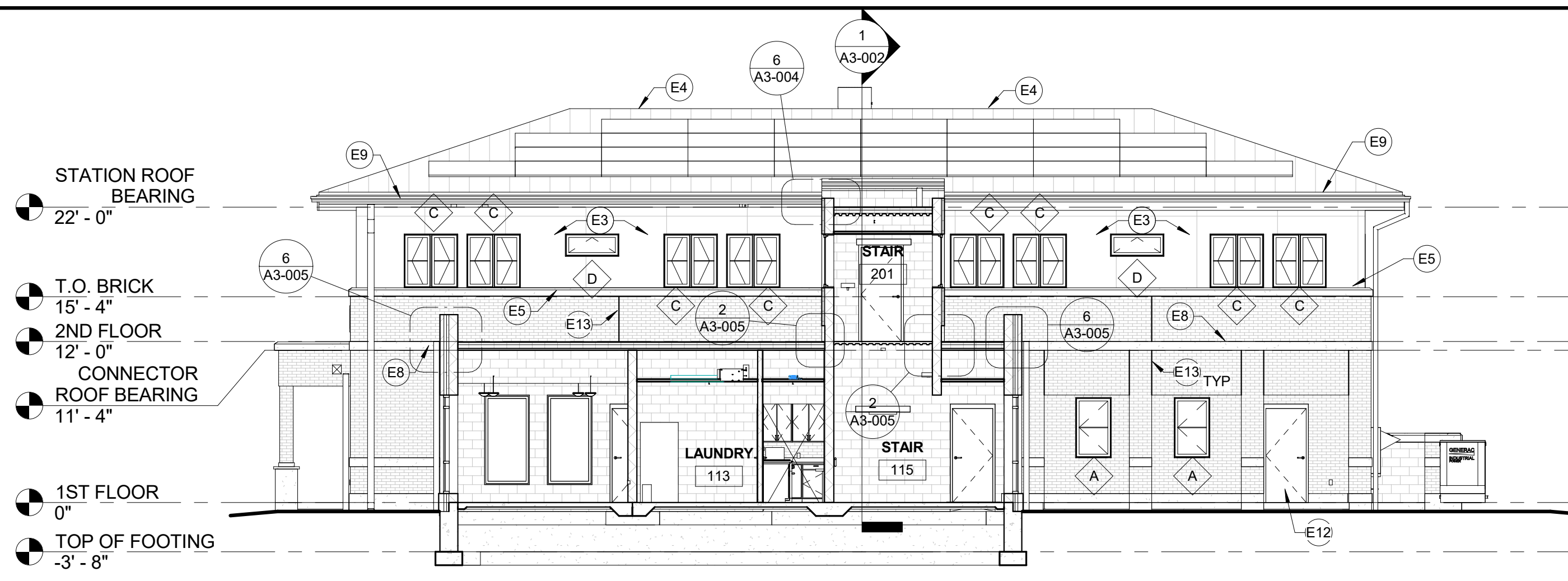
Project number: 16C013  
Date: NOVEMBER 8, 2016  
Drawn by: NB/RD  
Checked by: BK

Project Status:  
**CONSTRUCTION DOCUMENTS**

Sheet Name:  
**EXTERIOR ELEVATIONS**

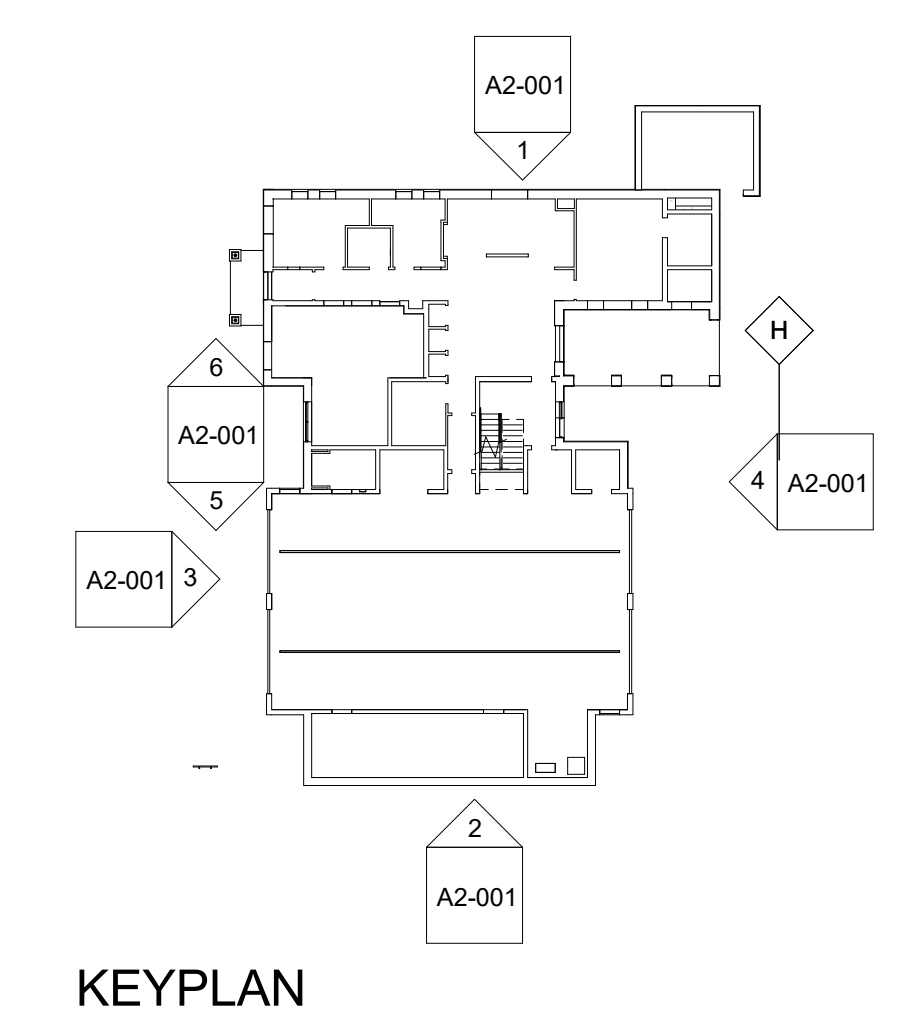
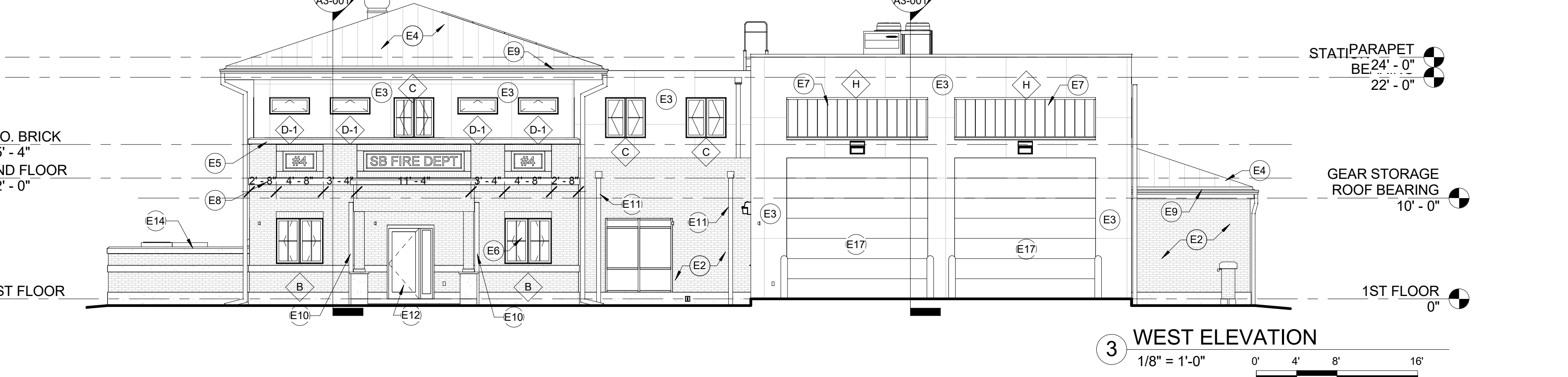
Sheet Number:  
**A2-001**

Scale: As indicated



**ELEVATION KEYNOTES**

- E1 LIMESTONE BASE: 16"H (ALT: PRECAST)
- E2 FACE BRICK
- E3 INSULATED METAL PANEL WALL SYSTEM, 2" THICK (BASIS OF DESIGN: FORMAWALL DIMENSION SERIES BY CENTRIA)
- E4 STRUCTURAL STANDING SEAM METAL ROOF SYSTEM: '20' GAGE, 18" PANEL WIDTH, 3"H NOMINAL SEAM HEIGHT
- E5 MASONRY SILL
- E6 EXTRUDED ALUMINUM CLAD WOOD WINDOW WITH TRIPLE PANE GLAZING. SEE WINDOW SCHEDULE.
- E7 KALWALL TRANSLUCENT WINDOW SYSTEM, 2"
- E8 LIMESTONE ACCENT BAND, (ALT: PRECAST)
- E9 PREFINISHED ALUMINUM GUTTER TO MATCH ROOF
- E10 PREFINISHED ALUMINUM DOWNSPOUT
- E11 PREFINISHED ALUMINUM CONDUCTOR HEAD, SCUPPER, AND DOWNSPOUT.
- E12 EXTERIOR STEEL DOOR / FRAME. SEE DOOR SCHEDULE.
- E13 BRICK EXPANSION JOINT
- E14 HVAC EQUIPMENT
- E15 EMERGENCY GENERATOR
- E17 OVERHEAD DOOR. SEE DOOR SCHEDULE.

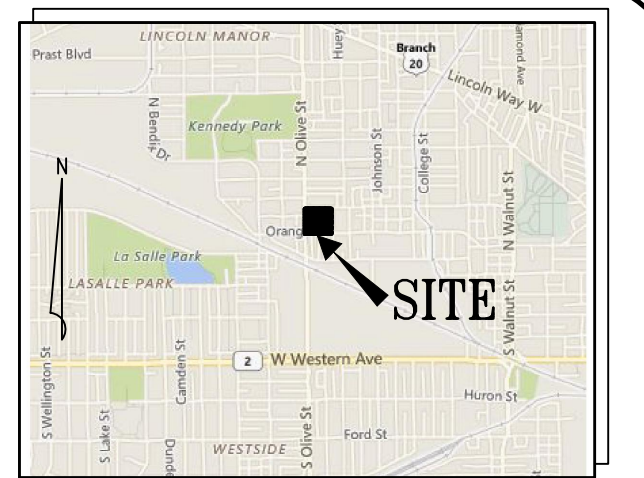


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# FINAL SITE PLAN - SOUTH BEND FIRE STATION #4

PART OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 37 NORTH, RANGE 2 EAST,  
CITY OF SOUTH BEND, PORTAGE TOWNSHIP, ST. JOSEPH COUNTY, INDIANA.



SITE LOCATION MAP

## LEGAL DESCRIPTION:

LOT 82A OF THE RECORDED PLAT OF OAK GROVE FIRST ADDITION FIRE STATION REPLAT AS RECORDED BY DOCUMENT NUMBER 0378563 IN THE OFFICE OF THE RECORDER OF ST. JOSEPH COUNTY, INDIANA.

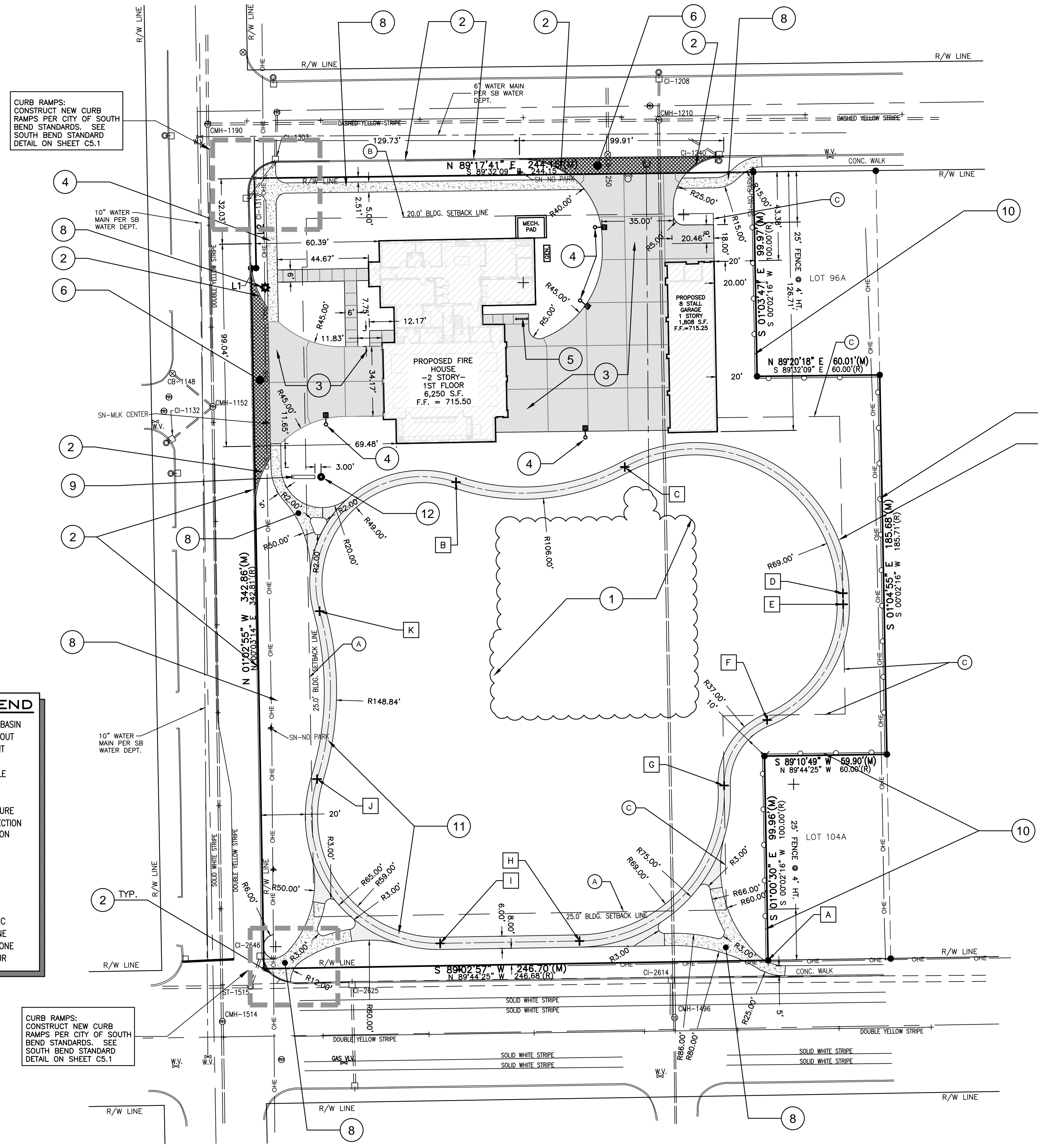
## TABULATED SITE DATA:

- ACREAGE OF TABULATED DATA AREA ..... 2.44 AC.
- PROPOSED LAND USE: FIRE STATION
- USE BY SQUARE FOOTAGE:  
FIRE STATION:  
FIRST FLOOR.....5,856 SQ.FT.  
SECOND FLOOR.....2,376 SQ.FT.  
TOTAL.....8,232 SQ.FT.  
GARAGE:  
FIRST FLOOR.....1,808 SQ.FT.
- PARKING RATIO REQUIRED BY ORDINANCE:  
ONE (1) PARKING SPACE PER ON-DUTY EMPLOYEE.  
TOTAL SPACES REQUIRED = ..... 8 SPACES  
TOTAL SPACES PROVIDED = ..... 10 SPACES
- PROPOSED LAND COVERAGE:  
BUILDINGS.....8,031 7.56  
PAVEMENT/PARKING.....10,091 9.49  
CONCRETE WALKING PATH.....5,018 4.72  
SIDEWALKS.....3,559 3.35  
OPEN SPACE.....74.88 71.88  
TOTAL 106,284 100.00
- MAIN BUILDING SHOWN IS 2 STORY.
- GARAGE SHOWN IS 1 STORY.
- BUILDING TO CONNECT TO SOUTH BEND UTILITIES.
- DRIVEWAY OPENINGS WILL CONFORM TO THE LATEST CITY OF SOUTH BEND STANDARDS.

STRUCTURE CHART	
CI-1240 RIM ELEV. 713.79 (FLOW LINE) I.E. 10" CLAY N.W. 710.10	CMH-1496 RIM ELEV. 715.69 I.E. 12" CLAY N. 704.49 I.E. 10" CLAY S. 704.49
CB-1250 RIM ELEV. 713.96 I.E. 12" RCP N. 710.86	CMH-1152 RIM ELEV. 714.94 I.E. 12" CLAY N. 701.94 I.E. 12" CLAY S. 701.94
CI-1303 RIM ELEV. 713.81 (FLOW LINE) I.E. 10" RCP S.W. 710.81	I.E. 8" PVC S.W. 709.14 I.E. 8" PVC N.W. 709.34
CI-1317 RIM ELEV. 713.76 (FLOW LINE) I.E. 10" RCP N.E. 711.26	CMH-1514 RIM ELEV. 715.46 I.E. 12" CLAY N. 702.96 I.E. 12" CLAY S. 702.96
ST-1515 RIM ELEV. 715.04 I.E. 30" RCP E. 709.74 I.E. 12" RCP W. 709.74	CMH-1190 RIM ELEV. 714.77 I.E. 12" RCP W. 709.96 I.E. 12" CLAY S. 701.07
CI-2614 RIM ELEV. 715.17 (FLOW LINE) I.E. 36" RCP E. 709.17 I.E. 12" RCP S. 710.17	CMH-1210 RIM ELEV. 714.78 I.E. 10" CLAY N. 708.98 I.E. 12" CLAY E. 702.18
CI-2625 RIM ELEV. 714.80 (FLOW LINE) I.E. 30" RCP E. 709.30 I.E. 12" RCP S. 710.30	I.E. 10" CLAY S.E. 708.58 I.E. 12" CLAY S. 702.78 I.E. 12" CLAY W. 702.08
CI-2646 RIM ELEV. 714.98 (FLOW LINE) I.E. 12" RCP S.W. 711.88	

EXISTING LEGEND	
△ SET P.K. NAIL	● FOUND IRON
☆ PINE TREE	(M) MEASURED DISTANCE
○ BUSH	(R) RECORD DISTANCE
○ TREE	○ SET FLUSH, 5/8" CAPPED REBAR
○ FOUNTAIN/IRR.	○ IN. REG. F-0044
○ BOLLARD/POLE	○ M.L. REG. #22436
○ LIGHT POLE	○ GAS METER
○ UTILITY POLE	○ WATER MANHOLE
○ GUY ANCHOR	○ END SECTION
○ SIGN	○ ELEC. VAULT
○ WELL	○ ELEC. TRANSFORMER
○ VALVE	○ PHONE VAULT
○ FIRE HYDRANT	○ MAILBOX
○ CURB INLET	○ A/C UNIT
○ DRYWELL	○ EX. ELEVATION
○ SANITARY MANHOLE	○ WIRE FENCE
○ STORM MANHOLE	○ CHAIN LINK FENCE
○ CLEAN-OUT	○ WOOD FENCE
○ FIBER OPTIC MANHOLE	○ ONE - ONE - ONE ELECTRIC
	○ USE - USE - USE ELECTRIC
	○ UT - UT - UT PHONE
	○ GAS - GAS - GAS GAS
	○ CITY - CITY - CITY CABLE TV
	○ W - W - W WATER
	○ FO - FO - FO FIBER OPTIC
	○ STORM LINE
	○ SANITARY LINE

PROPOSED LEGEND	
■ PROPOSED CATCH BASIN	○ PROPOSED CLEAN OUT
○ PROPOSED HYDRANT	○ PROPOSED LIGHT
○ PROPOSED MANHOLE	○ PROPOSED VALVE
○ PROPOSED POLE	○ PROPOSED STRUCTURE
○ PROPOSED END SECTION	○ PROPOSED ELEVATION
○ PROPOSED ELEVATION	TW TOP OF WALK
○ PROPOSED ELEVATION	TS BOTTOM OF CURB
○ PROPOSED ELEVATION	TP TOP OF PAVEMENT
○ PROPOSED ELEVATION	TC TOP OF CURB
○ PROPOSED ELEVATION	BC BOTTOM OF CURB
○ PROPOSED ELEVATION	W PROPOSED WATER
○ PROPOSED ELEVATION	E PROPOSED ELECTRIC
○ PROPOSED ELEVATION	G PROPOSED GAS LINE
○ PROPOSED ELEVATION	T PROPOSED TELEPHONE
○ PROPOSED ELEVATION	○ PROPOSED CONTOUR



## KEY NOTES/LEGEND:

- EXISTING FIRE STATION TO BE DEMOLISHED AFTER CONSTRUCTION IS COMPLETED FOR THE PROPOSED FIRE STATION.
- PROPOSED 6" CONCRETE CURB (TYPICAL). REPLACE AS NECESSARY IN CONJUNCTION WITH SIDEWALK REPLACEMENT AND NEW DRIVEWAY CONST. SEE DETAIL ON SHEET C5.2. USE CITY OF SOUTH BEND STANDARD
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT IN ALL AREAS. SEE DETAIL ON SHEET C5.2.
- SITE LIGHTING: SEE ELECTRICAL SHEET E1-000 FOR LIGHTING PLAN. PLACE LIGHT BASES 2' BEHIND BACK OF CURB. SEE LIGHT BASE DETAIL ON SHEET C5.0.
- 5 SPACE BIKE RACK, DuMor, Inc. 1-800-598-4018  
MODEL: 125 SERIES BIKE RACK.  
COLOR: BLACK WITH POWDER COAT FINISH  
INSTALL USING SURFACE MOUNT DETAIL PER MANUFACTURER.  
SEE DETAIL ON SHEET C5.1.
- CONCRETE DRIVEWAY APPROACH PER SOUTH BEND ENGINEERING STANDARDS.
- RELOCATED CITY LIGHT POLE. (BY OTHERS)
- PROPOSED SIDEWALK TO REPLACE/IMPROVE CITY SIDEWALKS. USE SOUTH BEND CITY STANDARD FOR REPLACEMENT SIDE WALKS AND ACCESSIBLE CURB RAMPS. SEE DETAIL ON SHEET C5.2. (ALTERNATE)
- PROPOSED MONUMENT SIGN. SEE ARCHITECTURAL SHEETS FOR DETAILS.
- PROPOSED 4' & 6' TALL ORNAMENTAL FENCE:  
FENCE MUST BE 4' TALL FOR THE FIRST 25' INTO THE PROPERTY OFF ORANGE STREET AND LINDEN AVE., THEN IT CAN EXTEND TO 6' IN HEIGHT AMERISTAR, INC. OR EQUAL  
MODEL: ECHELON PLUS MAJESTIC 3/4" RAIL W/ RING OPTION  
COLOR: BLACK  
SEE DETAIL ON SHEET C5.1.
- PROPOSED 6" WIDE ASPHALT WALKING PATH. 849.00 FEET LONG. (849' LONG = 0.16 MILE; 6 1/4 LAPS = 1 MILE)  
SEE DETAIL ON SHEET C5.2.
- PROPOSED FLAGPOLE: SEE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR DETAILS.

WALKING PATH LAYOUT - RADIUS ENDPOINT LOCATIONS			
POINT	NORTH (Y)	EAST (X)	DESCRIPTION
A	0.00	0.00	SOUTHEAST PROPERTY CORNER
B	234.00	-152.69	RADIUS ENDDPOINT
C	241.39	-70.08	RADIUS ENDDPOINT
D	179.69	36.64	RADIUS ENDDPOINT
E	174.23	36.75	RADIUS ENDDPOINT
F	117.60	-0.44	RADIUS ENDDPOINT
G	85.55	-21.51	RADIUS ENDDPOINT
H	9.47	-92.23	RADIUS ENDDPOINT
I	8.34	-160.43	RADIUS ENDDPOINT
J	88.70	-220.67	RADIUS ENDDPOINT
K	170.85	-219.42	RADIUS ENDDPOINT

## NOTE:

- WIDTH BETWEEN CONCRETE SCORING LINE NOT TO EXCEED 25 TO 30 TIMES THE DEPTH OF CONCRETE.

GENERAL SURVEY DISCLAIMER NOTES:  
THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED FOR THE CLIENT ONLY. ANY REUSE WITHOUT WRITTEN VERIFICATION AND ADAPTATION BY THE LAND SURVEYOR FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE LAND SURVEYOR.  
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NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, ABSTRACT, TITLE POLICY, CONTRACTS AND LOCAL BUILDING, ZONING AND SUBDIVISION ORDINANCES.  
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**BUILDING SETBACKS**  
PER "SF-2" ZONING

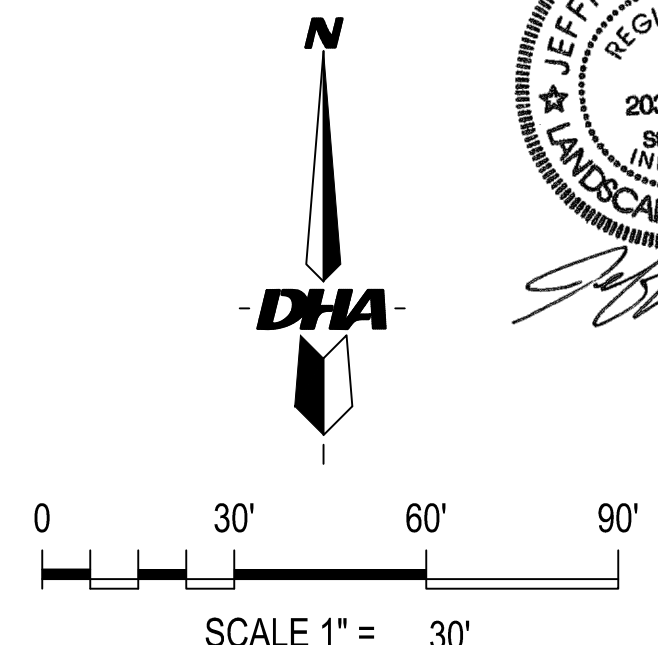
A	25.0' FRONT-YARD SETBACK LINE
B	20.0' SIDE-YARD SETBACK LINE
C	20.0' REAR-YARD SETBACK LINE

LINE	BEARING	DISTANCE
L1	N 89°43'04" E	2.44'
L1	R N 89°32'09" E	2.50'
L2	M N 01°06'39" W	44.00'
L2	R N 00°03'14" E	44.00'

**PROJECT OWNER:**  
CIVIL CITY OF SOUTH BEND  
227 WEST JEFFERSON BLVD.  
SUITE 1200  
SOUTH BEND, IN. 46601

**SURVEYORS & ENGINEERS:**  
DANCH, HARNER & ASSOCIATES, INC.  
1643 COMMERCE DRIVE  
SOUTH BEND, IN. 46628  
(574) 234-4003  
ATTN: MICHAEL DANCH

DATE	DRAWN BY:	REVISIONS	
10-8-16	JTB		
SCALE	CHECKED BY:	DATE	BY
1" = 30'	MJD	9-21-16	JTB
FILE #	PROJ. MANGR:	PER CITY COMMENTS, REMOVED WALKS ALONG ORANGE AND OLIVE RD., ADDED SIDEWALK CONNECTIONS TO THE WALKING PATH, CHANGED WALKING PATH MATERIAL FROM CONCRETE TO ASPHALT.	
160166.5	JTB	12/8/16	JTB
		KEYNOTE 10 WAS CHANGED TO AMERISTAR FENCE	



**Danch, Harner & Associates, Inc.**  
Land Surveyors • Professional Engineers  
Landscape Architects • Land Planners  
Office: (574) 234-4003 / (800) 594-4003 • Fax: (574) 234-4119  
1643 Commerce Drive • South Bend, IN 46628

SHEET  
**C1.1**



**LEGAL DESCRIPTION:**

LOT 82A OF THE RECORDED PLAT OF OAK GROVE FIRST ADDITION FIRE STATION REPLAT AS RECORDED BY DOCUMENT NUMBER 0378563 IN THE OFFICE OF THE RECORDER OF ST. JOSEPH COUNTY, INDIANA.

**PLANT LIST TREES**

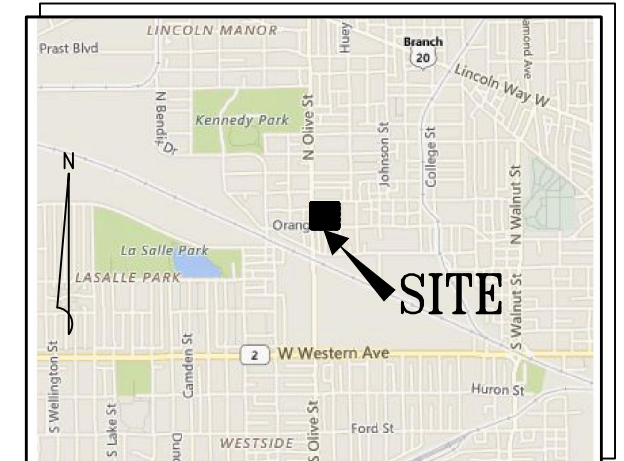
QUANT	ABBR	COMMON NAME	BOTANICAL NAME	SIZE	CONT	REMARKS
52	EWP	EASTERN WHITE PINE	<i>Pinus strobus</i>	8" HT.	B&B	
11	TUL	TULIP POPLAR	<i>Liriodendron tulipifera</i>	2.5" CAL.	B&B	
4	ERB	EASTERN REDBUD (TREE FORM)	<i>Cercis canadensis (tree form)</i>	2" CAL.	B&B	

AREA = 16,100 S.F. +/-  
 CARDNO NATIVE PLANT NURSERY  
 SPECIALTY SEED MIXES: SWALE  
 CONTACT: CARDNO NATIVE PLANT NURSERY  
 128 SUNSET DRIVE  
 WALKERTON, INDIANA 46574  
 PHONE: 574-586-2412  
 FAX: 574-586-2718  
 NURSERYSALES@CARDNO.COM

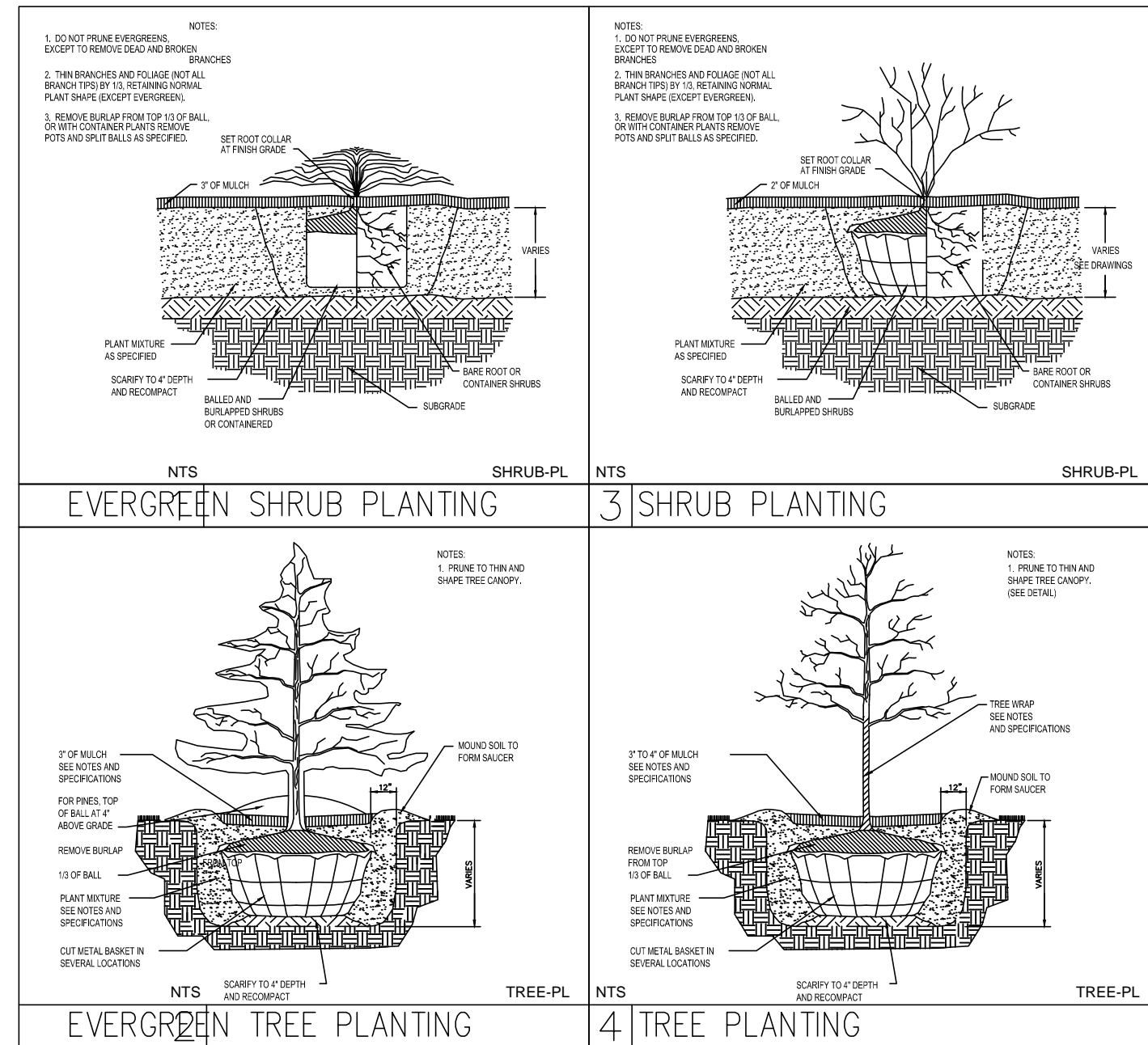
REVISION: 11/30/16

# FINAL SITE PLAN - SOUTH BEND FIRE STATION #4

PART OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 37 NORTH, RANGE 2 EAST, CITY OF SOUTH BEND, PORTAGE TOWNSHIP, ST. JOSEPH COUNTY, INDIANA.



SITE LOCATION MAP N.T.S.



**EXISTING LEGEND**

△ SET P.K. NAIL	● FOUND IRON	○ SET FLUSH, 5/8" CAPPED REBAR
☆ PINE TREE	(M) MEASURED DISTANCE	(R) RECORD DISTANCE
⊙ BUSH	⊙ GAS METER	⊙ SOL BORING
⊙ TREE	⊙ WATER MANHOLE	⊙ WATER METER
⊙ FOUNTAIN/IRR.	⊙ END SECTION	⊙ CABLE PED.
⊙ BOLLARD/POLE	⊙ ELEC. VAULT	⊙ PHONE PED.
⊙ LIGHT POLE	⊙ ELEC. TRANSFORMER	⊙ ELEC. PED.
⊙ UTILITY POLE	⊙ PHONE VAULT	⊙ MAILBOX
⊙ GUY ANCHOR	⊙ SPOT ELEVATION	⊙ A/C UNIT
⊙ SIGN	---	---
⊙ WELL	---	---
⊙ VALVE	---	---
⊙ FIRE HYDRANT	---	---
⊙ CURB INLET	---	---
⊙ DRYWELL	---	---
⊙ SANITARY MANHOLE	---	---
⊙ STORM MANHOLE	---	---
⊙ CLEAN-OUT	---	---
⊙ FIBER OPTIC MANHOLE	---	---

**PROPOSED LEGEND**

■ PROPOSED CATCH BASIN	○ PROPOSED CLEAN OUT
○ PROPOSED HYDRANT	○ PROPOSED LIGHT
○ PROPOSED MANHOLE	○ PROPOSED VALVE
○ PROPOSED POLE	○ PROPOSED STRUCTURE
○ PROPOSED END SECTION	○ PROPOSED ELEVATION
TW TOP OF WALK	TS BOTTOM OF CURB
TP TOP OF PAVEMENT	TC TOP OF CURB
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E PROPOSED ELECTRIC	G PROPOSED GAS LINE
T PROPOSED TELEPHONE	○ PROPOSED CONTOUR

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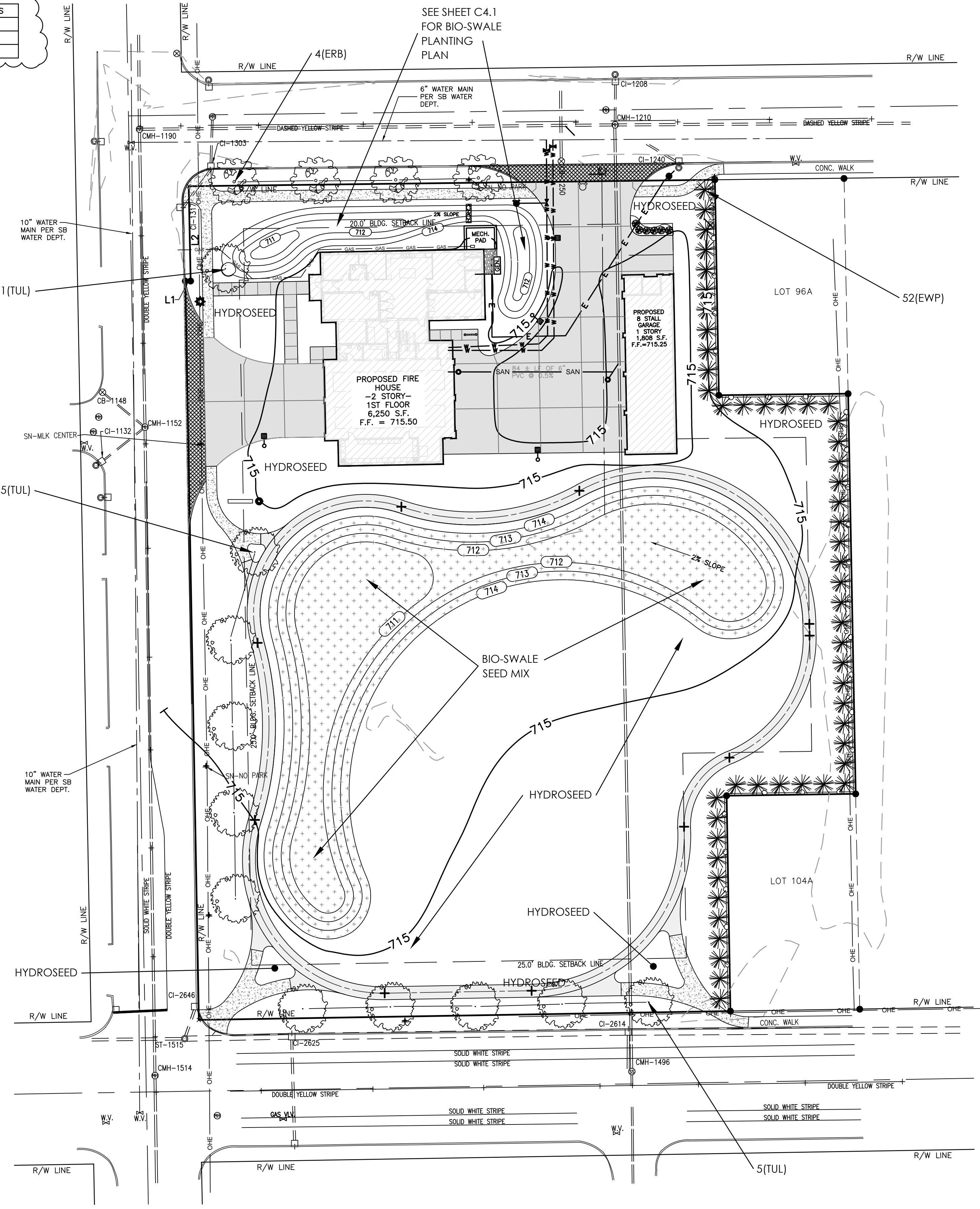
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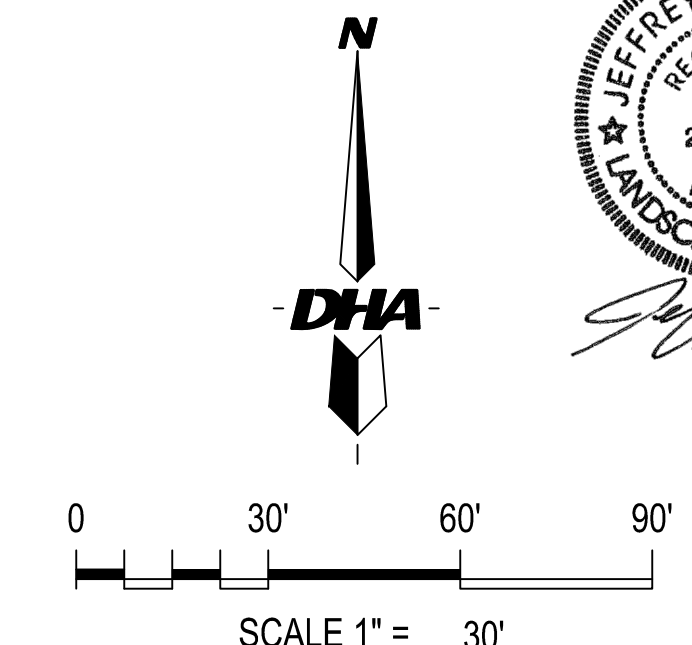
ALL UNDERGROUND UTILITIES MUST BE FIELD VERIFIED BY THE CONTRACTOR BEFORE ANY CONSTRUCTION MAY BEGIN.



LINE	BEARING	DISTANCE
L1	N 89°43'04" E	2.44'
L1	N 89°32'09" E	2.50'
L2	N 01°06'39" W	44.00'
L2	R N 00°03'14" E	44.00'

**GENERAL LANDSCAPE NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY ALL UTILITY COMPANIES AND VERIFY LOCATION OF ALL PRIVATE AND PUBLIC ON SITE UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL SITE CONDITIONS WHICH MAY AFFECT THE LANDSCAPE PLANT MATERIALS AND SITE AMENITY INSTALLATION. CONTRACTOR ALSO MUST NOTIFY LANDSCAPE ARCHITECT OF CONDITIONS THAT MAY BE DETRIMENTAL TO HEALTHY PLANT DEVELOPMENT, OR MAY CAUSE VOID TO PLANT WARRANTY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL LANDSCAPE MATERIALS IN ACCORDANCE WITH THE LATEST EDITION OF THE "USA STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERY MEN, INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF (1) YEAR GUARANTEE FOR ALL PLANT MATERIALS FROM THE DATE OF SUBSTANTIAL COMPLETION. ANY DEAD PLANT MATERIALS SHALL BE REPLACED WITH MATERIAL EQUAL IN SIZE AND QUALITY AS LISTED IN THE MASTER PLANT LIST. ALL COST FOR REPLACING PLANT MATERIALS WITHIN THE GUARANTEE PERIOD WILL BE AT THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH OTHER WORK DISCIPLINES TO ENSURE NO CONFLICT BETWEEN WORK TYPES.
- ALL DECIDUOUS TREES AND EVERGREEN TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.
- ALL SHRUBS MAY BE CONTAINER GROWN OR BALLED AND BURLAP.
- THE CALIPER SIZE LISTED ON THE MASTER PLANT LIST INDICATES THE DIAMETER OF THE TRUNK TAKEN AT 6" ABOVE THE GROUND LEVEL.
- SPACE PLANT MATERIALS AS INDICATED ON MASTER PLANT LIST OR PER PROPER HORTICULTURAL METHODS.
- CONTRACTOR SHALL PROVIDE A TWO YEAR STRAIGHTENING GUARANTEE IN LIEU OF STACKING AND GUYING TREES.
- CONTRACTOR SHALL VERIFY QUANTITIES OF PROPOSED PLANT MATERIALS AND SITE AMENITIES SHOW ON THE MASTER MATERIALS LIST AND PLANS. IF A DISCREPANCY APPEARS, THE ACTUAL COUNT ON THE PLANS SHALL PREVAIL.
- KEEP BALLED AND CONTAINER PLANT MATERIAL WATERED UNTIL THEY ARE PLANTED. IF PLANTS CANNOT BE PLANTED IMMEDIATELY, THEY SHOULD BE HELED IN AND COVERED WITH MULCH UNTIL TIME OF PLANTING.
- CONDUCT SOILS TEST TO VERIFY FERTILITY OF TOPSOIL. AMEND SOIL IF PH IS LESS THAN 5.0 OR GREATER THAN 7.5. MAKE OTHER ADJUSTMENTS AS SOIL ANALYSIS INDICATES. ALL FINE GRADE SOIL PREPARATION OF PLANTING AND LAWN AREAS SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- TOPSOIL DEPTH TO BE A MINIMUM OF 6" IN ALL PLANTING BEDS AND 3" IN LAWN AREAS. GENERAL CONTRACTOR IS TO SUPPLY TOPSOIL TO THESE STANDARDS AND PROVIDE FINISH GRADE. LANDSCAPE CONTRACTOR TO PROVIDE FINAL GRADE FOR SEED APPLICATION AND PLANT MATERIAL INSTALLATION. TOPSOIL TO BE CLEAN FRIABLE LOAM FROM LOCAL SOURCE AND FREE FROM STONES AND DEBRIS OVER 3/4" IN DIAMETER. TOPSOIL MUST BE FREE FROM TOXINS AND HERBICIDES.
- LANDSCAPE BEDS SHALL BE DEFINED BY COMMERCIAL GRADE 5" BLACK VINYL EDGING, PRODUCED BY AN ESTABLISHED MANUFACTURER OR APPROVED EQUAL.
- LANDSCAPE BEDS TO RECEIVE 3" - 4" INDUSTRY STANDARD SHREDDED HARDWOOD BARK MULCH.
- ALL TREES NOT INCORPORATED INTO THE LANDSCAPE BEDS ARE TO RECEIVE A 3" RADIUS MULCH RING, 3" DEEP.
- APPLY PRE-EMERGENT HERBICIDE TO ALL LANDSCAPE BEDS PRIOR TO MULCHING.
- HYDROSEED: INSTALL HYDROSEED PER COMMON INDUSTRY STANDARDS WHERE INDICATED ON PLANS.  
 SEED MIXTURE:  
 37.50% PERENNIAL RYE  
 31.00% KENTUCKY BLUE  
 31.50% CREEPING RED FESCUE
- SOD: INSTALL SOD WHERE INDICATED ON PLANS. SOD SHALL BE A KENTUCKY BLUEGRASS CULTIVAR 'COLUMBIA' OR APPROVED EQUAL. GROWN FROM A LOCAL SOURCE.



**OVERALL SITE LANDSCAPE PLAN**

DATE	DRAWN BY:	REVISIONS	
10-8-16	JTB		
SCALE	CHECKED BY:	DATE	BY
1" = 30'	MJD	11/23/16	JTB
FILE #	PROJ. MANGR:		
160166.5	JTB		

**Danch, Harner & Associates, Inc.**  
 Land Surveyors • Professional Engineers  
 Landscape Architects • Land Planners

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 REGISTERED  
 No. 20300145  
 State of INDIANA  
 LANDSCAPE ARCHITECT

1643 Commerce Drive • South Bend, IN 46628

SHEET  
**C4.0**