

# Article 21-03: Standard Districts

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## Section 21-03.01: S1 Suburban Neighborhood 1

**(a) Intent**

The S1 Suburban District is established to provide for and maintain suburban neighborhoods in outlying areas of the City.

The following are typical characteristics of the S1 District:

- Primarily single unit residential development of detached houses. Up to two units per lot may be allowed to provide added value and more effective use of a lot
- Buildings with relatively deep setbacks on larger lots
- Attached garages accessed by a driveway from the street
- Larger city blocks that have a more informal character and plantings

**(b) Building Types**

The following building types are permitted in the S1 District:

- Carriage House
- Duplex
- Detached House

The names of the building types are not intended to limit or expand uses allowed within the building. See [Section 21-08.02](#) for building type descriptions and regulations.

Limited public and institutional uses shall be incorporated at a scale and character compatible with the surrounding neighborhood.

Uses

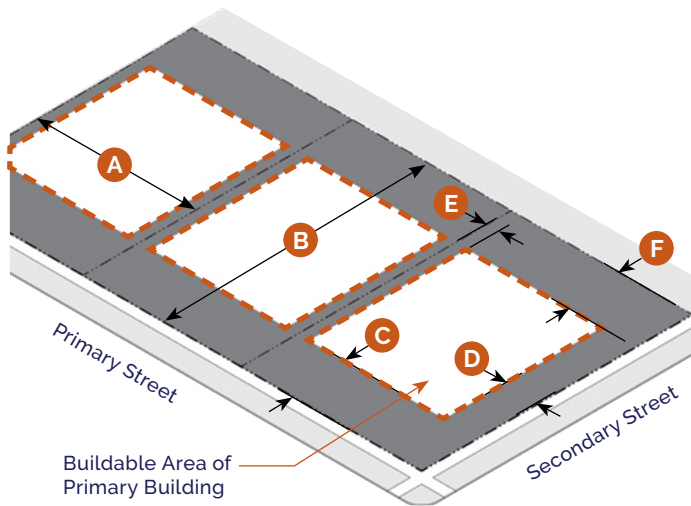
(c) Principal Uses	Use Definition & Standards
<b>Agricultural</b>	
Community Garden	■ * <a href="#">21-06.01(e)(2)</a>
<b>Civic &amp; Institutional</b>	
Assembly, Neighborhood	■ * <a href="#">21-06.01(f)(1)</a>
Cemetery	■ <a href="#">21-06.01(f)(3)</a>
College/University	■ <a href="#">21-06.01(f)(4)</a>
Library/Museum/Cultural Facility	■ * <a href="#">21-06.01(f)(7)</a>
Parks & Open Space	■ <a href="#">21-06.01(f)(8)</a>
Police/Fire Facilities	■ <a href="#">21-06.01(f)(9)</a>
Religious Institutions	■ <a href="#">21-06.01(f)(10)</a>
School, Pre-K/Primary/Secondary	■ <a href="#">21-06.01(f)(11)</a>
<b>Lodging</b>	
Bed & Breakfast	■ * <a href="#">21-06.01(h)(1)</a>
<b>Residential</b>	
Dwelling, Ancillary	■ * <a href="#">21-06.01(j)(1)</a>
Dwelling, 1 Unit	■ <a href="#">21-06.01(j)(2)</a>
Dwelling, 2 Units	■ <a href="#">21-06.01(j)(3)</a>
Group Residence, State Regulated	■ <a href="#">21-06.01(j)(7)</a>
Residential Care Facility	■ <a href="#">21-06.01(j)(8)</a>
<b>Retail &amp; Service</b>	
Day Care Center	■ <a href="#">21-06.01(k)(6)</a>
Entertainment/Recreation Facility, Outdoor	■ <a href="#">21-06.01(k)(9)</a>
Funeral Services	■ <a href="#">21-06.01(k)(10)</a>
<b>Transportation</b>	
Parking Lot	■ * <a href="#">21-06.01(l)(4)</a>
<b>Utilities</b>	
Solar Farm	■ <a href="#">21-06.01(m)(1)</a>
Utilities, Major	■ * <a href="#">21-06.01(m)(2)</a>
Utilities, Minor	■ * <a href="#">21-06.01(m)(3)</a>
Wireless Communications	■ * <a href="#">21-06.01(m)(4)</a>

See [Section 21-06.01](#) for all principal use definitions.

See [Section 21-06.02](#) for accessory use standards.

**Key** ■ Allowed ■ Allowed subject to Conditions ■ Special Exception \* Use Specific Standards

**Building Placement**

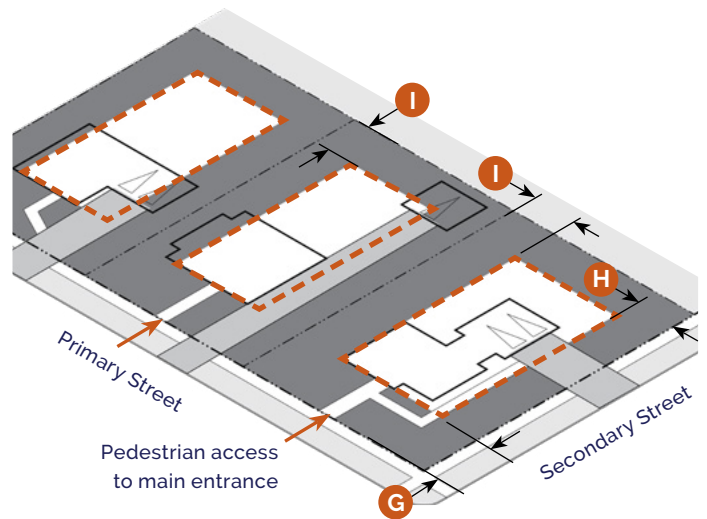


--- Minimum Setback Line

<b>(d) Building Placement</b>				
<b>Lot Size</b>				
Lot Width		40' min.		<b>A</b>
Lot Depth		60' min.		<b>B</b>
<b>Building Setbacks</b>	<b>Front</b> <sup>1</sup>	<b>Corner</b>	<b>Side</b>	<b>Rear</b>
	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
Residential (min.)	25'	15'	5'	25'
Non-Residential (min.)	25'	15'	20'	25'
<b>Building Coverage</b>				
Building Coverage	40% max.			

<sup>1</sup> Where existing buildings on a block face are not consistent with the required setbacks, any new building may apply the contextual setback per [Section 21-02.03\(b\)](#).

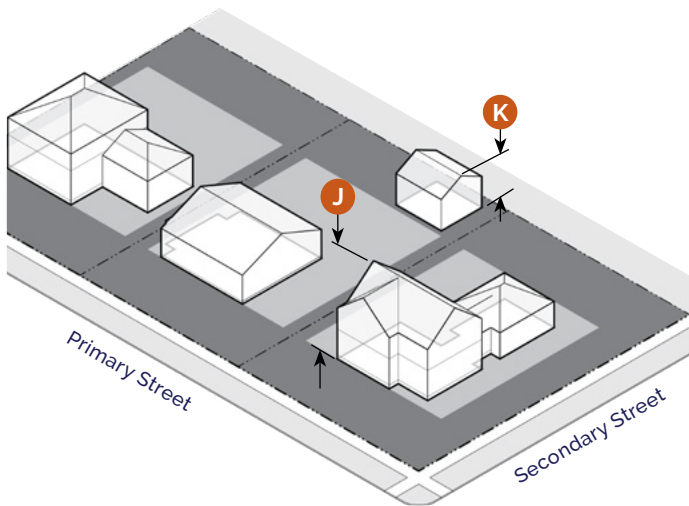
**Access & Parking**



--- Minimum Parking Lot Setback

<b>(e) Access &amp; Parking</b>		
<b>Pedestrian Access</b>		
A walkway shall connect the sidewalk or driveway to the main entrance.		
<b>Bicycle Access</b>		
See <a href="#">Section 21-07.02</a> for Bicycle Parking requirements.		
<b>Parking Access</b>		
If access is available from an alley which is open to traffic, there shall be no access allowed from the street.		
If allowed, a maximum of one street curb cut is permitted per street frontage.		
<b>Parking Lot Location (Distance from Lot Line)</b>		
Front Setback (min.)	25'	<b>G</b>
Corner Setback (min.)	15'	<b>H</b>
Side & Rear Setback	20'	<b>I</b>
Side and rear setback shall be 0' when abutting an alley.		
<b>Required Spaces</b>		
Off-street parking areas are not required for any use.		
Any off-street parking areas provided, even though not required, shall be developed in compliance with the standards set forth in <a href="#">Section 21-07.03</a> .		
See <a href="#">Section 21-07</a> for full access and parking requirements.		

Building Form



**(f) Building Form**

**Building Height**

Primary Building (max.)	35' and 2.5 stories	<b>J</b>
Accessory Building (max.) <sup>1</sup>	18'	<b>K</b>

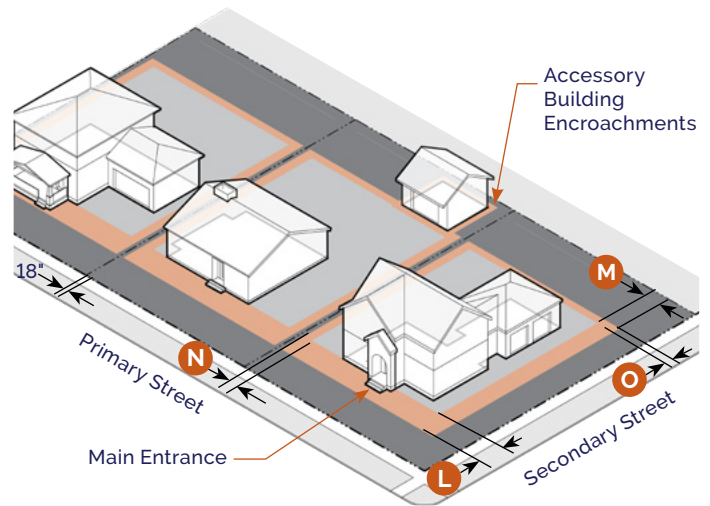
Accessory buildings shall not be taller than the primary building on a lot.

**Building Orientation**

Primary facades shall be oriented to a front lot line or open space.

<sup>1</sup> Ancillary dwelling units may be built to a maximum height of 26' if located at least 5' from the rear lot line of a lot with a rear alley or at least 20' from the rear lot line of a lot without a rear alley.

Building Components



Encroachment Zone

**(g) Building Components**

**Allowed Building Frontage Types**

Porch	<a href="#">21-08.03(c)</a>
Stoop	<a href="#">21-08.03(d)</a>
Gallery	<a href="#">21-08.03(e)</a>

**Building Entrance**

The main entrance shall be located on the front facade, on the corner facade, or on the side facade within 20' of the front facade.

**Allowed Encroachments (max.)**

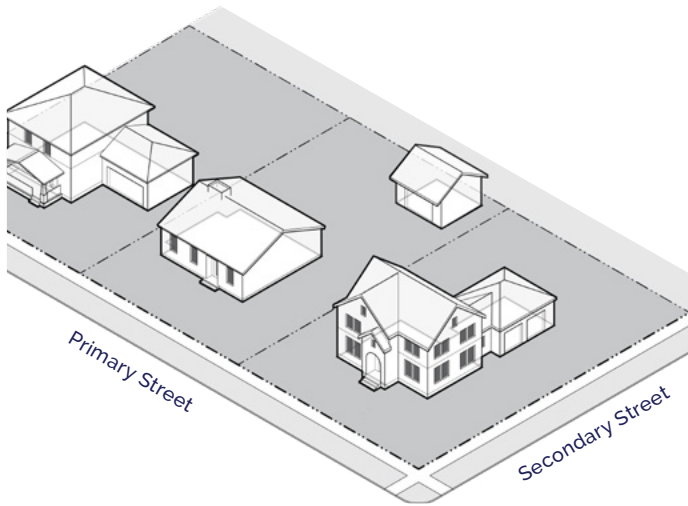
	Front <b>L</b>	Corner <b>M</b>	Side <b>N</b>	Rear <b>O</b>
Architectural Features	3'	3'	3'	3'
Building Frontage Type	10'	5'	<input type="checkbox"/>	<input type="checkbox"/>
Balcony	5'	5'	<input type="checkbox"/>	<input type="checkbox"/>
Bay Window (< 10' wide)	3'	3'	3'	3'
Patio & Decks (under 30")	8'	8'	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Building components shall be at least 18" from any lot line.

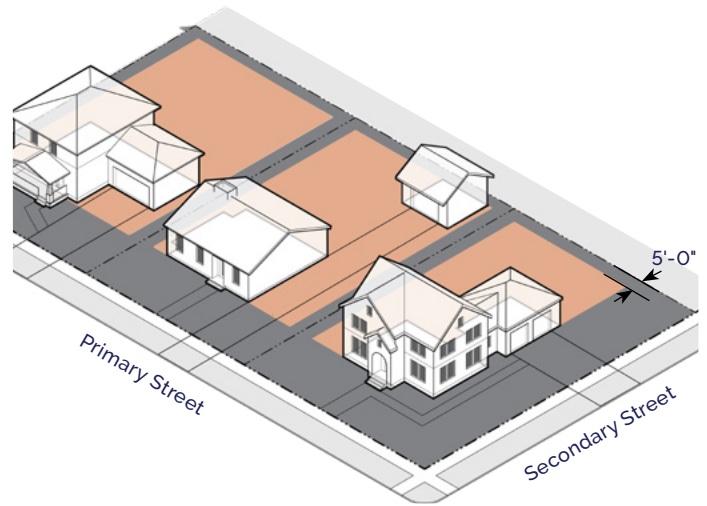
See [Section 21-08.01\(g\)](#) for building component definitions and additional requirements.

Key  Allowed  Not Allowed

**Building Standards**



**Site Development**



Accessory Structures Allowed

**(h) Building Standards**

**Building Materials**

There are no restrictions on building materials for residential buildings within the S1 district.

See [Section 21-08.01\(e\)](#) for building material restrictions that shall apply to any non-residential building.

See [Section 21-08](#) for full building standards.

**(i) Site Development**

**Accessory Structures/Uses**

Accessory Structures	<a href="#">21-06.02(f)(1)</a>
Mechanical/HVAC	<a href="#">21-06.02(f)(14)</a>
Satellite Dish Antennas	<a href="#">21-06.02(f)(22)</a>
Swimming Pool/Hot Tubs	<a href="#">21-06.02(f)(26)</a>

**Allowed Location in Established Yards**

Accessory structures shall not be located in any established front or corner yard.

Accessory structures shall comply with all required setbacks but may encroach into a required rear setback up to 5' of the lot line.

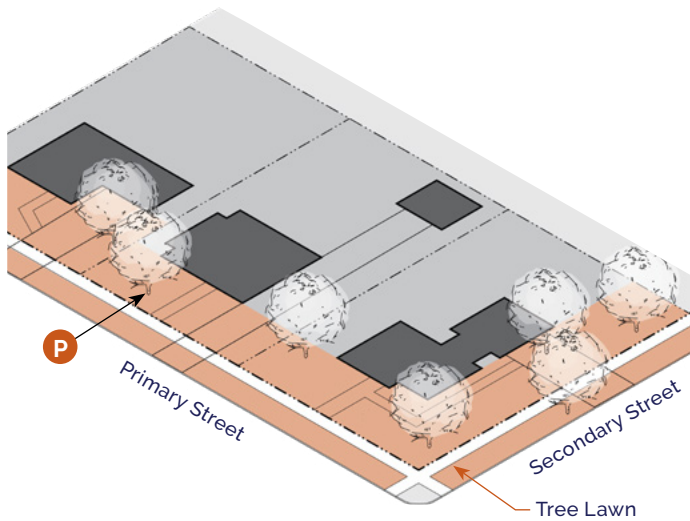
See [Section 21-06.02](#) for full accessory use regulations.

Fence/Freestanding Walls	Front	Corner	Side	Rear
Height (max.)	3'	3'	6'	6'

A fence up to 4' is allowed in an established front or corner yard if fence is greater than 50% open.

See [Section 21-09](#) for full site development requirements.

Landscape



Streetscape Trees Allowed

**(j) Landscape**

**Streetscape Trees Required**

Shade Tree <sup>1</sup>	1 tree min. per each full 30' of street frontage	<b>P</b>
Location	Front yard, corner yard, or tree lawn	

**Foundation Landscape Required <sup>2</sup>**

Front & Corner Facades Over 35' Wide	1 shrub per 5' of facade min.
Location	Directly adjacent to facade

**Parking Lot Screening (of 4 or more spaces)**

Parking that is visible from a street/open space, other than an alley, shall be screened by a Type 1 buffer.

Parking that is visible from a side/rear lot line abutting a S1, U1, or U2 district shall be screened by a Type 1 or 2 buffer.

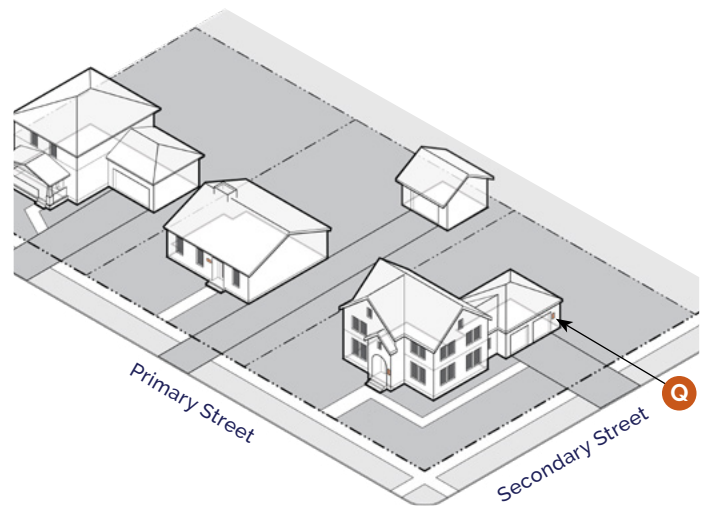
Buffers shall comply with [Section 21-09.01\(n\)](#).

See [Section 21-09.01](#) for full landscape requirements.

<sup>1</sup> An existing tree of at least 2" caliper may fulfill this requirement.

<sup>2</sup> Residential buildings with 4 or fewer units are exempt from foundation landscape requirements.

Signs



**(k) Signs**

**Total Signs Allowed**

Residential		<b>Q</b>
Building or Freestanding Sign	1 per street frontage; up to 2 square feet and 4 feet in height	

**Non-Residential Use**

Building Sign	Up to 5% of the total area of the building facade
Freestanding Sign	1 per street frontage; up to 32 square feet and 6 feet in height

Freestanding signs may be located in a required setback, provided they are at least 5' from a lot line.

See [Section 21-10](#) for full sign requirements including changeable copy signs, temporary signs, exempt signs, off-premise, and use-specific signs.





**Section 21-03.02: S2 Suburban Neighborhood 2**

**(a) Intent**

The S2 District is established to provide for, maintain, and enhance suburban neighborhoods consisting primarily of apartment complexes or houses grouped together outside of the City’s core.

The following are typical characteristics of the S2 District:

- A full range of residential development including single unit, two unit, multi-unit, and ancillary dwelling units that maximize amenities nearby while providing a variety of housing choice
- Larger size buildings with relatively deep setbacks on larger lots
- Attached garages accessed by a driveway from the street or shared parking areas located in the rear or interior of the lot
- Larger city blocks that have a more informal character and plantings

**(b) Building Types**

The following building types are permitted in the S2 District:

- |                  |                   |
|------------------|-------------------|
| ■ Carriage House | ■ Townhouse       |
| ■ Detached House | ■ Apartment House |
| ■ Cottage Court  | ■ Stacked Flats   |
| ■ Duplex         |                   |

The names of the building types are not intended to limit or expand uses allowed within the building. See [Section 21-08.02](#) for building type descriptions and regulations.

Limited public and institutional uses shall be incorporated at a scale and character compatible with the surrounding neighborhood

Uses

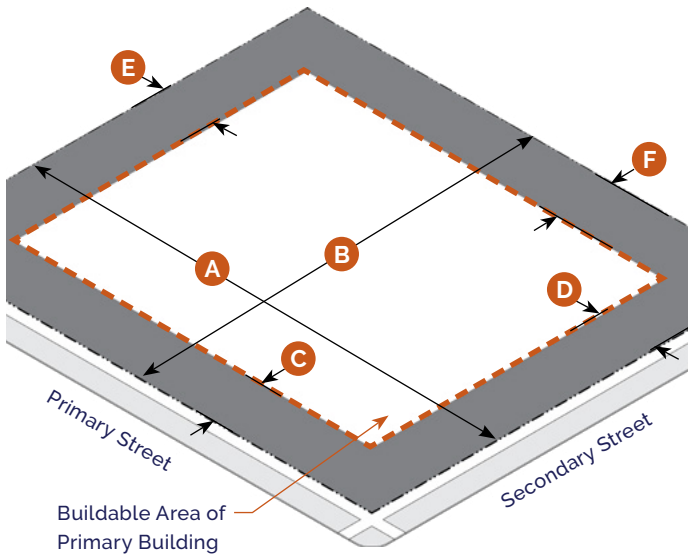
(c) Principal Uses	Use Definition & Standards
<b>Agricultural</b>	
Community Garden	■ * <a href="#">21-06.01(e)(2)</a>
<b>Civic &amp; Institutional</b>	
Assembly, Neighborhood	■ * <a href="#">21-06.01(f)(1)</a>
Cemetery	■ <a href="#">21-06.01(f)(3)</a>
College/University	■ <a href="#">21-06.01(f)(4)</a>
Library/Museum/Cultural Facility	■ * <a href="#">21-06.01(f)(7)</a>
Parks & Open Space	■ <a href="#">21-06.01(f)(8)</a>
Police/Fire Facilities	■ <a href="#">21-06.01(f)(9)</a>
Religious Institutions	■ <a href="#">21-06.01(f)(10)</a>
School, Pre-K/Primary/Secondary	■ <a href="#">21-06.01(f)(11)</a>
<b>Lodging</b>	
Bed & Breakfast	■ * <a href="#">21-06.01(h)(1)</a>
<b>Residential</b>	
Dwelling, Ancillary	■ * <a href="#">21-06.01(j)(1)</a>
Dwelling, 1 Unit	■ <a href="#">21-06.01(j)(2)</a>
Dwelling, 2 Units	■ <a href="#">21-06.01(j)(3)</a>
Dwelling, Multi-Unit	■ * <a href="#">21-06.01(j)(5)</a>
Dwelling, Mobile Home	■ <a href="#">21-06.01(j)(6)</a>
Group Residence, State Regulated	■ <a href="#">21-06.01(j)(7)</a>
Residential Care Facility	■ <a href="#">21-06.01(j)(8)</a>
<b>Retail &amp; Service</b>	
Day Care Center	■ <a href="#">21-06.01(k)(6)</a>
Entertainment/Recreation Facility, Outdoor	■ <a href="#">21-06.01(k)(9)</a>
Funeral Services	■ <a href="#">21-06.01(k)(10)</a>
<b>Transportation</b>	
Parking Lot	■ * <a href="#">21-06.01(l)(4)</a>
<b>Utilities</b>	
Solar Farm	■ <a href="#">21-06.01(m)(1)</a>
Utilities, Major	■ * <a href="#">21-06.01(m)(2)</a>
Utilities, Minor	■ * <a href="#">21-06.01(m)(3)</a>
Wireless Communications	■ * <a href="#">21-06.01(m)(4)</a>

See [Section 21-06.01](#) for all principal use definitions.

See [Section 21-06.02](#) for accessory use standards.

Key ■ Allowed ■ Allowed subject to Conditions ■ Special Exception \* Use Specific Standards

**Building Placement**



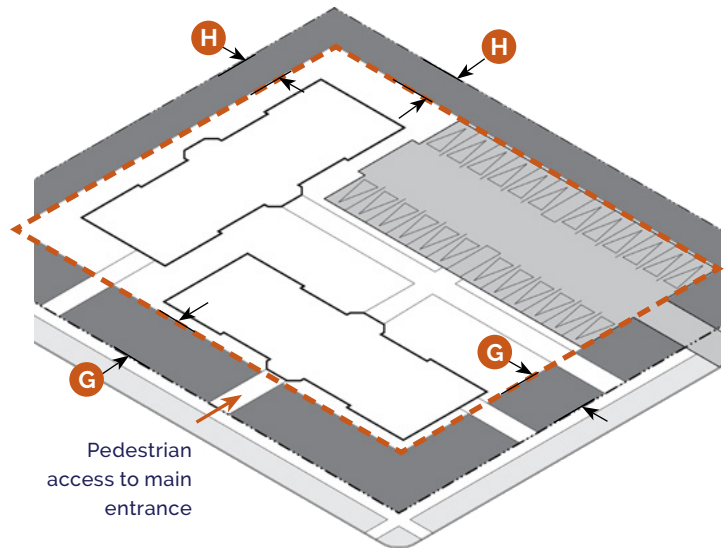
--- Minimum Setback Line

<b>(d) Building Placement</b>				
<b>Lot Size</b>				
Lot Width	20' min.			<b>A</b>
Lot Depth	60' min.			<b>B</b>
<b>Building Setbacks</b>	<b>Front<sup>1</sup></b>	<b>Corner</b>	<b>Side<sup>2</sup></b>	<b>Rear</b>
	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
All Uses (min.)	25'	25'	25'	25'
<b>Building Coverage</b>				
Building Coverage	50% max.			

<sup>1</sup> Where existing buildings on a block face are not consistent with the required setbacks, any new building may apply the contextual setback per [Section 21-02.03\(b\)](#).

<sup>2</sup> Side setback not required between attached dwellings and may be reduced to 10 feet min. for buildings with 4 or fewer dwellings.

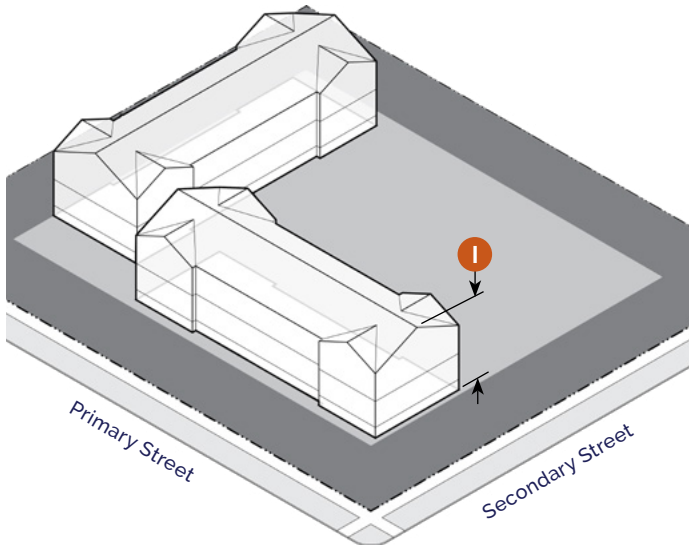
**Access & Parking**



--- Minimum Parking Lot Setback

<b>(e) Access &amp; Parking</b>	
<b>Pedestrian Access</b>	
A walkway shall connect the sidewalk or driveway to the main entrance.	
<b>Bicycle Access</b>	
See <a href="#">Section 21-07.02</a> for Bicycle Parking requirements.	
<b>Parking Access</b>	
If access is available from an alley which is open to traffic, there shall be no access allowed from the street.	
If allowed, a maximum of one street curb cut is permitted per street frontage.	
<b>Parking Lot Location (Distance from Lot Line)</b>	
Front & Corner Setback (min.)	25' <b>G</b>
Side & Rear Setback (min.)	10' <b>H</b>
Side and rear setback shall be 0' when abutting an alley.	
<b>Required Spaces</b>	
Off-street parking areas are not required for any use.	
Any off-street parking areas provided, even though not required, shall be developed in compliance with the standards set forth in <a href="#">Section 21-07.03</a> .	
See <a href="#">Section 21-07</a> for full access and parking requirements.	

Building Form



**(f) Building Form**

**Building Height**

Primary Building (max.) 40' and 3 stories **I**

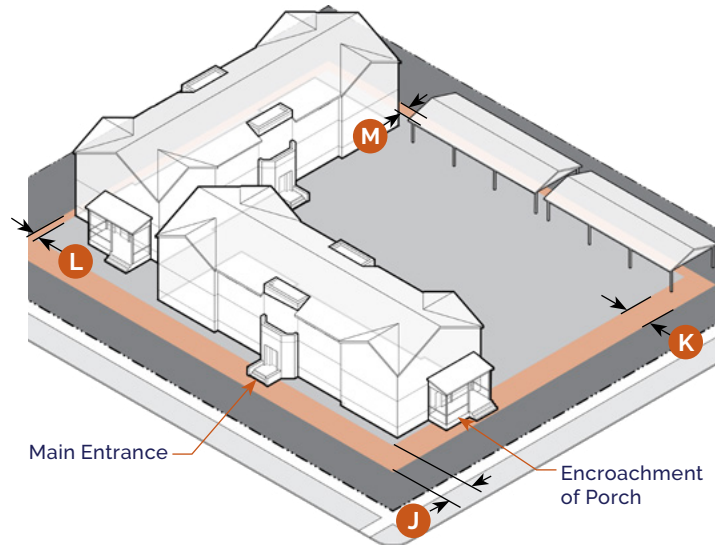
Accessory Building (max.) 26'

Accessory buildings shall not be taller than the primary building on a lot.

**Building Orientation**

Primary facades shall be oriented to a front lot line or open space.

Building Components



**Encroachment Zone**

**(g) Building Components**

**Allowed Building Frontage Types**

Porch	<a href="#">21-08.03(c)</a>
Stoop	<a href="#">21-08.03(d)</a>
Gallery	<a href="#">21-08.03(e)</a>
Forecourt	<a href="#">21-08.03(f)</a>

**Building Entrance**

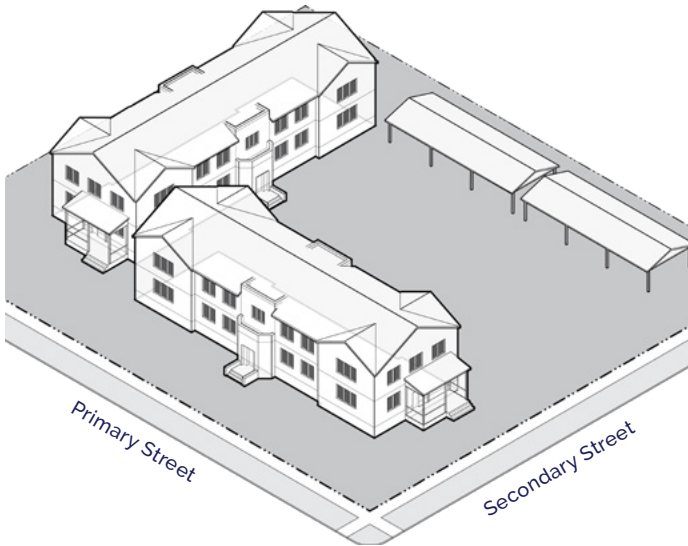
The main entrance shall be located on the front facade, on the corner facade, or on the side facade within 20' of the front facade.

Allowed Encroachments (max.)	Front <b>J</b>	Corner <b>K</b>	Side <b>L</b>	Rear <b>M</b>
Architectural Features	3'	3'	3'	3'
Building Frontage Type	10'	10'	<input type="checkbox"/>	<input type="checkbox"/>
Balcony	5'	5'	<input type="checkbox"/>	<input type="checkbox"/>
Bay Window (< 10' wide)	3'	3'	3'	3'
Patio & Decks (under 30")	8'	8'	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

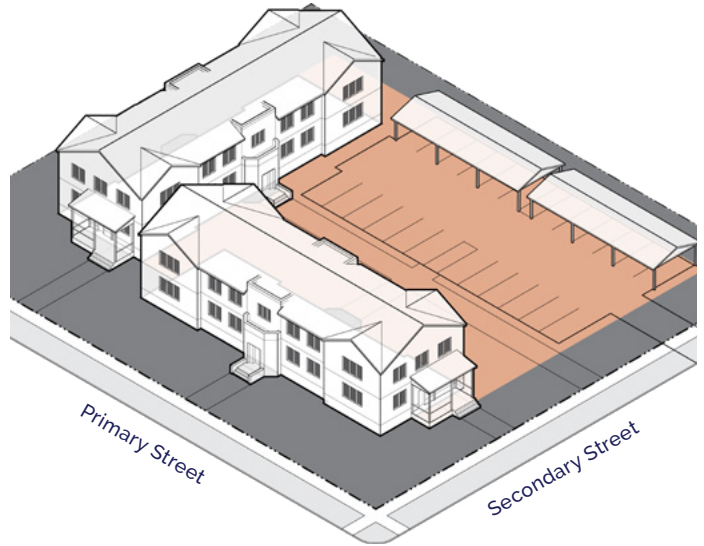
See Section [21-08.01\(g\)](#) for building component definitions and additional requirements.

**Key**  Allowed  Not Allowed

**Building Standards**



**Site Development**



**(h) Building Standards**

**Building Materials**

Restrictions on building materials shall apply to all front and corner facades of residential buildings with 5 or more units and non-residential buildings.

Building materials used on the front and corner facades shall extend a minimum depth of 16" along the side facade. E.I.F.S. is not permitted on the ground floor except as trim.

Standard, fluted, or split face concrete masonry units above the basement level are prohibited as face material. Unfinished metal, plywood, unfinished precast or poured-in-place concrete are prohibited.

Commercial-grade/scale products are prohibited on any residential building facade.

Windows and doors on a ground floor front/corner facade shall have clear, transparent glass that has a min. VLT of 50% and a max. VLR of 25%.

See [Section 21-08](#) for full building standards.

**(i) Site Development**

**Accessory Structures/Uses**

Accessory Structures	<a href="#">21-06.02(f)(1)</a>
Mechanical/HVAC	<a href="#">21-06.02(f)(14)</a>
Satellite Dish Antennas	<a href="#">21-06.02(f)(22)</a>
Swimming Pool/Hot Tubs	<a href="#">21-06.02(f)(26)</a>
Trash/Recycling Container	<a href="#">21-06.02(f)(27)</a>

**Allowed Location in Established Yards**

Accessory structures shall not be located in any established front or corner yard. Accessory structures shall comply with all required setbacks but may encroach into a required rear setback up to 5' of the lot line.

See [Section 21-06.02](#) for full accessory use regulations.

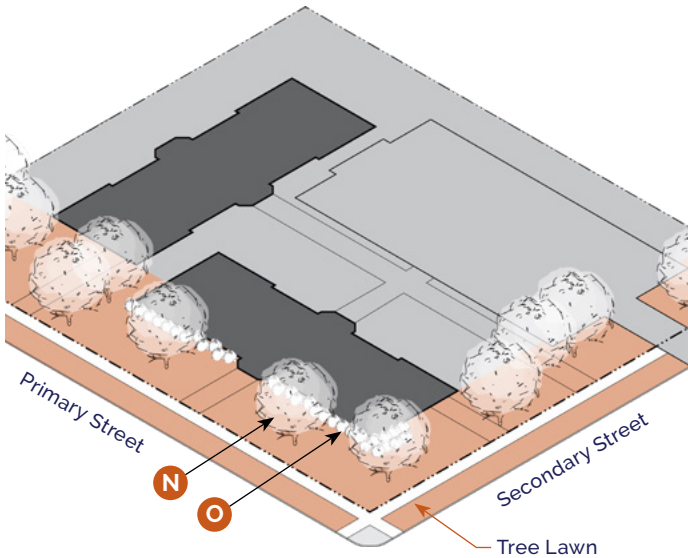
Fence/Freestanding Walls	Front	Corner	Side	Rear
Height (max.)	3'	3'	6'	6'

A fence up to 4' is allowed in an established front or corner yard if fence is greater than 50% open.

See [Section 21-09](#) for full site development requirements.

Key  Allowed  Not Allowed

Landscape



Streetscape Trees Allowed

**(j) Landscape**

**Streetscape Trees Required**

Shade Tree <sup>1</sup>	1 tree min. per each full 30' of street frontage	<b>N</b>
Location	Front yard, corner yard, or tree lawn	

**Foundation Landscape Required <sup>2</sup>**

Front & Corner Facades Over 35' Wide	1 shrub per 5' of facade min.	<b>O</b>
Location	Directly adjacent to facade	

**Buffer Landscape Required <sup>2</sup>**

Adjacent to S1, U1, or U2 Type 3 buffer

**Parking Lot Screening (of 4 or more spaces)**

Parking that is visible from a street/open space, other than an alley, shall be screened by a Type 1 buffer.

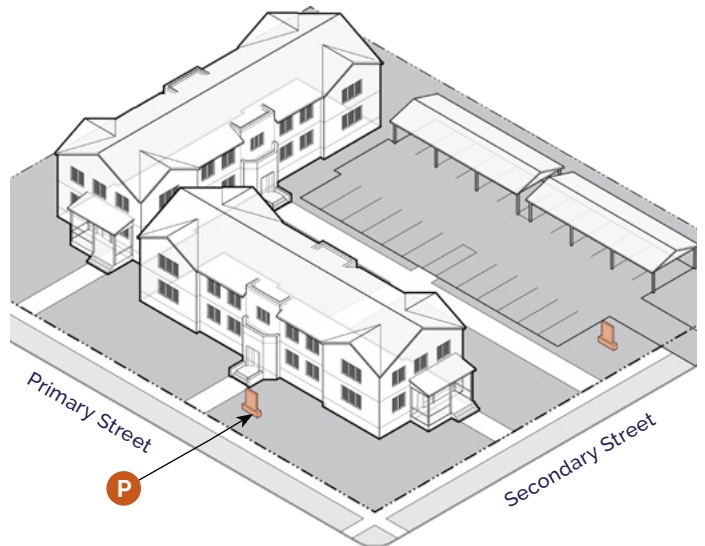
Buffers shall comply with [Section 21-09.01\(n\)](#).

See [Section 21-09.01](#) for full landscape requirements.

<sup>1</sup> An existing tree of at least 2" caliper may fulfill this requirement.

<sup>2</sup> Residential buildings with 4 or fewer units are exempt from foundation and buffer landscape requirements.

Signs



**(k) Signs**

**Total Signs Allowed**

Residential: 4 or fewer dwellings		
Building or Freestanding Sign	1 per street frontage; up to 2 square feet and 4 feet in height	

Residential: 5+ dwelling units

Building or Freestanding Sign	1 per street frontage; up to 32 square feet and 6 feet in height	<b>P</b>
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Non-Residential Use

Building Sign	Up to 5% of the total area of the building facade	
Freestanding Sign	1 per street frontage; up to 32 square feet and 6 feet in height	

Freestanding signs may be located in a required setback, provided they are at least 5' from a lot line.

See [Section 21-10](#) for full sign requirements including changeable copy signs, temporary signs, exempt signs, off-premise, and use-specific signs.



## Section 21-03.03: U1 Urban Neighborhood 1

**(a) Intent**

The U1 District is established to provide for, promote, and maintain urban neighborhoods located in both the core and outlying areas of the City.

The following are typical characteristics of the U1 District:

- Primarily single and two unit residential development in the form of detached houses, allowing the addition of ancillary dwelling units to give additional value
- Buildings with modest setbacks and inviting building frontages, primarily of stoops and porches, that create a consistent block face along smaller city blocks
- Detached garages located at the rear of the lot, often accessed from an alley
- Pedestrian-oriented scale with sidewalks and regularly spaced street trees

**(b) Building Types**

The following building types are permitted in the U1 District:

- Carriage House
- Duplex
- Detached House

The names of the building types are not intended to limit or expand uses allowed within the building. See [Section 21-08.02](#) for building type descriptions and regulations.

Limited public and institutional uses shall be incorporated at a scale and character compatible with the surrounding neighborhood.

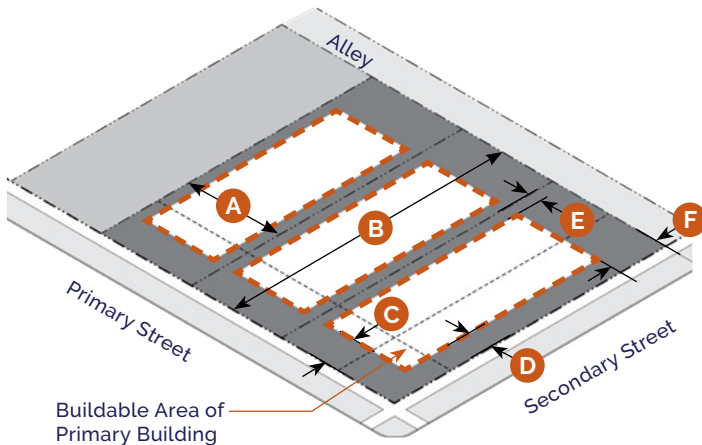
Uses

(c) Principal Uses	Use Definition & Standards
<b>Agricultural</b>	
Community Garden	■ * <a href="#">21-06.01(e)(2)</a>
<b>Civic &amp; Institutional</b>	
Assembly, Neighborhood	■ * <a href="#">21-06.01(f)(1)</a>
Cemetery	■ <a href="#">21-06.01(f)(3)</a>
College/University	■ <a href="#">21-06.01(f)(4)</a>
Library/Museum/Cultural Facility	■ * <a href="#">21-06.01(f)(7)</a>
Parks & Open Space	■ <a href="#">21-06.01(f)(8)</a>
Police/Fire Facilities	■ <a href="#">21-06.01(f)(9)</a>
Religious Institutions	■ <a href="#">21-06.01(f)(10)</a>
School, Pre-K/Primary/Secondary	■ <a href="#">21-06.01(f)(11)</a>
<b>Lodging</b>	
Bed & Breakfast	■ * <a href="#">21-06.01(h)(1)</a>
<b>Residential</b>	
Dwelling, Ancillary	▣ * <a href="#">21-06.01(j)(1)</a>
Dwelling, 1 Unit	■ <a href="#">21-06.01(j)(2)</a>
Dwelling, 2 Units	■ <a href="#">21-06.01(j)(3)</a>
Group Residence, State Regulated	■ <a href="#">21-06.01(j)(7)</a>
Residential Care Facility	■ <a href="#">21-06.01(j)(8)</a>
<b>Retail &amp; Service</b>	
Day Care Center	■ <a href="#">21-06.01(k)(6)</a>
Entertainment/Recreation Facility, Outdoor	■ <a href="#">21-06.01(k)(9)</a>
Funeral Services	■ <a href="#">21-06.01(k)(10)</a>
<b>Transportation</b>	
Parking Lot	■ * <a href="#">21-06.01(l)(4)</a>
<b>Utilities</b>	
Solar Farm	■ <a href="#">21-06.01(m)(1)</a>
Utilities, Major	■ * <a href="#">21-06.01(m)(2)</a>
Utilities, Minor	■ * <a href="#">21-06.01(m)(3)</a>
Wireless Communications	■ * <a href="#">21-06.01(m)(4)</a>
See <a href="#">Section 21-06.02</a> for accessory use standards.	

Key ■ Allowed ▣ Allowed subject to Conditions ■ Special Exception \* Use Specific Standards



**Building Placement**



- Minimum Setback Line
- Maximum Setback Line

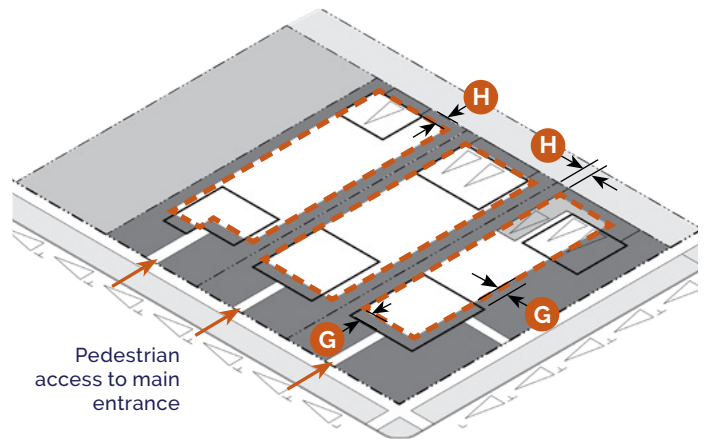
**(d) Building Placement**

Lot Size				
Lot Width		30' min.		<b>A</b>
Lot Depth		60' min.		<b>B</b>
Building Setbacks	Front <sup>1</sup>	Corner	Side <sup>2</sup>	Rear
	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
Residential (min.)	15'	10'	5'	20'
Residential (max.)	25'	25'	-	-
Non-Residential (min.)	15'	10'	20'	20'
Facade within Setback Zone				
Front (min.)	65%			
Corner (min.)	50%			
Building Coverage				
Building Coverage	50% max.			

<sup>1</sup> Where existing buildings on a block face are not consistent with the required setbacks, any new building may apply the contextual setback per [Section 21-02.03\(b\)](#).

<sup>2</sup> Side setback not required between attached dwellings.

**Access & Parking**

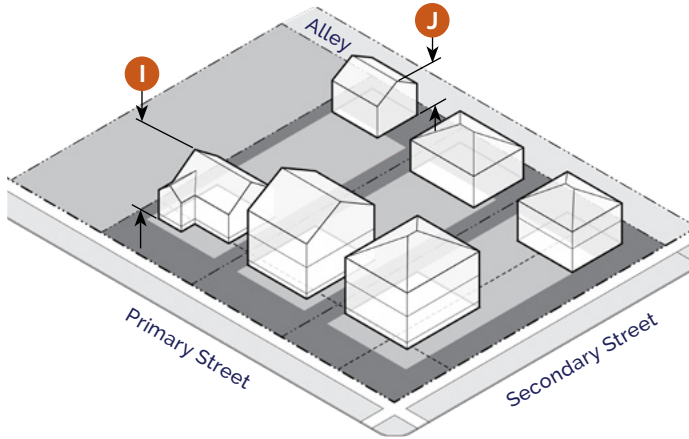


- Minimum Parking Lot Setback

**(e) Access & Parking**

Pedestrian Access		
A walkway shall connect the sidewalk or driveway to the main entrance.		
Bicycle Access		
See <a href="#">Section 21-07.02</a> for Bicycle Parking requirements.		
Parking Access		
If access is available from an alley which is open to traffic, there shall be no access allowed from the street. If allowed, a maximum of one curb cut is permitted per street frontage.		
A garage facing a street shall be set back not less than 18'.		
A garage facing an alley shall be set back 5' from the lot line or not less than 18'.		
Parking Lot Location (Distance from Lot Line)		
Front & Corner Setback (min.)	5' behind facade, or 12' if no building	<b>G</b>
Side & Rear Setback (min.)	5'	<b>H</b>
Side and rear setback shall be 0' when abutting an alley.		
Required Spaces		
Off-street parking areas are not required for any use. Any off-street parking areas provided, even though not required, shall be developed in compliance with the standards set forth in <a href="#">Section 21-07.03</a> .		
See <a href="#">Section 21-07</a> for full access and parking requirements.		

Building Form



**(f) Building Form**

**Building Height**

Primary Building (max.)	35' and 2.5 stories	I
Accessory Building (max.) <sup>1</sup>	18'	J

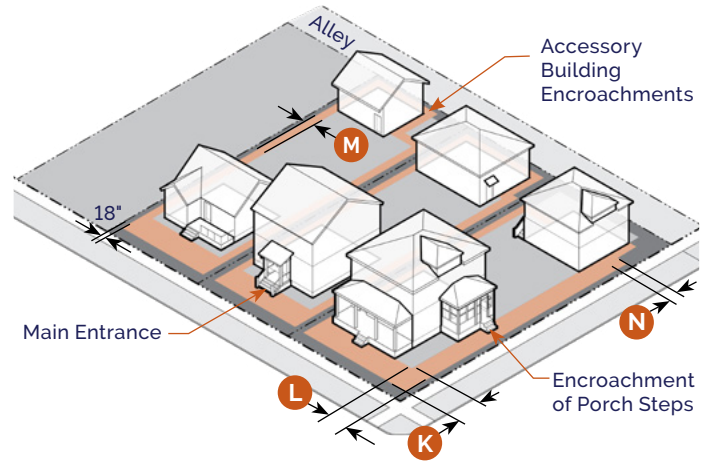
Accessory buildings shall not be taller than the primary building on a lot.

**Building Orientation**

Primary facades shall be oriented to a front lot line or open space.

<sup>1</sup> Ancillary dwelling units may be built to a maximum height of 26' if located at least 5' from the rear lot line of a lot with a rear alley or at least 20' from the rear lot line of a lot without a rear alley.

Building Components



Encroachment Zone

**(g) Building Components**

**Allowed Building Frontage Types**

Porch	21-08.03(c)
Stoop	21-08.03(d)
Gallery	21-08.03(e)

**Building Entrance**

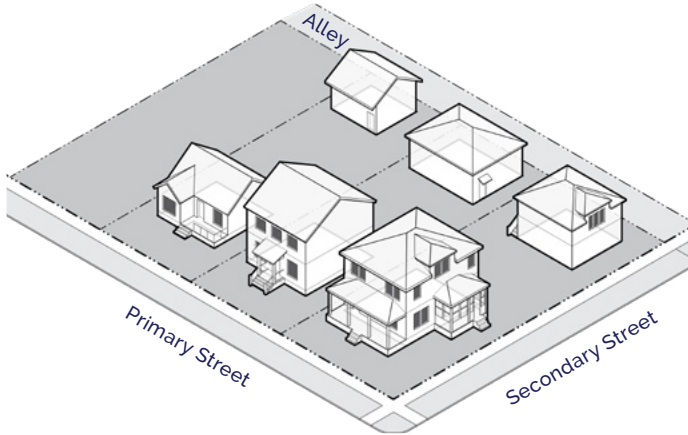
The main entrance shall be located on the front facade, on the corner facade, or on the side facade within 20' of the front facade.

Allowed Encroachments (max.)	Front (K)	Corner (L)	Side (M)	Rear (N)
Architectural Features	3'	3'	3'	3'
Building Frontage Type	5'	5'	<input type="checkbox"/>	<input type="checkbox"/>
Balcony	5'	5'	<input type="checkbox"/>	<input type="checkbox"/>
Bay Window (< 10' wide)	3'	3'	3'	3'
Patio & Decks (under 30")	8'	8'	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

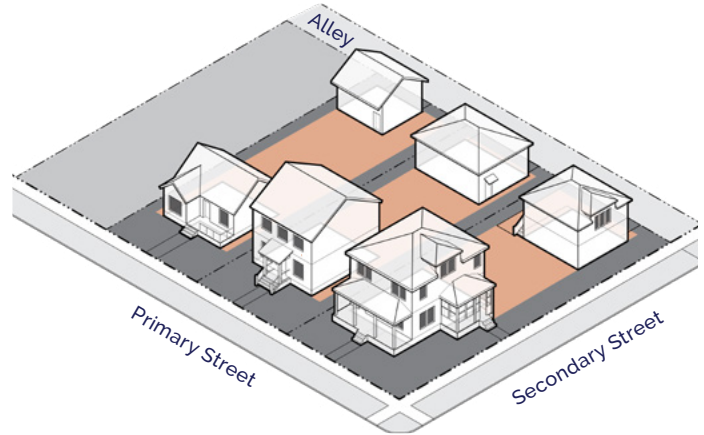
Building components shall be at least 18" from any lot line. See Section 21-08.01(g) for building component definitions and additional requirements.

Key  Allowed  Not Allowed

**Building Standards**



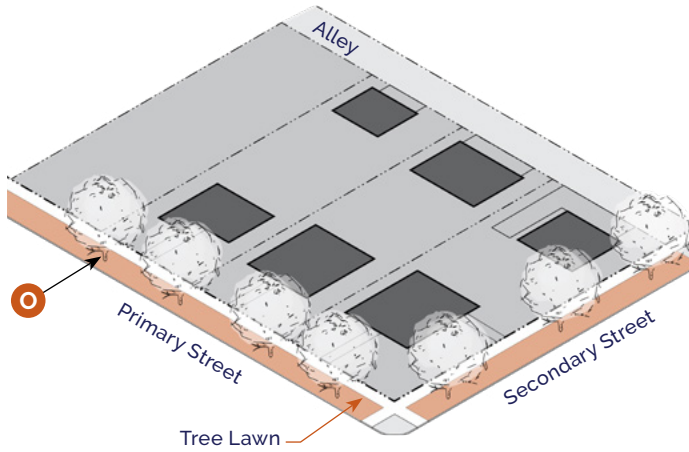
**Site Development**



  Accessory Structures Allowed

<b>(h) Building Standards</b>		<b>(i) Site Development</b>	
<b>Facade Transparency (min.)</b>		<b>Accessory Structures/Uses</b>	
Ground Floor - Front & Corner Facade	15%	Accessory Structures	<a href="#">21-06.02(f)(1)</a>
Upper Floor - Front & Corner Facade	15%	Mechanical/HVAC	<a href="#">21-06.02(f)(14)</a>
<b>Building Materials</b>		Satellite Dish Antennas	<a href="#">21-06.02(f)(22)</a>
There are no restrictions on building materials for residential buildings within the U1 district.		Swimming Pool/Hot Tubs	<a href="#">21-06.02(f)(26)</a>
See <a href="#">Section 21-08.01(e)</a> for building material restrictions that shall apply to any non-residential building.		<b>Allowed Location in Established Yards</b>	
See <a href="#">Section 21-08</a> for full building standards.		Accessory structures shall not be located in any established front or corner yard.	
		Accessory structures shall comply with all required setbacks but may encroach into a required rear setback up to 5' of the lot line.	
		See <a href="#">Section 21-06.02</a> for full accessory use regulations.	
		<b>Fence/Freestanding Walls</b>	
	<b>Front</b>	<b>Corner</b>	<b>Side</b>
Height (max.)	3'	3'	6'
A fence up to 4' is allowed in an established front or corner yard if fence is greater than 50% open.			
See <a href="#">Section 21-09</a> for full site development requirements.			

Landscape



Street Trees Allowed

**(j) Landscape**

**Streetscape Trees Required**

Shade Tree <sup>1</sup>	1 tree min. per each full 30' of street frontage	O
Location <sup>2</sup>	Tree Lawn	
Spacing	Evenly spaced to extent possible	

**Foundation Landscape Required <sup>3</sup>**

Front & Corner Facades Over 35' Wide	1 shrub per 5' of facade min.
Location	Directly adjacent to facade

**Parking Lot Screening (of 4 or more spaces)**

Parking that is visible from a street/open space, other than an alley, shall be screened by a Type 1 buffer.

Parking that is visible from a side/rear lot line abutting a S1, U1, or U2 district shall be screened by a Type 1 or 2 buffer.

Buffers shall comply with [Section 21-09.01\(n\)](#).

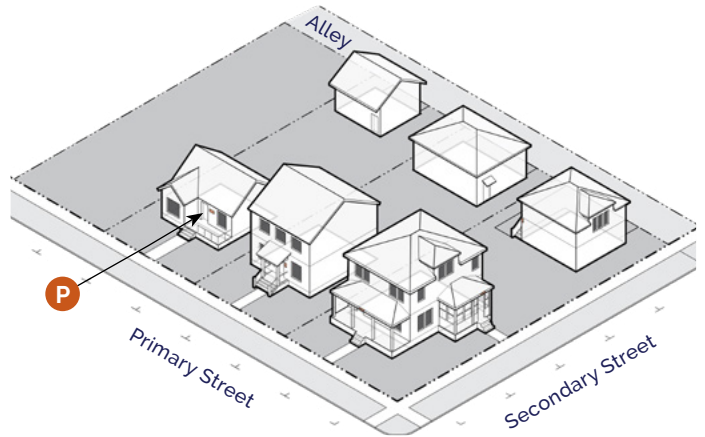
See [Section 21-09.01](#) for full landscape requirements.

<sup>1</sup> An existing tree of at least 2" caliper may fulfill this requirement.

<sup>2</sup> If a tree cannot be placed in a tree lawn, then required trees may be located in a front or corner established yard.

<sup>3</sup> Residential buildings with 4 or fewer units are exempt from foundation landscape requirements.

Signs



**(k) Signs**

**Total Signs Allowed**

Residential		P
Building or Freestanding Sign	1 per street frontage; up to 2 square feet and 4 feet in height	
Non-Residential Use		
Building Sign	Up to 5% of the total area of the building facade	
Freestanding Sign	1 per street frontage; up to 32 square feet and 6 feet in height	

Freestanding signs may be located in a required setback, provided they are at least 5' from a lot line.

See [Section 21-10](#) for full sign requirements including changeable copy signs, temporary signs, exempt signs, off-premise, and use-specific signs.



**Section 21-03.04: U2 Urban Neighborhood 2**

**(a) Intent**

The U2 District is established to provide for, promote, and maintain the development of diverse housing types in urban neighborhoods located near neighborhood centers in both core and outlying areas of the City.

The following are typical characteristics of the U2 District:

- Primarily for single and two unit residential development, allowing up to four units and the addition of ancillary dwelling units to help meet the demand for affordable, urban living
- Buildings with modest setbacks and inviting building frontages, primarily of stoops and porches, that create a consistent block face along smaller city blocks
- Detached garages accessed from an alley
- Pedestrian-oriented scale with sidewalks and regularly spaced street trees

**(b) Building Types**

The following building types are permitted in the U2 District:

- |                  |                   |
|------------------|-------------------|
| ■ Carriage House | ■ Duplex          |
| ■ Detached House | ■ Townhouse       |
| ■ Cottage Court  | ■ Apartment House |

The names of the building types are not intended to limit or expand uses allowed within the building. See [Section 21-08.02](#) for building type descriptions and regulations.

Limited public and institutional uses shall be incorporated at a scale and character compatible with the surrounding neighborhood.

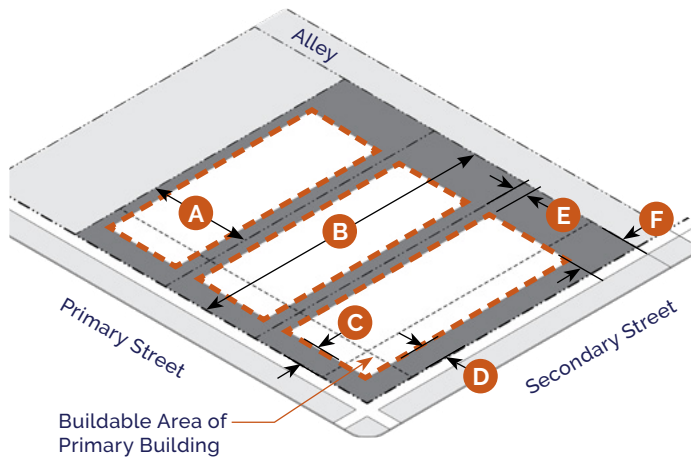
Uses

(c) Principal Uses	Use Definition & Standards
<b>Agricultural</b>	
Community Garden	■ * <a href="#">21-06.01(e)(2)</a>
<b>Civic &amp; Institutional</b>	
Assembly, Neighborhood	■ * <a href="#">21-06.01(f)(1)</a>
Cemetery	■ <a href="#">21-06.01(f)(3)</a>
College/University	■ <a href="#">21-06.01(f)(4)</a>
Library/Museum/Cultural Facility	■ * <a href="#">21-06.01(f)(7)</a>
Parks & Open Space	■ <a href="#">21-06.01(f)(8)</a>
Police/Fire Facilities	■ <a href="#">21-06.01(f)(9)</a>
Religious Institutions	■ <a href="#">21-06.01(f)(10)</a>
School, Pre-K/Primary/Secondary	■ <a href="#">21-06.01(f)(11)</a>
<b>Lodging</b>	
Bed & Breakfast	■ * <a href="#">21-06.01(h)(1)</a>
<b>Residential</b>	
Dwelling, Ancillary	■ * <a href="#">21-06.01(j)(1)</a>
Dwelling, 1 Unit	■ <a href="#">21-06.01(j)(2)</a>
Dwelling, 2 Units	■ <a href="#">21-06.01(j)(3)</a>
Dwelling, Multi-Unit	■ * <a href="#">21-06.01(j)(5)</a>
Group Residence, State Regulated	■ <a href="#">21-06.01(j)(7)</a>
Residential Care Facility	■ <a href="#">21-06.01(j)(8)</a>
<b>Retail &amp; Service</b>	
Day Care Center	■ <a href="#">21-06.01(k)(6)</a>
Entertainment/Recreation Facility, Outdoor	■ <a href="#">21-06.01(k)(9)</a>
Funeral Services	■ <a href="#">21-06.01(k)(10)</a>
<b>Transportation</b>	
Parking Lot	■ * <a href="#">21-06.01(l)(4)</a>
<b>Utilities</b>	
Solar Farm	■ <a href="#">21-06.01(m)(1)</a>
Utilities, Major	■ * <a href="#">21-06.01(m)(2)</a>
Utilities, Minor	■ * <a href="#">21-06.01(m)(3)</a>
Wireless Communications	■ * <a href="#">21-06.01(m)(4)</a>

See [Section 21-06.02](#) for accessory use standards.

Key ■ Allowed ■ Allowed subject to Conditions ■ Special Exception \* Use Specific Standards

Building Placement



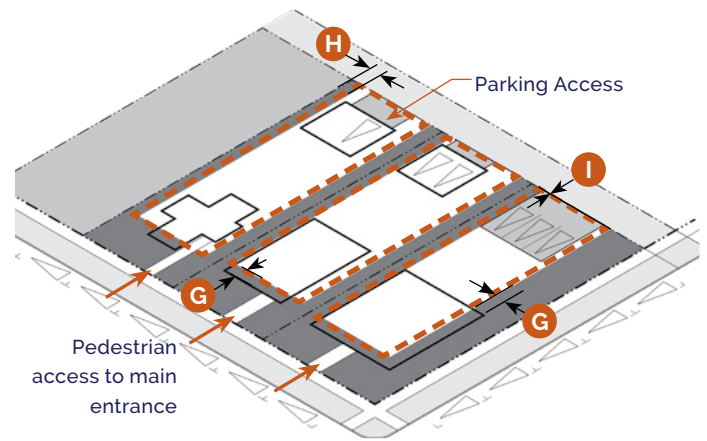
- Minimum Setback Line
- Maximum Setback Line

<b>(d) Building Placement</b>				
<b>Lot Size</b>				
Lot Width	15' min.			<b>A</b>
Lot Depth	60' min.			<b>B</b>
<b>Building Setbacks</b>	<b>Front<sup>1</sup></b>	<b>Corner</b>	<b>Side<sup>2</sup></b>	<b>Rear</b>
	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
Residential (min.)	15'	10'	5'	20'
Residential (max.)	25'	25'	-	-
Non-Residential (min.)	15'	10'	20'	20'
<b>Facade within Setback Zone</b>				
Front (min.)	65%			
Corner (min.)	50%			
<b>Building Coverage</b>				
Building Coverage	60% max.			

<sup>1</sup> Where existing buildings on a block face are not consistent with the required setbacks, any new building may apply the contextual setback per Section 21-02.03(b).

<sup>2</sup> Side setback not required between attached dwellings.

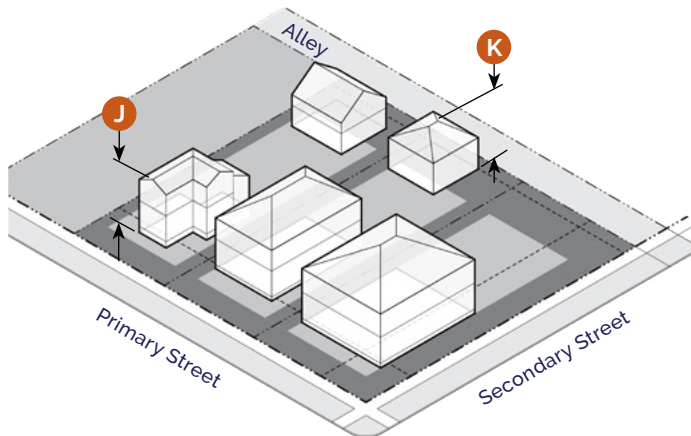
Access & Parking



- Minimum Parking Lot Setback

<b>(e) Access &amp; Parking</b>	
<b>Pedestrian Access</b>	
A walkway shall connect the sidewalk or driveway to the main entrance.	
<b>Bicycle Access</b>	
See Section 21-07.02 for Bicycle Parking requirements.	
<b>Parking Access</b>	
If access is available from an alley which is open to traffic, there shall be no access allowed from the street. If allowed, a maximum of one curb cut is permitted per street frontage.	
A garage facing a street shall be set back not less than 18'.	
A garage facing an alley shall be set back 5' from the lot line or not less than 18'.	
<b>Parking Lot Location (Distance from Lot Line)</b>	
Front & Corner Setback (min.)	5' behind facade, <b>G</b> or 12' if no building
Side & Rear Setback (min.)	5' <b>H</b>
Side and rear setback shall be 0' when abutting an alley.	<b>I</b>
<b>Required Spaces</b>	
Off-street parking areas are not required for any use.	
Any off-street parking areas provided, even though not required, shall be developed in compliance with the standards set forth in Section 21-07.03.	
See Section 21-07 for full access and parking requirements.	

Building Form



**(f) Building Form**

**Building Height**

Primary Building (max.)	35' and 2.5 stories	<b>J</b>
Accessory Building (max.) <sup>1</sup>	18'	<b>K</b>

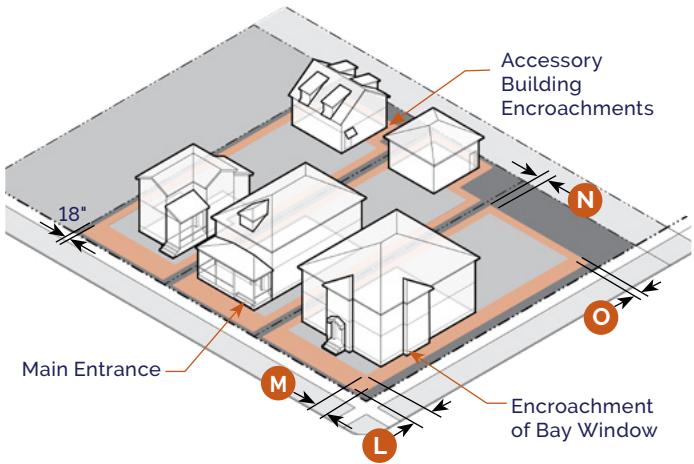
Accessory buildings shall not be taller than the primary building on a lot.

**Building Orientation**

Primary facades shall be oriented to a front lot line or open space.

<sup>1</sup> Ancillary dwelling units may be built to a maximum height of 26' if located at least 5' from the rear lot line of a lot with a rear alley or at least 20' from the rear lot line of a lot without a rear alley.

Building Components



Encroachment Zone

**(g) Building Components**

**Allowed Building Frontage Types**

Porch	<a href="#">21-08.03(c)</a>
Stoop	<a href="#">21-08.03(d)</a>
Gallery	<a href="#">21-08.03(e)</a>

**Building Entrance**

The main entrance shall be located on the front facade, on the corner facade, or on the side facade within 20' of the front facade.

Allowed Encroachments (max.)	Front <b>L</b>	Corner <b>M</b>	Side <b>N</b>	Rear <b>O</b>
Architectural Features	3'	3'	3'	3'
Building Frontage Type	5'	5'	<input type="checkbox"/>	<input type="checkbox"/>
Balcony	5'	5'	<input type="checkbox"/>	<input type="checkbox"/>
Bay Window (< 10' wide)	3'	3'	3'	3'
Patio & Decks (under 30")	8'	8'	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

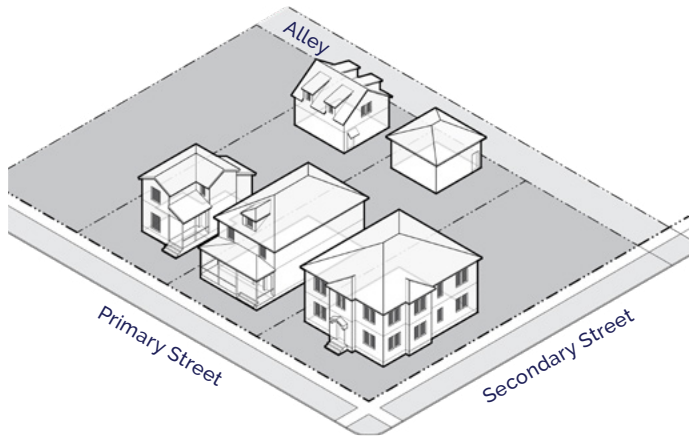
Building components shall be at least 18" from any lot line.

See [Section 21-08.01\(g\)](#) for building component definitions and additional requirements.

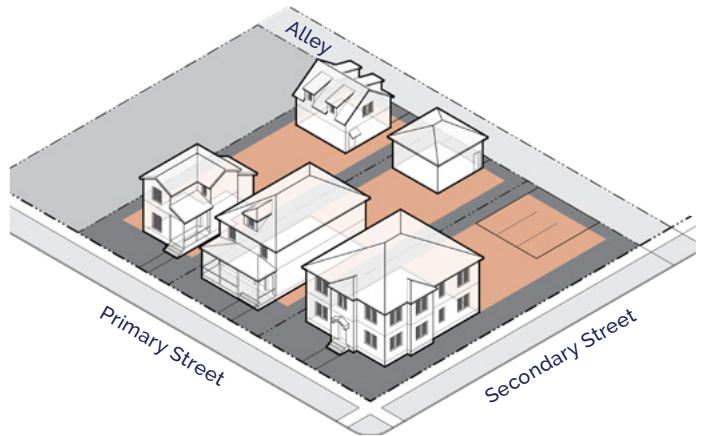
Key  Allowed  Not Allowed



**Building Standards**



**Site Development**



**(h) Building Standards**

Facade Transparency (min.)	
Ground Floor - Front & Corner Facade	15%
Upper Floor - Front & Corner Facade	15%

**Building Materials**

There are no restrictions on building materials for residential buildings within the U2 district.

See [Section 21-08.01\(e\)](#) for building material restrictions that shall apply to any non-residential building.

See [Section 21-08](#) for full building standards.

**(i) Site Development**

Accessory Structures/Uses	
Accessory Structures	<a href="#">21-06.02(f)(1)</a>
Mechanical/HVAC	<a href="#">21-06.02(f)(14)</a>
Satellite Dish Antennas	<a href="#">21-06.02(f)(22)</a>
Swimming Pool/Hot Tubs	<a href="#">21-06.02(f)(26)</a>

**Allowed Location in Established Yards**

Accessory structures shall not be located in any established front or corner yard.

Accessory structures shall comply with all required setbacks but may encroach into a required rear setback up to 5' of the lot line.

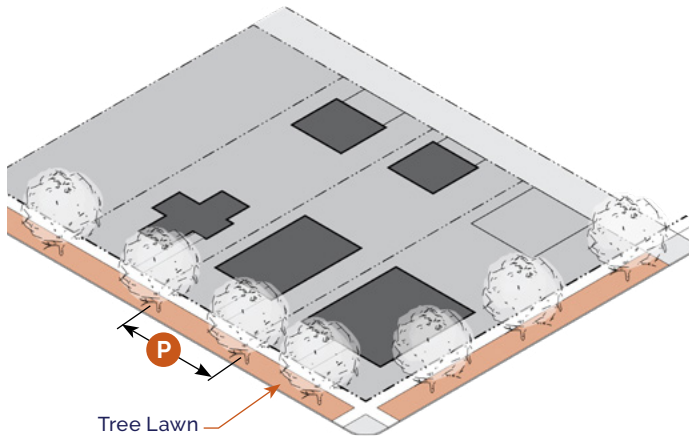
See [Section 21-06.02](#) for full accessory use regulations.

Fence/Freestanding Walls	Front	Corner	Side	Rear
Height (max.)	3'	3'	6'	6'

A fence up to 4' is allowed in an established front or corner yard if fence is greater than 50% open.

See [Section 21-09](#) for full site development requirements.

Landscape



Street Trees Allowed

**(j) Landscape**

**Streetscape Trees Required**

Shade Tree <sup>1</sup>	1 tree min. per each full 30' of street frontage	P
Location <sup>2</sup>	Tree Lawn	
Spacing	Evenly spaced to extent possible	

**Foundation Landscape Required <sup>3</sup>**

Front & Corner Facades Over 35' Wide	1 shrub per 5' of facade min.
Location	Directly adjacent to facade

**Parking Lot Screening (of 4 or more spaces)**

Parking that is visible from a street/open space, other than an alley, shall be screened by a Type 1 buffer.

Parking that is visible from a side/rear lot line abutting a S1, U1, or U2 district shall be screened by a Type 1 or 2 buffer.

Buffers shall comply with [Section 21-09.01\(n\)](#).

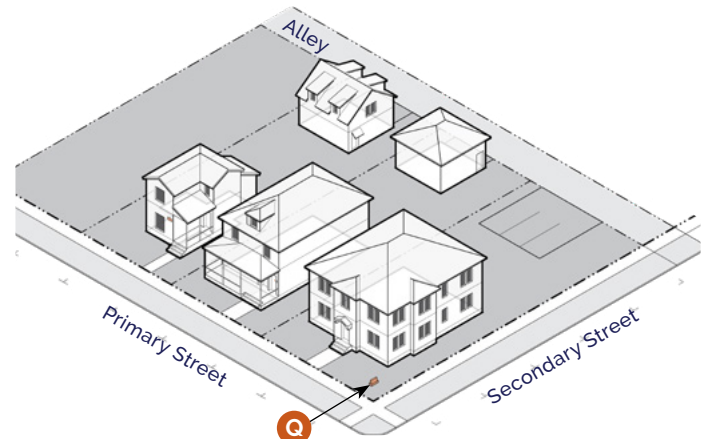
See [Section 21-09.01](#) for full landscape requirements.

<sup>1</sup> An existing tree of at least 2" caliper may fulfill this requirement.

<sup>2</sup> If a tree cannot be placed in a tree lawn, then required trees may be located in a front or corner established yard.

<sup>3</sup> Residential buildings with 4 or fewer units are exempt from foundation landscape requirements.

Signs



**(k) Signs**

**Total Signs Allowed**

Residential		
Building or Freestanding Sign	1 per street frontage; up to 2 square feet and 4 feet in height	Q

**Non-Residential Use**

Building Sign	Up to 5% of the total area of the building facade
Freestanding Sign	1 per street frontage; up to 32 square feet and 6 feet in height

Freestanding signs may be located in a required setback, provided they are at least 5' from a lot line.

See [Section 21-10](#) for full sign requirements including changeable copy signs, temporary signs, exempt signs, off-premise, and use-specific signs.



## Section 21-03.05: U3 Urban Neighborhood 3

**(a) Intent**

The U3 District is established to provide for, promote, and maintain the development of a full range of housing types located near neighborhood centers and along major streets in urban neighborhoods in core and outlying areas of the City.

The following are typical characteristics of the U3 District:

- Single unit, two unit, and multi-unit residential development, together with ancillary dwelling units, that provides a diversity of housing choices with a range of unit size and affordability
- Buildings with modest setbacks and inviting building frontages, primarily of stoops and porches, that create a consistent block face along smaller city blocks
- Detached garages or shared parking areas accessed from an alley
- Pedestrian-oriented scale with sidewalks and regularly spaced street trees

**(b) Building Types**

The following building types are permitted in the U3 District:

- |                  |                   |
|------------------|-------------------|
| ■ Carriage House | ■ Townhouse       |
| ■ Detached House | ■ Apartment House |
| ■ Cottage Court  | ■ Stacked Flats   |
| ■ Duplex         |                   |

The names of the building types are not intended to limit or expand uses allowed within the building. See [Section 21-08.02](#) for building type descriptions and regulations.

Limited public and institutional uses shall be incorporated at a scale and character compatible with the surrounding neighborhood.

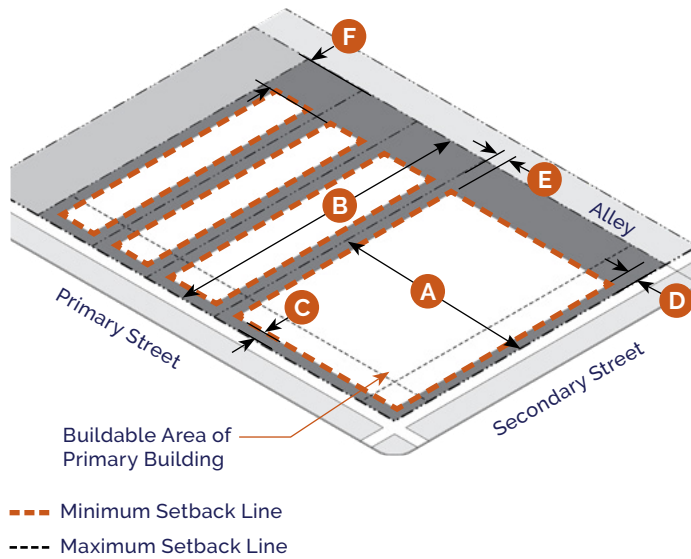
Uses

(c) Principal Uses	Use Definition & Standards
<b>Agricultural</b>	
Community Garden	■ * <a href="#">21-06.01(e)(2)</a>
<b>Civic &amp; Institutional</b>	
Assembly, Neighborhood	■ * <a href="#">21-06.01(f)(1)</a>
Cemetery	■ <a href="#">21-06.01(f)(3)</a>
College/University	■ <a href="#">21-06.01(f)(4)</a>
Library/Museum/Cultural Facility	■ * <a href="#">21-06.01(f)(7)</a>
Parks & Open Space	■ <a href="#">21-06.01(f)(8)</a>
Police/Fire Facilities	■ <a href="#">21-06.01(f)(9)</a>
Religious Institutions	■ <a href="#">21-06.01(f)(10)</a>
School, Pre-K/Primary/Secondary	■ <a href="#">21-06.01(f)(11)</a>
<b>Lodging</b>	
Bed & Breakfast	■ * <a href="#">21-06.01(h)(1)</a>
<b>Residential</b>	
Dwelling, Ancillary	■ * <a href="#">21-06.01(j)(1)</a>
Dwelling, 1 Unit	■ <a href="#">21-06.01(j)(2)</a>
Dwelling, 2 Units	■ <a href="#">21-06.01(j)(3)</a>
Dwelling, Multi-Unit	■ <a href="#">21-06.01(j)(5)</a>
Group Residence	■ <a href="#">21-06.01(j)(6)</a>
Group Residence, State Regulated	■ <a href="#">21-06.01(j)(7)</a>
Residential Care Facility	■ <a href="#">21-06.01(j)(8)</a>
Shared Housing	■ <a href="#">21-06.01(j)(9)</a>
<b>Retail &amp; Service</b>	
Day Care Center	■ <a href="#">21-06.01(k)(6)</a>
Entertainment/Recreation Facility, Outdoor	■ <a href="#">21-06.01(k)(9)</a>
Funeral Services	■ <a href="#">21-06.01(k)(10)</a>

(c) Principal Uses (continued)	Use Definition & Standards
<b>Transportation</b>	
Parking Lot	■ * <a href="#">21-06.01(l)(4)</a>
<b>Utilities</b>	
Solar Farm	■ <a href="#">21-06.01(m)(1)</a>
Utilities, Major	■ * <a href="#">21-06.01(m)(2)</a>
Utilities, Minor	■ * <a href="#">21-06.01(m)(3)</a>
Wireless Communications	■ * <a href="#">21-06.01(m)(4)</a>
See <a href="#">Section 21-06.02</a> for accessory use standards.	

Key ■ Allowed ■ Allowed subject to Conditions ■ Special Exception \* Use Specific Standards

**Building Placement**



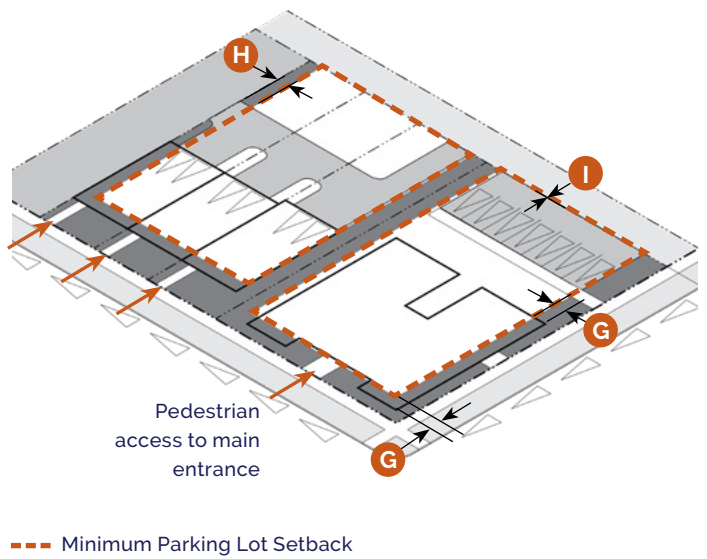
<b>(d) Building Placement</b>				
<b>Lot Size</b>				
Lot Width	15' min.			<b>A</b>
Lot Depth	60' min.			<b>B</b>
Building Setbacks	Front <sup>1</sup>	Corner	Side <sup>2</sup>	Rear
	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
Residential (min.)	5'	5'	5'	20'
Residential (max.)	15'	15'	-	-
Non-Residential (min.)	5'	5'	20'	20'
<b>Facade within Setback Zone</b>				
Front (min.) <sup>3</sup>	65%			
Corner (min.)	50%			
<b>Building Coverage</b>				
Building Coverage	60% max.			

<sup>1</sup> Where existing buildings on a block face are not consistent with the required setbacks, any new building may apply the contextual setback per [Section 21-02.03\(b\)](#).

<sup>2</sup> Side setback not required between attached dwellings.

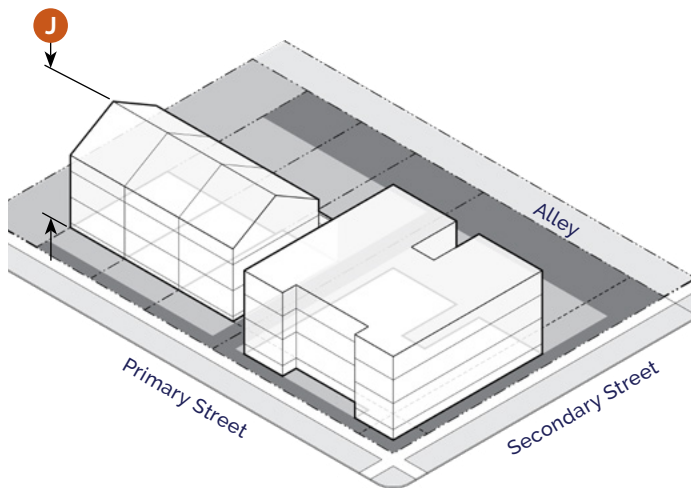
<sup>3</sup> A forecourt per [Section 21-08.03\(f\)](#) may be exempt from this requirement with approval by the Zoning Administrator.

**Access & Parking**



<b>(e) Access &amp; Parking</b>	
<b>Pedestrian Access</b>	
A walkway shall connect the sidewalk to the main entrance.	
<b>Bicycle Access</b>	
See <a href="#">Section 21-07.02</a> for Bicycle Parking requirements.	
<b>Parking Access</b>	
If access is available from an alley which is open to traffic, there shall be no access allowed from the street.	
If allowed, a maximum of one street curb cut is permitted per street frontage.	
<b>Parking Lot Location (Distance from Lot Line)</b>	
Front & Corner Setback (min.)	5' behind facade, <b>G</b> or 12' if no building
Side & Rear Setback (min.)	5' <b>H</b>
Side and rear setback shall be 0' when abutting an alley.	<b>I</b>
<b>Required Spaces</b>	
Off-street parking areas are not required for any use.	
Any off-street parking areas provided, even though not required, shall be developed in compliance with the standards set forth in <a href="#">Section 21-07.03</a> .	
See <a href="#">Section 21-07</a> for full access and parking requirements.	

Building Form



Required Setback

(f) Building Form

Building Height

Primary Building (max.) <sup>1</sup>	55' and 4 stories	<b>J</b>
Accessory Building (max.)	26'	

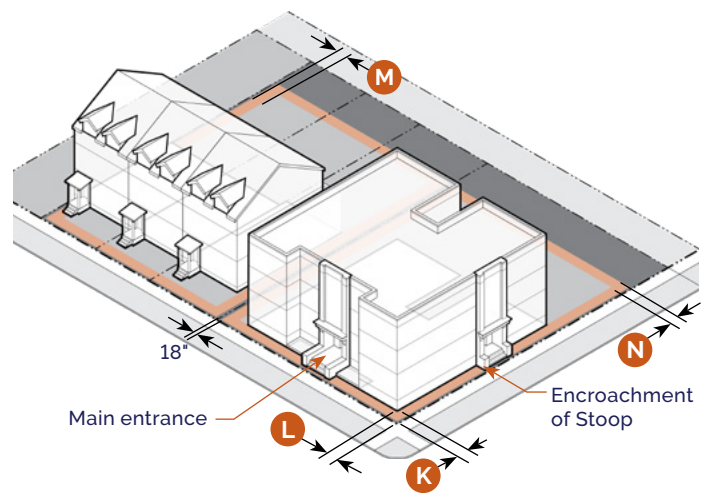
Accessory buildings shall not be taller than the primary building on a lot.

Building Orientation

Primary facades shall be oriented to a front lot line or open space.

<sup>1</sup> Portions of a primary building in excess of 40' or 3 stories shall be located at least 40' from a S1, U1, or U2 District.

Building Components



Encroachment Zone

(g) Building Components

Allowed Building Frontage Types

Porch	<a href="#">21-08.03(c)</a>
Stoop	<a href="#">21-08.03(d)</a>
Gallery	<a href="#">21-08.03(e)</a>
Forecourt	<a href="#">21-08.03(f)</a>

Building Entrance

Main entrances shall be prominently located and visible from the primary street or open space.

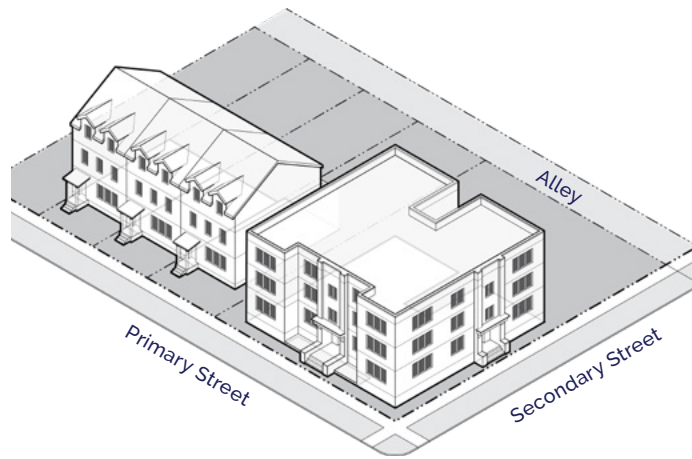
Allowed Encroachments (max.)	Front <b>K</b>	Corner <b>L</b>	Side <b>M</b>	Rear <b>N</b>
Architectural Features	3'	3'	3'	3'
Building Frontage Type	3'	3'	<input type="checkbox"/>	<input type="checkbox"/>
Balcony	3'	3'	<input type="checkbox"/>	<input type="checkbox"/>
Bay Window (< 10' wide)	3'	3'	3'	3'
Patio & Decks (under 30")	3'	3'	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Building components shall be at least 18" from any lot line.

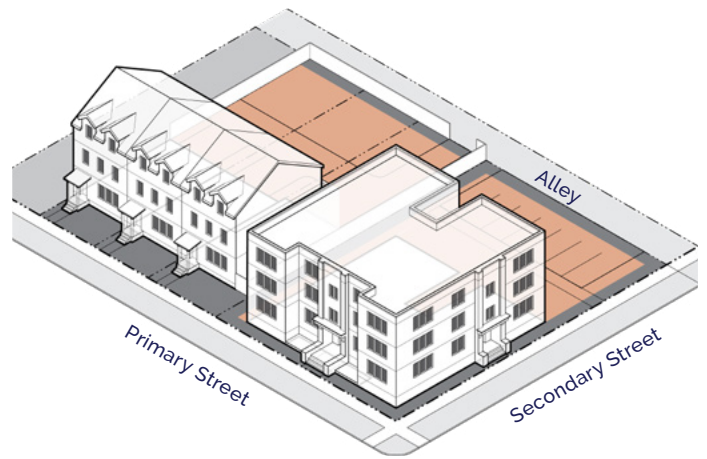
See Section [21-08.01\(g\)](#) for building component definitions and additional requirements.

Key  Allowed  Not Allowed

**Building Standards**



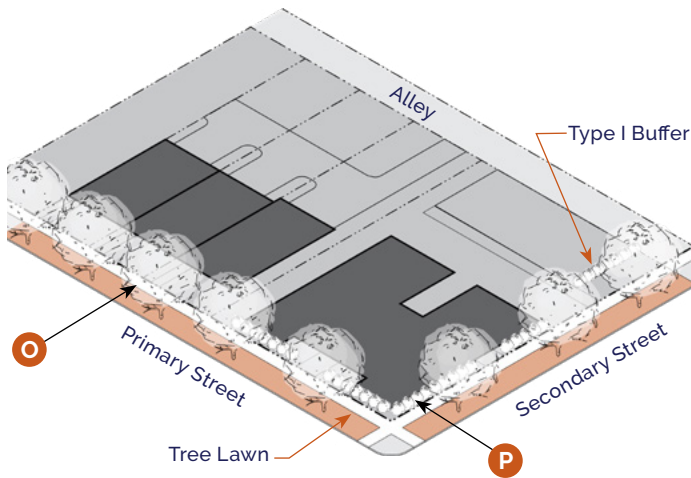
**Site Development**



 Accessory Structures Allowed

<b>(h) Building Standards</b>		<b>(i) Site Development</b>				
<b>Facade Transparency (min.)</b>		<b>Accessory Structures/Uses</b>				
Ground Floor - Front & Corner Facade	15%	Accessory Structures	<a href="#">21-06.02(f)(1)</a>			
Upper Floor - Front & Corner Facade	15%	Mechanical/HVAC	<a href="#">21-06.02(f)(14)</a>			
<b>Building Materials</b>		Satellite Dish Antennas	<a href="#">21-06.02(f)(22)</a>			
Restrictions on building materials shall apply to all front and corner facades of residential buildings with 5 or more units and non-residential buildings.		Swimming Pool/Hot Tubs	<a href="#">21-06.02(f)(26)</a>			
Building materials used on the front and corner facades shall extend a minimum depth of 16" along the side facade.		Trash/Recycling Container	<a href="#">21-06.02(f)(27)</a>			
E.I.F.S. is not permitted on the ground floor except as trim.		<b>Allowed Location in Established Yards</b>				
Standard, fluted, or split face concrete masonry units above the basement level are prohibited as face material.		Accessory structures shall not be located in any established front or corner yard.				
Unfinished metal, plywood, unfinished precast or poured-in-place concrete are prohibited.		Accessory structures shall comply with all required setbacks but may encroach into a required rear setback up to 5' of the lot line.				
Commercial-grade/scale products are prohibited on any residential building facade.		See <a href="#">Section 21-06.02</a> for full accessory use regulations.				
Windows and doors on a ground floor front/corner facade shall have clear, transparent glass that has a min. VLT of 50% and a max. VLR of 25%.		<b>Fence/Freestanding Walls</b>	<b>Front</b>	<b>Corner</b>	<b>Side</b>	<b>Rear</b>
See <a href="#">Section 21-08</a> for full building standards.		Height (max.)	3'	3'	6'	6'
		A fence up to 4' is allowed in an established front or corner yard if fence is greater than 50% open.				
		See <a href="#">Section 21-09</a> for full site development requirements.				

Landscape



Street Trees Allowed

**(j) Landscape**

**Streetscape Trees Required**

Shade Tree <sup>1</sup>	1 tree min. per each full 30' of street frontage	<b>O</b>
Location <sup>2</sup>	Tree Lawn	
Spacing	Evenly spaced to extent possible	

**Foundation Landscape Required <sup>3</sup>**

Front & Corner Facades Over 35' Wide	1 shrub per 5' of facade min.	<b>P</b>
Location	Directly adjacent to facade	

**Parking Lot Screening (of 4 or more spaces)**

Parking that is visible from a street/open space, other than an alley, shall be screened by a Type 1 buffer.

Parking that is visible from a side/rear lot line abutting a S1, U1, or U2 district shall be screened by a Type 1 or 2 buffer.

Buffers shall comply with [Section 21-09.01\(n\)](#).

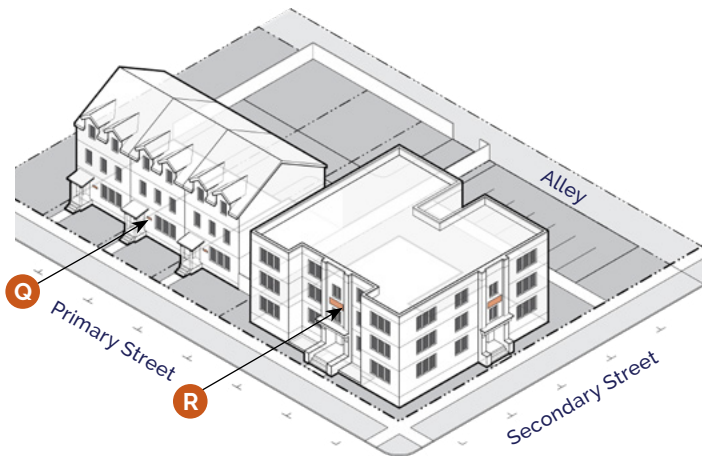
See [Section 21-09.01](#) for full landscape requirements.

<sup>1</sup> An existing tree of at least 2" caliper may fulfill this requirement.

<sup>2</sup> If a tree cannot be placed in a tree lawn, then required trees may be located in a front or corner established yard.

<sup>3</sup> Residential buildings with 4 or fewer units are exempt from foundation landscape requirements.

Signs



**(k) Signs**

**Total Signs Allowed**

Residential: 4 or fewer dwellings		
Building or Freestanding Sign	1 per street frontage; up to 2 square feet and 4 feet in height	<b>Q</b>
Residential: 5+ dwelling units		
Building or Freestanding Sign	1 per street frontage; up to 32 square feet and 6 feet in height	<b>R</b>

**Non-Residential Use**

Building Sign	Up to 5% of the total area of the building facade	
Freestanding Sign	1 per street frontage; up to 32 square feet and 6 feet in height	

Freestanding signs may be located in a required setback, provided they are at least 5' from a lot line.

See [Section 21-10](#) for full sign requirements including changeable copy signs, temporary signs, exempt signs, off-premise, and use-specific signs.





**Section 21-03.06: UF Urban Neighborhood Flex**

**(a) Intent**

The UF District is established to enhance and support a full range of housing types and small-scale commercial uses, found outside neighborhood centers in both core and outlying areas of the City.

The following are typical characteristics of the UF District:

- A mixture of residential development, including single unit, two unit, multi-unit, and ancillary dwelling units that maintains neighborhood stability.
- Integrates limited small-scale office, commercial, and institutional uses that are compatible with the scale and character of the neighborhood
- Buildings with smaller setbacks create a consistent block face along smaller city blocks
- Detached garages or shared parking areas accessed from an alley
- Pedestrian-oriented scale with sidewalks and regularly spaced street trees

**(b) Building Types**

The following building types are permitted in the UF District:

- |                  |                   |
|------------------|-------------------|
| ■ Carriage House | ■ Townhouse       |
| ■ Detached House | ■ Apartment House |
| ■ Cottage Court  | ■ Stacked Flats   |
| ■ Duplex         | ■ Shop            |

The names of the building types are not intended to limit or expand uses allowed within the building. See [Section 21-08.02](#) for building type descriptions and regulations.

Limited public and institutional uses shall be incorporated at a scale and character compatible with the surrounding neighborhood.

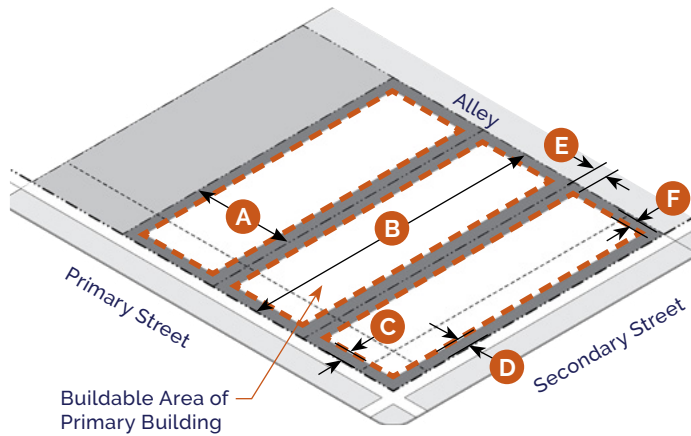
Uses

(c) Principal Uses	Use Definition & Standards
<b>Agricultural</b>	
Community Garden	■ * <a href="#">21-06.01(e)(2)</a>
<b>Civic &amp; Institutional</b>	
Assembly, Neighborhood	■ * <a href="#">21-06.01(f)(1)</a>
Cemetery	■ <a href="#">21-06.01(f)(3)</a>
College/University	■ <a href="#">21-06.01(f)(4)</a>
Library/Museum/Cultural Facility	■ * <a href="#">21-06.01(f)(7)</a>
Parks & Open Space	■ <a href="#">21-06.01(f)(8)</a>
Police/Fire Facilities	■ <a href="#">21-06.01(f)(9)</a>
Religious Institutions	■ <a href="#">21-06.01(f)(10)</a>
School, Pre-K/Primary/Secondary	■ <a href="#">21-06.01(f)(11)</a>
<b>Lodging</b>	
Bed & Breakfast	■ * <a href="#">21-06.01(h)(1)</a>
Hotel	■ * <a href="#">21-06.01(h)(2)</a>
<b>Office</b>	
Professional Offices	■ <a href="#">21-06.01(i)(1)</a>
<b>Residential</b>	
Dwelling, Ancillary	■ * <a href="#">21-06.01(j)(1)</a>
Dwelling, 1 Unit	■ <a href="#">21-06.01(j)(2)</a>
Dwelling, 2 Units	■ <a href="#">21-06.01(j)(3)</a>
Dwelling, Multi-Unit	■ <a href="#">21-06.01(j)(5)</a>
Group Residence	■ <a href="#">21-06.01(j)(6)</a>
Group Residence, State Regulated	■ <a href="#">21-06.01(j)(7)</a>
Residential Care Facility	■ <a href="#">21-06.01(j)(8)</a>
Shared Housing	■ <a href="#">21-06.01(j)(9)</a>

(c) Principal Uses (continued)	Use Definition & Standards
<b>Retail &amp; Service</b>	
Animal Care Establishment	■ * <a href="#">21-06.01(k)(2)</a>
Bar/Tavern	■ <a href="#">21-06.01(k)(3)</a>
Day Care Center	■ <a href="#">21-06.01(k)(6)</a>
Entertainment/Recreation Facility, Outdoor	■ <a href="#">21-06.01(k)(9)</a>
Funeral Services	■ <a href="#">21-06.01(k)(10)</a>
Medical/Dental Clinic	■ <a href="#">21-06.01(k)(12)</a>
Personal Care & Services	■ <a href="#">21-06.01(k)(13)</a>
Private Club/Lodge	■ <a href="#">21-06.01(k)(14)</a>
Restaurant	■ <a href="#">21-06.01(k)(15)</a>
Retail & Service, General	■ <a href="#">21-06.01(k)(16)</a>
<b>Transportation</b>	
Parking Lot	■ * <a href="#">21-06.01(l)(4)</a>
<b>Utilities</b>	
Solar Farm	■ <a href="#">21-06.01(m)(1)</a>
Utilities, Major	■ * <a href="#">21-06.01(m)(2)</a>
Utilities, Minor	■ * <a href="#">21-06.01(m)(3)</a>
Wireless Communications	■ * <a href="#">21-06.01(m)(4)</a>
See <a href="#">Section 21-06.02</a> for accessory use standards.	

Key ■ Allowed ■ Allowed subject to Conditions ■ Special Exception \* Use Specific Standards

**Building Placement**

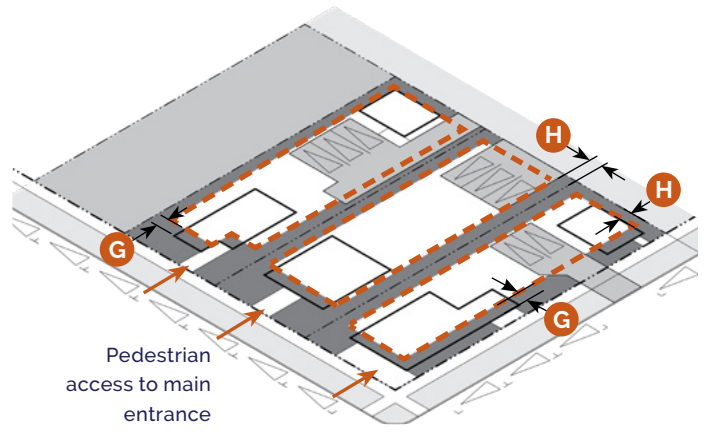


- Minimum Setback Line
- Maximum Setback Line

<b>(d) Building Placement</b>				
<b>Lot Size</b>				
Lot Width	15' min.			<b>A</b>
Lot Depth	60' min.			<b>B</b>
<b>Building Setbacks</b>	<b>Front</b>	<b>Corner</b>	<b>Side<sup>1</sup></b>	<b>Rear<sup>2</sup></b>
	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
All Uses (min.)	5'	5'	5'	5'
All Uses (max.)	15'	15'	-	-
<b>Facade within Setback Zone</b>				
Front (min.) <sup>3</sup>	65%			
Corner (min.)	50%			
<b>Building Coverage</b>				
Building Coverage	100% max.			

<sup>1</sup> Side setback not required between attached dwellings.  
<sup>2</sup> Primary buildings on a lot without a rear alley shall have a minimum rear setback of 20' when adjacent to a lot with a ground floor residential use.  
<sup>3</sup> A forecourt per [Section 21-08.03\(f\)](#) may be exempt from this requirement with approval by the Zoning Administrator.

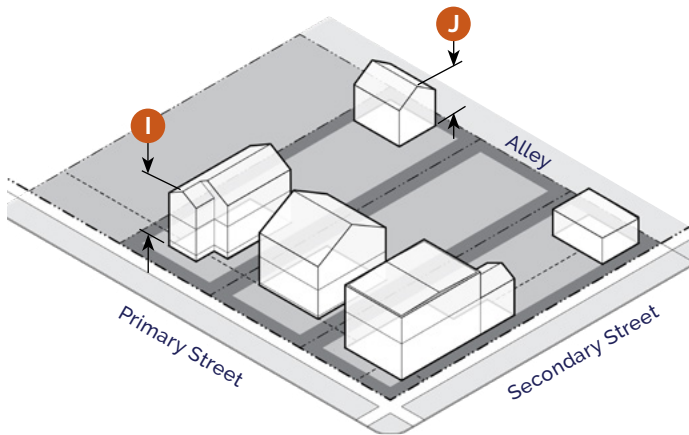
**Access & Parking**



- Minimum Parking Lot Setback

<b>(e) Access &amp; Parking</b>	
<b>Pedestrian Access</b>	
A walkway shall connect the sidewalk to the main entrance.	
<b>Bicycle Access</b>	
See <a href="#">Section 21-07.02</a> for Bicycle Parking requirements.	
<b>Parking Access</b>	
If access is available from an alley which is open to traffic, there shall be no access allowed from the street.	
If allowed, a maximum of one street curb cut is permitted per street frontage.	
<b>Parking Lot Location (Distance from Lot Line)</b>	
Front & Corner Setback (min.)	5' behind facade, or 12' if no building <b>G</b>
Side & Rear Setback	5' <b>H</b>
Side and rear setback shall be 0' when abutting an alley.	
<b>Required Spaces</b>	
Off-street parking areas are not required for any use. Any off-street parking areas provided, even though not required, shall be developed in compliance with the standards set forth in <a href="#">Section 21-07.03</a> .	
See <a href="#">Section 21-07</a> for full access and parking requirements.	

Building Form



**(f) Building Form**

**Building Height**

Primary Building (max.) <sup>1</sup>	55' and 4 stories	I
Accessory Building (max.)	26'	J

**Building Orientation**

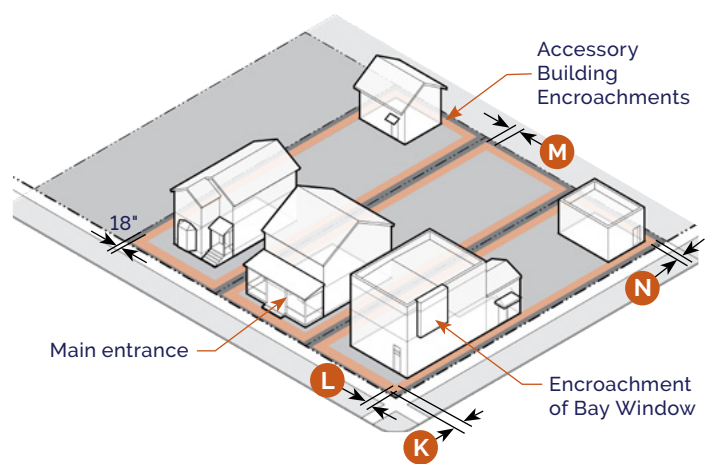
Primary facades shall be oriented to a front lot line or open space.

**Building Design**

Total Non-Residential or Non-Civic Use (max.)		5,000 square feet
Total Retail & Service Use (max.)		2,500 square feet

<sup>1</sup> Portions of a primary building in excess of 40' or 3 stories shall be located at least 40' from a S1, U1, or U2 District.

Building Components



Encroachment Zone

**(g) Building Components**

**Allowed Building Frontage Types**

Porch	<a href="#">21-08.03(c)</a>
Stoop	<a href="#">21-08.03(d)</a>
Gallery	<a href="#">21-08.03(e)</a>
Forecourt	<a href="#">21-08.03(f)</a>
Storefront	<a href="#">21-08.03(g)</a>
Terrace	<a href="#">21-08.03(h)</a>

**Building Entrance**

Main entrances shall be prominently located and visible from the primary street or open space.

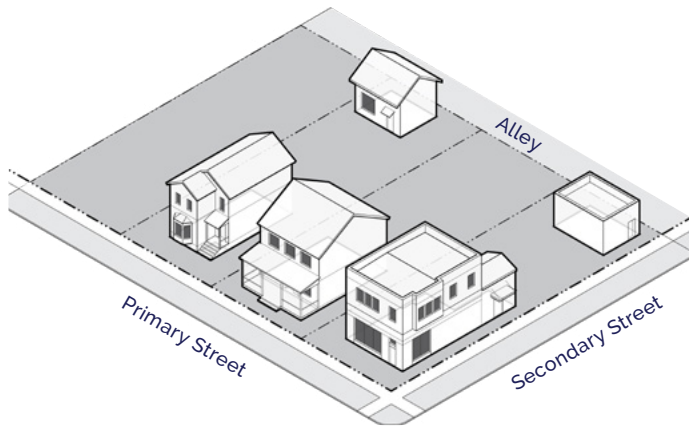
Allowed Encroachments (max.)	Front (K)	Corner (L)	Side (M)	Rear (N)
Architectural Features	3'	3'	3'	3'
Building Frontage Type	3'	3'	<input type="checkbox"/>	<input type="checkbox"/>
Balcony	3'	3'	<input type="checkbox"/>	<input type="checkbox"/>
Bay Window (< 10' wide)	3'	3'	3'	3'
Patio & Decks (under 30")	3'	3'	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Building components shall be at least 18" from any lot line.

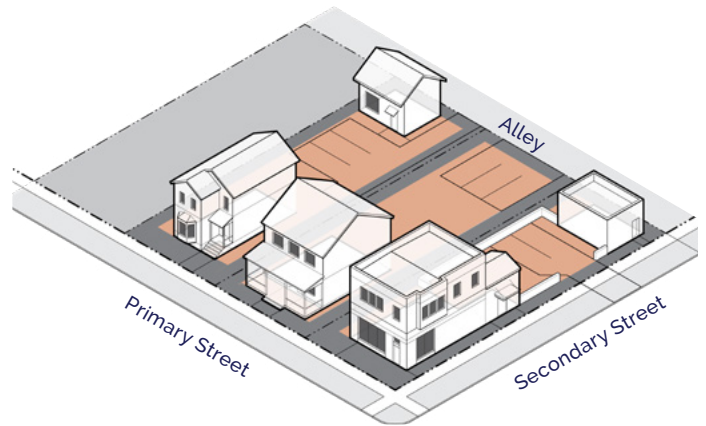
See [Section 21-08.01\(g\)](#) for building component definitions and additional requirements.

Key  Allowed  Not Allowed

**Building Standards**



**Site Development**



 Accessory Structures Allowed

**(h) Building Standards**

**Facade Transparency (min.)**

Ground Floor - Front & Corner Facade	15%
Upper Floor - Front & Corner Facade	15%

**Building Materials**

Restrictions on building materials shall apply to all front and corner facades of residential buildings with 5 or more units and non-residential buildings.

Building materials used on the front and corner facades shall extend a minimum depth of 16" along the side facade.

E.I.F.S. is not permitted on the ground floor except as trim.

Standard, fluted, or split face concrete masonry units above the basement level are prohibited as face material.

Unfinished metal, plywood, unfinished precast or poured-in-place concrete are prohibited.

Commercial-grade/scale products are prohibited on any residential building facade.

Windows and doors on a ground floor front/corner facade shall have clear, transparent glass that has a min. VLT of 50% and a max. VLR of 25%.

See [Section 21-08](#) for full building standards.

**(i) Site Development**

**Accessory Structures/Uses**

Accessory Structures	<a href="#">21-06.02(f)(1)</a>
Mechanical/HVAC	<a href="#">21-06.02(f)(14)</a>
Satellite Dish Antennas	<a href="#">21-06.02(f)(22)</a>
Swimming Pool/Hot Tubs	<a href="#">21-06.02(f)(26)</a>
Trash/Recycling Container	<a href="#">21-06.02(f)(27)</a>

**Allowed Location in Established Yards**

Accessory structures shall not be located in any established front or corner yard and shall comply with all required setbacks.

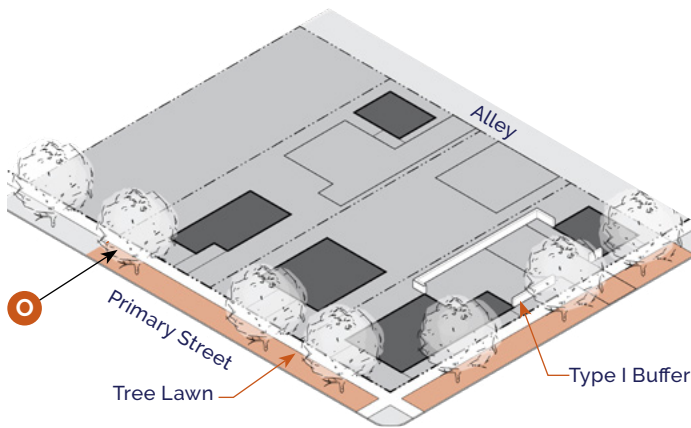
See [Section 21-06.02](#) for full accessory use regulations.

<b>Fence/Freestanding Walls</b>	<b>Front</b>	<b>Corner</b>	<b>Side</b>	<b>Rear</b>
Height (max.)	3'	3'	8'	8'

A fence up to 4' is allowed in an established front or corner yard if fence is greater than 50% open.

See [Section 21-09](#) for full site development requirements.

Landscape



**(j) Landscape**

**Streetscape Trees Required**

Shade Tree <sup>1</sup>	1 tree min. per each full 30' of street frontage	O
Location <sup>2</sup>	Tree lawn	
Spacing	Evenly spaced to extent possible	

**Foundation Landscape Required <sup>3</sup>**

Front & Corner Facades Over 35' Wide	1 shrub per 5' of facade min.
Location	Directly adjacent to facade

**Buffer Landscape Required <sup>3</sup>**

Adjacent to S1 or S2	Type 3 buffer if no street or alley
----------------------	-------------------------------------

**Parking Lot Screening (of 4 or more spaces)**

Parking that is visible from a street/open space, other than an alley, shall be screened by a Type 1 buffer.

Parking that is visible from a side/rear lot line abutting a S1, U1, or U2 district shall be screened by a Type 1 or 2 buffer.

Buffers shall comply with [Section 21-09.01\(n\)](#).

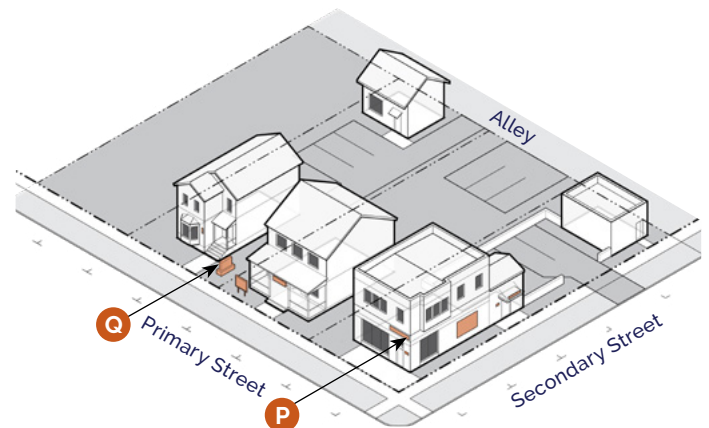
See [Section 21-09.01](#) for full landscape requirements.

<sup>1</sup> An existing tree of at least 2" caliper may fulfill this requirement.

<sup>2</sup> If a tree cannot be placed in a tree lawn, then required trees may be located in a front or corner established yard.

<sup>3</sup> Residential buildings with 4 or fewer units are exempt from foundation and buffer landscape requirements.

Signs



**(k) Signs**

**Total Signs Allowed**

Residential: 4 or fewer dwellings	
Building or Freestanding Sign	1 per street frontage; up to 2 square feet and 4 feet in height

**Residential: 5+ dwelling units**

Building or Freestanding Sign	1 per street frontage; up to 32 square feet and 6 feet in height
-------------------------------	--

**Non-Residential Use**

Building Sign	Up to 5% of the total area of the building facade	P
Freestanding Sign	1 per street frontage; up to 32 square feet and 8 feet in height	Q

Freestanding signs may be located in a required setback, provided they are at least 5' from a lot line.

See [Section 21-10](#) for full sign requirements including changeable copy signs, temporary signs, exempt signs, off-premise, and use-specific signs.



**Section 21-03.07: NC Neighborhood Center**

**(a) Intent**

The NC District is established to promote the development of higher intensity, urban neighborhood centers, typically located near the intersection of major streets, in core and outlying areas of the City. The NC District is well connected to surrounding residential neighborhoods.

The following are typical characteristics of the NC District:

- A mixture of storefront retail, professional offices, and dwelling units located in townhouses, apartment buildings, and in the upper stories or rear of mixed-use buildings
- Buildings with active building facades set at or close to the sidewalk
- Pedestrian-oriented scale with wide sidewalks and regularly spaced street trees that creates a walkable environment

**(b) Building Types**

The following building types are permitted in the NC District:

- Carriage House
- Stacked Flats
- Townhouse
- Shop
- Apartment House

The names of the building types are not intended to limit or expand uses allowed within the building. See [Section 21-08.02](#) for building type descriptions and regulations.

Uses

(c) Principal Uses	Use Definition & Standards
<b>Agricultural</b>	
Community Garden	■ * <a href="#">21-06.01(e)(2)</a>
<b>Civic &amp; Institutional</b>	
Assembly, Neighborhood	■ * <a href="#">21-06.01(f)(1)</a>
Assembly, General	■ <a href="#">21-06.01(f)(2)</a>
College/University	■ <a href="#">21-06.01(f)(4)</a>
Hospital	■ <a href="#">21-06.01(f)(6)</a>
Library/Museum/Cultural Facility	■ <a href="#">21-06.01(f)(7)</a>
Parks & Open Space	■ <a href="#">21-06.01(f)(8)</a>
Police/Fire Facilities	■ <a href="#">21-06.01(f)(9)</a>
Religious Institutions	■ <a href="#">21-06.01(f)(10)</a>
School, Pre-K/Primary/Secondary	■ <a href="#">21-06.01(f)(11)</a>
<b>Industrial, Manufacturing, &amp; Processing</b>	
Industrial, Artisan	■ * <a href="#">21-06.01(g)(1)</a>
Research/Laboratory Facility	■ <a href="#">21-06.01(g)(4)</a>
<b>Lodging</b>	
Bed & Breakfast	■ * <a href="#">21-06.01(h)(1)</a>
Hotel	■ * <a href="#">21-06.01(h)(2)</a>
<b>Office</b>	
Professional Offices	■ <a href="#">21-06.01(i)(1)</a>
<b>Residential</b>	
Dwelling, Ancillary	■ * <a href="#">21-06.01(j)(1)</a>
Dwelling, 1 Unit	■ * <a href="#">21-06.01(j)(2)</a>
Dwelling, 2 Units	■ * <a href="#">21-06.01(j)(3)</a>
Dwelling, Multi-Unit	■ <a href="#">21-06.01(j)(5)</a>
Group Residence	■ <a href="#">21-06.01(j)(6)</a>
Group Residence, State Regulated	■ <a href="#">21-06.01(j)(7)</a>
Residential Care Facility	■ <a href="#">21-06.01(j)(8)</a>
Shared Housing	■ <a href="#">21-06.01(j)(9)</a>

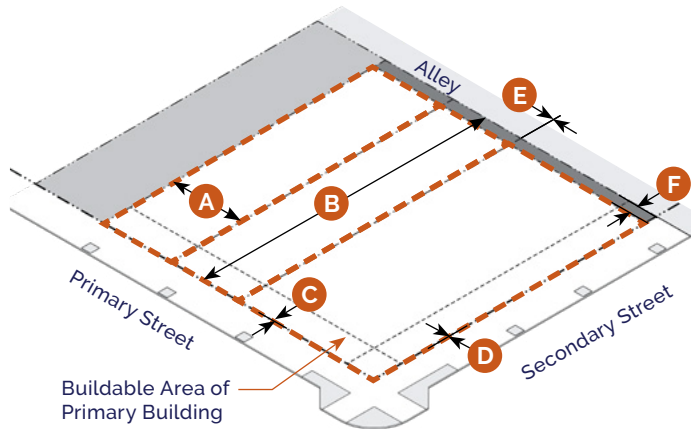
(c) Principal Uses (continued)	Use Definition & Standards
<b>Retail &amp; Service</b>	
Animal Care Establishment	■ * <a href="#">21-06.01(k)(2)</a>
Bar/Tavern	■ <a href="#">21-06.01(k)(3)</a>
Beer/Wine/Liquor Sales	■ <a href="#">21-06.01(k)(4)</a>
Commercial School	■ <a href="#">21-06.01(k)(5)</a>
Day Care Center	■ <a href="#">21-06.01(k)(6)</a>
Drive-Through Facility	■ * <a href="#">21-06.01(k)(7)</a>
Entertainment/Recreation Facility, Indoor	■ <a href="#">21-06.01(k)(8)</a>
Entertainment/Recreation Facility, Outdoor	■ <a href="#">21-06.01(k)(9)</a>
Funeral Services	■ <a href="#">21-06.01(k)(10)</a>
Gas Station	■ * <a href="#">21-06.01(k)(11)</a>
Medical/Dental Clinic	■ <a href="#">21-06.01(k)(12)</a>
Personal Care & Services	■ <a href="#">21-06.01(k)(13)</a>
Private Club/Lodge	■ <a href="#">21-06.01(k)(14)</a>
Restaurant	■ <a href="#">21-06.01(k)(15)</a>
Retail & Service, General	■ <a href="#">21-06.01(k)(16)</a>
Self-Storage Facility	■ * <a href="#">21-06.01(k)(18)</a>
Tattoo/Piercing Parlor	■ <a href="#">21-06.01(k)(19)</a>
Tobacco/Hookah/Vaping	■ <a href="#">21-06.01(k)(20)</a>
Vehicle Sales or Rental	■ * <a href="#">21-06.01(k)(21)</a>
Vehicle Service, Major	■ * <a href="#">21-06.01(k)(22)</a>
Vehicle Service, Minor	■ * <a href="#">21-06.01(k)(23)</a>
<b>Transportation</b>	
Parking Lot	■ * <a href="#">21-06.01(l)(4)</a>
Passenger Terminal	■ <a href="#">21-06.01(l)(5)</a>
Transit Station	■ <a href="#">21-06.01(l)(6)</a>
<b>Utilities</b>	
Solar Farm	■ <a href="#">21-06.01(m)(1)</a>
Utilities, Major	■ * <a href="#">21-06.01(m)(2)</a>
Utilities, Minor	■ * <a href="#">21-06.01(m)(3)</a>
Wireless Communications	■ * <a href="#">21-06.01(m)(4)</a>

See [Section 21-06.02](#) for accessory use standards.

Key ■ Allowed ■ Allowed subject to Conditions ■ Special Exception \* Use Specific Standards



**Building Placement**

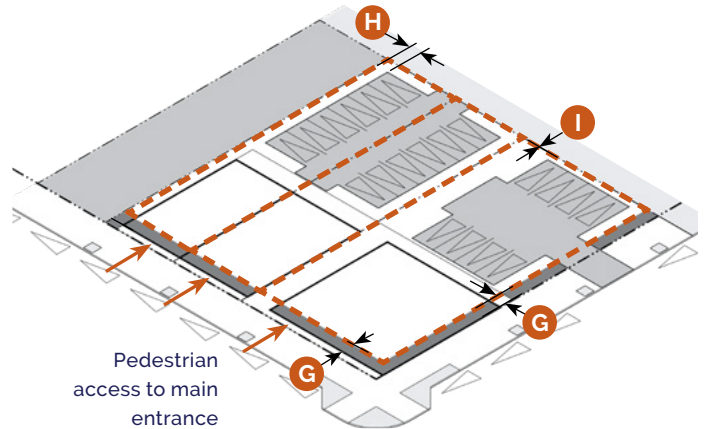


- Minimum Setback Line
- Maximum Setback Line

<b>(d) Building Placement</b>				
<b>Lot Size</b>				
Lot Width	15' min.			<b>A</b>
Lot Depth	60' min.			<b>B</b>
<b>Building Setbacks</b>	<b>Front</b>	<b>Corner</b>	<b>Side<sup>1</sup></b>	<b>Rear<sup>2</sup></b>
	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
All Uses (min.)	0'	0'	0'	5'
All Uses (max.)	12'	12'	-	-
<b>Facade within Setback Zone</b>				
Front (min.) <sup>3</sup>	85%			
Corner (min.)	50%			
<b>Building Coverage</b>				
Building Coverage	100% max.			

<sup>1</sup> If side setback is provided, it shall be a min. of 5'.  
<sup>2</sup> Primary buildings on a lot without a rear alley shall have a minimum rear setback of 20' when adjacent to a lot with a ground floor residential use.  
<sup>3</sup> A forecourt per [Section 21-08.03\(f\)](#) may be exempt from this requirement with approval by the Zoning Administrator.

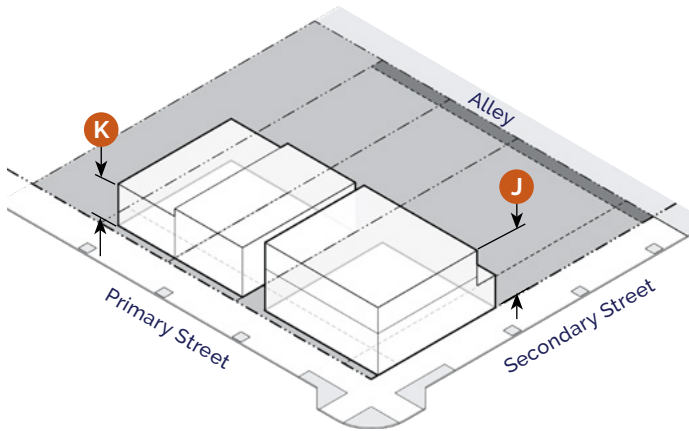
**Access & Parking**



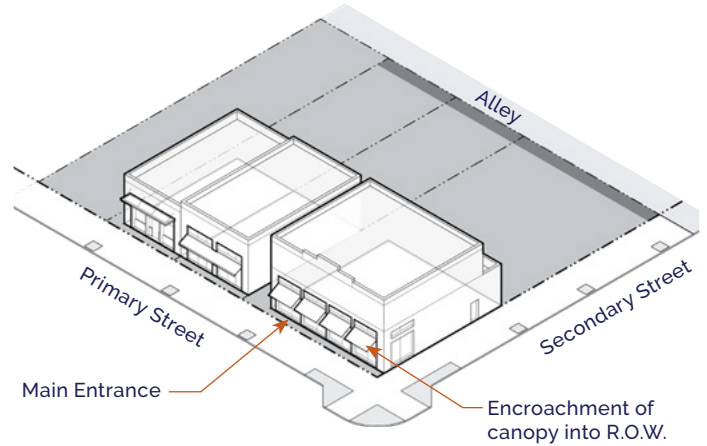
- Minimum Parking Lot Setback

<b>(e) Access &amp; Parking</b>	
<b>Pedestrian Access</b>	
A walkway shall connect the sidewalk to the main entrance.	
<b>Bicycle Access</b>	
See <a href="#">Section 21-07.02</a> for Bicycle Parking requirements.	
<b>Parking Access</b>	
If access is available from an alley which is open to traffic, there shall be no access allowed from the street.	
If allowed, a maximum of one street curb cut is permitted per street frontage.	
<b>Parking Lot Location (Distance from Lot Line)</b>	
Front & Corner Setback (min.)	5' behind facade, <b>G</b> or 12' if no building
Side & Rear Setback	5' <b>H</b>
Side and rear setback shall be 0' when abutting an alley. <b>I</b>	
<b>Required Spaces</b>	
Off-street parking areas are not required for any use. Any off-street parking areas provided, even though not required, shall be developed in compliance with the standards set forth in <a href="#">Section 21-07.03</a> .	
See <a href="#">Section 21-07</a> for full access and parking requirements.	

Building Form



Building Components



(f) Building Form		
Building Height		
Primary Building (max.) <sup>1</sup>	55' and 4 stories	<b>J</b>
Primary Front Facade (min.)	16'	<b>K</b>
Accessory Building (max.)	26'	
Building Orientation		
Primary facades shall be oriented to a front lot line or open space.		

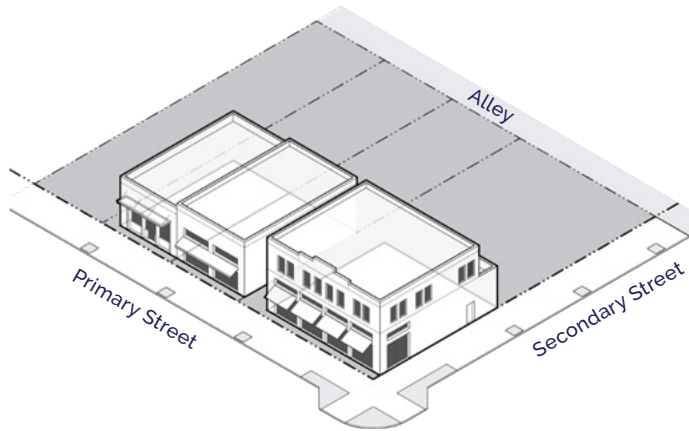
<sup>1</sup> Portions of a primary building in excess of 40' or 3 stories shall be located at least 40' from a S1, U1, or U2 District.

(g) Building Components	
Allowed Building Frontage Types	
Porch	<a href="#">21-08.03(c)</a>
Stoop	<a href="#">21-08.03(d)</a>
Gallery	<a href="#">21-08.03(e)</a>
Forecourt	<a href="#">21-08.03(f)</a>
Storefront	<a href="#">21-08.03(g)</a>
Terrace	<a href="#">21-08.03(h)</a>
Building Entrance	
Distance between Entries	100' max.
Main entrances shall be prominently located and visible from the primary street or open space.	
Allowed Encroachments	
Building components may extend into a right-of-way with approval by the Board of Public Works.	

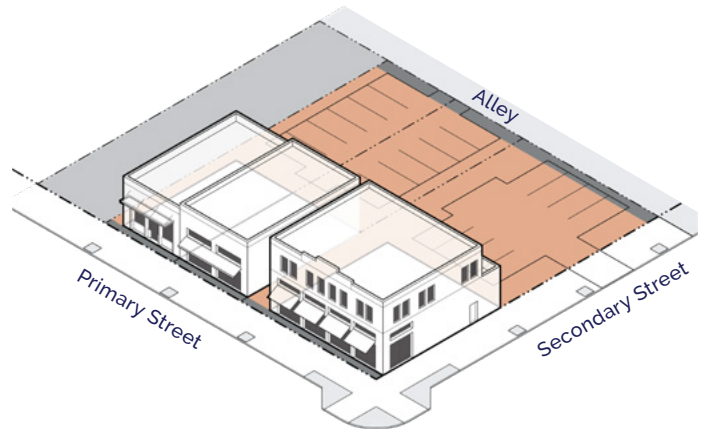
See [Section 21-08.01\(g\)](#) for building component definitions and additional requirements.

Key  Allowed  Not Allowed

**Building Standards**



**Site Development**

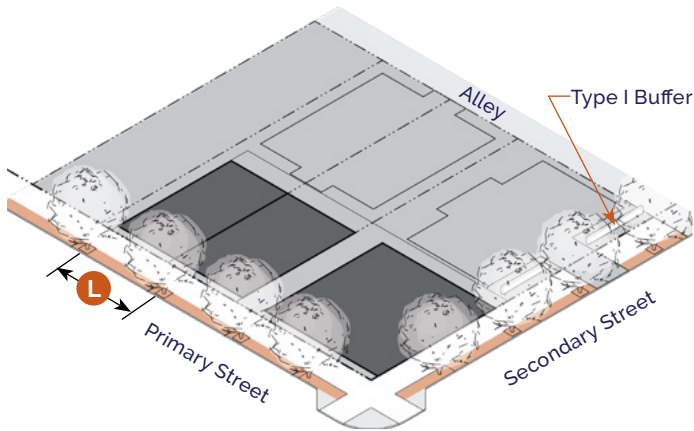


 Accessory Structures Allowed

<b>(h) Building Standards</b>	
<b>Facade Transparency (min.)</b>	
Ground Floor - Front Facade	
Non-Residential	60%
Residential	25%
Ground Floor - Corner Facade	
	20%
Upper Floor - Front & Corner Facade	
	15%
<b>Facade Articulation</b>	
Any building greater than 50' wide shall provide vertical articulation into segments no greater than 32' in width and horizontal articulation (base, belt courses, cornice, etc.) to distinguish the ground floor from upper stories.	
<b>Building Materials</b>	
A minimum of 66% of each front or corner facade shall be constructed of high quality, durable, natural materials, such as stone or brick; wood lap siding; lapped, shingled, or panel fiber cement board siding; and glass. High quality synthetic materials may be approved by the Zoning Administrator.	
Each front or corner facade shall include at least two architectural elements (e.g., quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, etc.).	
See <a href="#">Section 21-08.01(e)</a> for all building material standards.	
See <a href="#">Section 21-08</a> for full building standards.	

<b>(i) Site Development</b>	
<b>Accessory Structures/Uses</b>	
Accessory Structures	<a href="#">21-06.02(f)(1)</a>
Mechanical/HVAC	<a href="#">21-06.02(f)(14)</a>
Satellite Dish Antennas	<a href="#">21-06.02(f)(22)</a>
Trash/Recycling Container	<a href="#">21-06.02(f)(27)</a>
<b>Allowed Location in Established Yards</b>	
Accessory structures shall not be located in any established front or corner yard and shall comply with all required setbacks.	
Mechanical equipment and HVAC shall be allowed in front or corner yard if screened per <a href="#">Section 21-06.02(f)(14)</a> .	
See <a href="#">Section 21-06.02</a> for full accessory use regulations.	
<b>Fence/Freestanding Walls</b>	<b>Front</b> <b>Corner</b> <b>Side</b> <b>Rear</b>
Height (max.)	3'   3'   8'   8'
A fence up to 4' is allowed in an established front or corner yard if fence is greater than 50% open.	
See <a href="#">Section 21-09</a> for full site development requirements.	

Landscape



Street Trees Allowed

**(j) Landscape**

**Streetscape Trees Required**

Shade Tree <sup>1</sup> 1 tree min. per each full 30' of street frontage L

Location <sup>2</sup> Tree lawn or tree grates along curb line

Spacing Evenly spaced to extent possible

**Buffer Landscape Required <sup>3</sup>**

Adjacent to S1 or S2 Type 3 buffer if no street or alley

**Parking Lot Screening (of 4 or more spaces)**

Parking that is visible from a street/open space, other than an alley, shall be screened by a Type 1 buffer.

Parking that is visible from a side/rear lot line abutting a S1, U1, or U2 district shall be screened by a Type 1 or 2 buffer.

Buffers shall comply with [Section 21-09.01\(n\)](#).

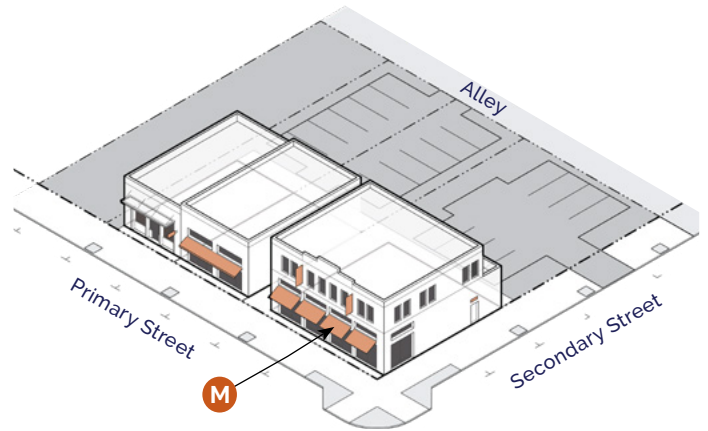
See [Section 21-09.01](#) for full landscape requirements.

<sup>1</sup> An existing tree of at least 2" caliper may fulfill this requirement.

<sup>2</sup> If a tree cannot be placed in a tree lawn, an alternate location may be approved by the Zoning Administrator.

<sup>3</sup> Residential buildings with 4 or fewer units are exempt from buffer landscape requirements.

Signs



**(k) Signs**

**Total Signs Allowed**

Residential: 4 or fewer dwellings  
 Building or Freestanding Sign 1 per street frontage; up to 2 square feet and 4 feet in height

Residential: 5+ dwelling units  
 Building Sign Up to 10% of the total area of the building facade  
 Freestanding Sign 1 per street frontage; up to 32 square feet and 8 feet in height

Non-Residential Use  
 Building Sign Up to 10% of the total area of the building facade M  
 Freestanding Sign 1 per street frontage; up to 32 square feet and 8 feet in height

See [Section 21-10](#) for full sign requirements including changeable copy signs, temporary signs, exempt signs, off-premise, and use-specific signs.



**Section 21-03.08: DT Downtown**

**(a) Intent**

The DT District is established to promote the development of the downtown region of the City of South Bend as a high intensity urban center for a multi-county region.

The following are typical characteristics of the DT District:

- A mixture of mid-rise and high rise mixed-use developments, including a variety of compatible building types and urban uses
- Buildings with active building frontages set at or close to the sidewalk
- Pedestrian-oriented scale with wide sidewalks, regularly spaced street trees, and amenities that create a walkable environment

**(b) Building Types**

The following building types are permitted in the DT District:

- Townhouse
- Shop
- Apartment House
- Mid-Rise/Tower
- Stacked Flats

The names of the building types are not intended to limit or expand uses allowed within the building. See [Section 21-08.02](#) for building type descriptions and regulations.

Uses

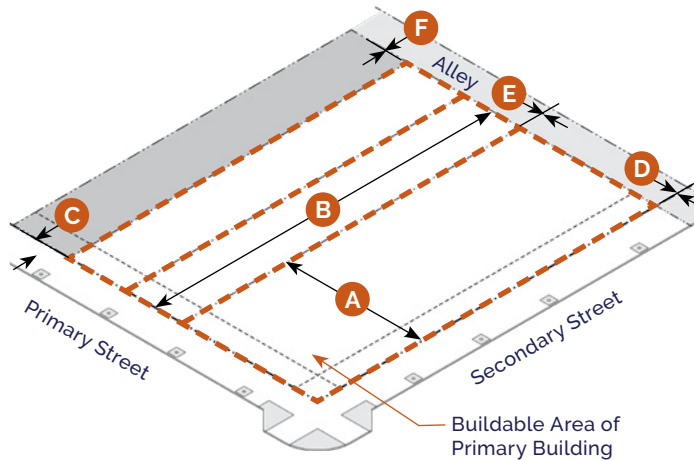
(c) Principal Uses	Use Definition & Standards
<b>Agricultural</b>	
Community Garden	■ * <a href="#">21-06.01(e)(2)</a>
<b>Civic &amp; Institutional</b>	
Assembly, Neighborhood	■ * <a href="#">21-06.01(f)(1)</a>
Assembly, General	■ <a href="#">21-06.01(f)(2)</a>
College/University	■ <a href="#">21-06.01(f)(4)</a>
Hospital	■ <a href="#">21-06.01(f)(6)</a>
Library/Museum/Cultural Facility	■ <a href="#">21-06.01(f)(7)</a>
Parks & Open Space	■ <a href="#">21-06.01(f)(8)</a>
Police/Fire Facilities	■ <a href="#">21-06.01(f)(9)</a>
Religious Institutions	■ <a href="#">21-06.01(f)(10)</a>
School, Pre-K/Primary/Secondary	■ <a href="#">21-06.01(f)(11)</a>
<b>Industrial, Manufacturing, &amp; Processing</b>	
Industrial, Artisan	■ * <a href="#">21-06.01(g)(1)</a>
Research/Laboratory Facility	■ <a href="#">21-06.01(g)(4)</a>
<b>Lodging</b>	
Bed & Breakfast	■ * <a href="#">21-06.01(h)(1)</a>
Hotel	■ * <a href="#">21-06.01(h)(2)</a>
<b>Office</b>	
Professional Offices	■ <a href="#">21-06.01(i)(1)</a>
<b>Residential</b>	
Dwelling, Ancillary	■ * <a href="#">21-06.01(j)(1)</a>
Dwelling, 1 Unit	■ * <a href="#">21-06.01(j)(2)</a>
Dwelling, 2 Units	■ * <a href="#">21-06.01(j)(3)</a>
Dwelling, Multi-Unit	■ <a href="#">21-06.01(j)(5)</a>
Group Residence	■ <a href="#">21-06.01(j)(6)</a>
Group Residence, State Regulated	■ <a href="#">21-06.01(j)(7)</a>
Residential Care Facility	■ <a href="#">21-06.01(j)(8)</a>
Shared Housing	■ <a href="#">21-06.01(j)(9)</a>

(c) Principal Uses (continued)	Use Definition & Standards
<b>Retail &amp; Service</b>	
Animal Care Establishment	■ * <a href="#">21-06.01(k)(2)</a>
Bar/Tavern	■ <a href="#">21-06.01(k)(3)</a>
Beer/Wine/Liquor Sales	■ <a href="#">21-06.01(k)(4)</a>
Commercial School	■ <a href="#">21-06.01(k)(5)</a>
Day Care Center	■ <a href="#">21-06.01(k)(6)</a>
Drive-Through Facility	■ * <a href="#">21-06.01(k)(7)</a>
Entertainment/Recreation Facility, Indoor	■ <a href="#">21-06.01(k)(8)</a>
Entertainment/Recreation Facility, Outdoor	■ <a href="#">21-06.01(k)(9)</a>
Funeral Services	■ <a href="#">21-06.01(k)(10)</a>
Gas Station	■ * <a href="#">21-06.01(k)(11)</a>
Medical/Dental Clinic	■ <a href="#">21-06.01(k)(12)</a>
Personal Care & Services	■ <a href="#">21-06.01(k)(13)</a>
Private Club/Lodge	■ <a href="#">21-06.01(k)(14)</a>
Restaurant	■ <a href="#">21-06.01(k)(15)</a>
Retail & Service, General	■ <a href="#">21-06.01(k)(16)</a>
Self-Storage Facility	■ * <a href="#">21-06.01(k)(18)</a>
Tattoo/Piercing Parlor	■ <a href="#">21-06.01(k)(19)</a>
Tobacco/Hookah/Vaping	■ <a href="#">21-06.01(k)(20)</a>
Vehicle Sales or Rental	■ * <a href="#">21-06.01(k)(21)</a>
Vehicle Service, Major	■ * <a href="#">21-06.01(k)(22)</a>
Vehicle Service, Minor	■ * <a href="#">21-06.01(k)(23)</a>
<b>Transportation</b>	
Heliport	■ <a href="#">21-06.01(l)(3)</a>
Parking Lot	■ * <a href="#">21-06.01(l)(4)</a>
Passenger Terminal	■ <a href="#">21-06.01(l)(5)</a>
Transit Station	■ <a href="#">21-06.01(l)(6)</a>
<b>Utilities</b>	
Solar Farm	■ <a href="#">21-06.01(m)(1)</a>
Utilities, Major	■ * <a href="#">21-06.01(m)(2)</a>
Utilities, Minor	■ * <a href="#">21-06.01(m)(3)</a>
Wireless Communications	■ * <a href="#">21-06.01(m)(4)</a>

See [Section 21-06.02](#) for accessory use standards.

Key ■ Allowed ■ Allowed subject to Conditions ■ Special Exception \* Use Specific Standards

**Building Placement**

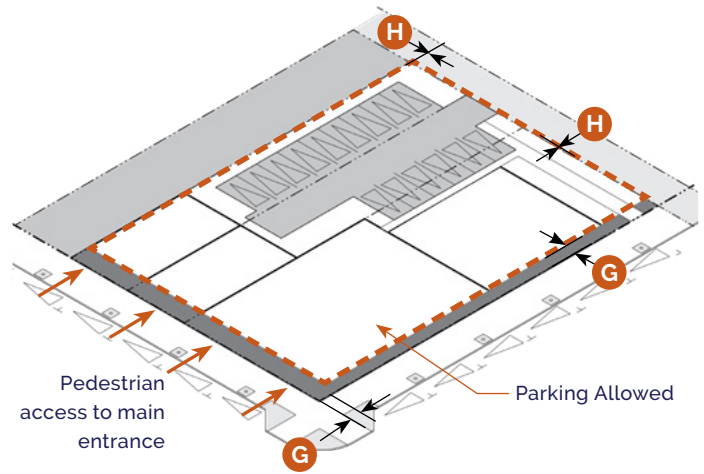


- Minimum Setback Line
- Maximum Setback Line

<b>(d) Building Placement</b>				
<b>Lot Size</b>				
Lot Width	20' min.			<b>A</b>
Lot Depth	60' min.			<b>B</b>
<b>Building Setbacks</b>	<b>Front</b>	<b>Corner</b>	<b>Side<sup>1</sup></b>	<b>Rear<sup>2</sup></b>
	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
All Uses (min.)	0'	0'	0'	0'
All Uses (max.)	10'	10'	-	-
St. Joseph River/East Race	15' min.			
<b>Facade within Setback Zone</b>				
Front (min.) <sup>3</sup>	85%			
Corner (min.)	50%			
<b>Building Coverage</b>				
Building Coverage	100% max.			

<sup>1</sup> If side or rear setback is provided, it shall be a min. of 5'.  
<sup>2</sup> Primary buildings on a lot without a rear alley shall have a minimum rear setback of 20' when adjacent to a lot with a ground floor residential use that is not in a DT district.  
<sup>3</sup> A forecourt per Section 21-08.03(f) may be exempt from this requirement with approval by the Zoning Administrator.

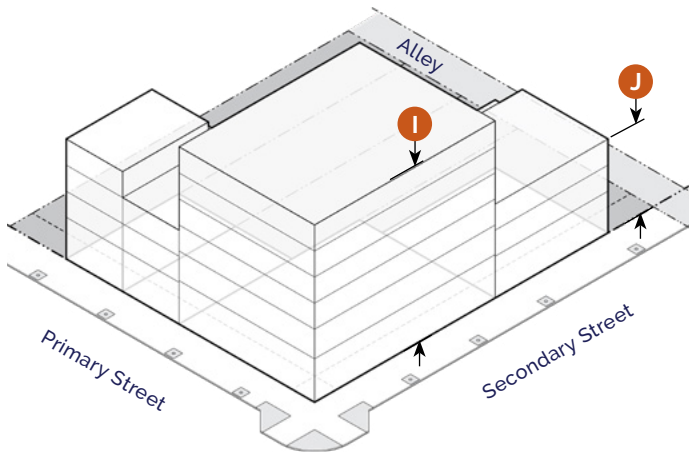
**Access & Parking**



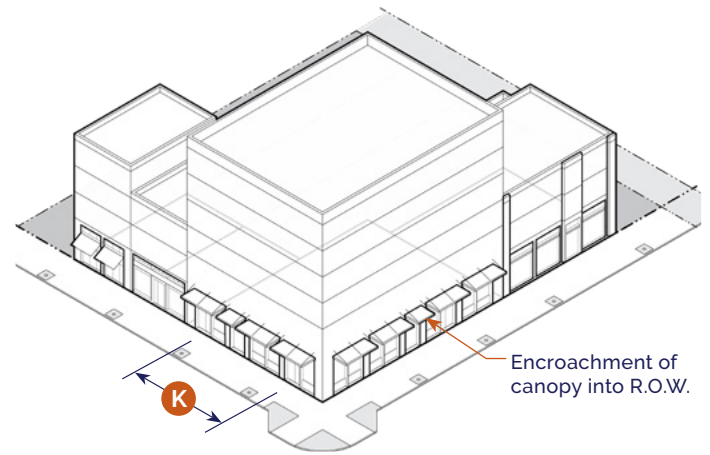
- Minimum Parking Lot Setback

<b>(e) Access &amp; Parking</b>	
<b>Pedestrian Access</b>	
A walkway shall connect the sidewalk to the main entrance.	
<b>Bicycle Access</b>	
See Section 21-07.02 for Bicycle Parking requirements.	
<b>Parking Access</b>	
If access is available from an alley which is open to traffic, there shall be no access allowed from the street.	
If allowed, a maximum of one street curb cut is permitted per street frontage.	
<b>Parking Lot Location (Distance from Lot Line)</b>	
Front & Corner Setback (min.)	5' behind facade, <b>G</b> or 10' if no building
Side & Rear Setback	0' <b>H</b>
<b>Required Spaces</b>	
Off-street parking areas are not required for any use. Any off-street parking areas provided, even though not required, shall be developed in compliance with the standards set forth in Section 21-07.03.	
See Section 21-07 for full access and parking requirements.	

Building Form



Building Components



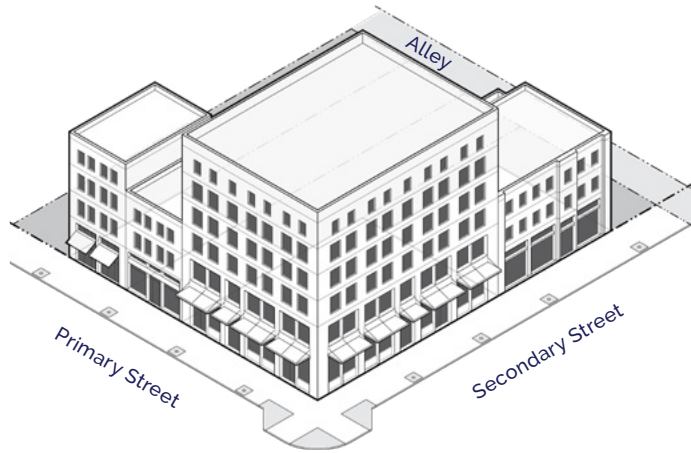
<b>(f) Building Form</b>		
<b>Building Height</b>		
Primary Building (max.)		
West of the St. Joseph River	150' and 12 stories	
Between St. Joseph River and East Race Waterway	150' and 12 stories	I
East of the East Race Waterway	60' and 5 stories	
Primary Front Facade (min.)	16'	J
Accessory Building (max.)	26'	
<b>Building Orientation</b>		
Primary facades shall be oriented to a front lot line or open space.		

<b>(g) Building Components</b>		
<b>Allowed Building Frontage Types</b>		
Porch	<a href="#">21-08.03(c)</a>	
Stoop	<a href="#">21-08.03(d)</a>	
Gallery	<a href="#">21-08.03(e)</a>	
Forecourt	<a href="#">21-08.03(f)</a>	
Storefront	<a href="#">21-08.03(g)</a>	
Terrace	<a href="#">21-08.03(h)</a>	
<b>Building Entrance</b>		
Distance between Entries	100' max.	K
Main entrances shall be prominently located and visible from the primary street or open space.		
<b>Allowed Encroachments</b>		
Building components may extend into a right-of-way with approval by the Board of Public Works.		
See <a href="#">Section 21-08.01(g)</a> for building component definitions and additional requirements.		

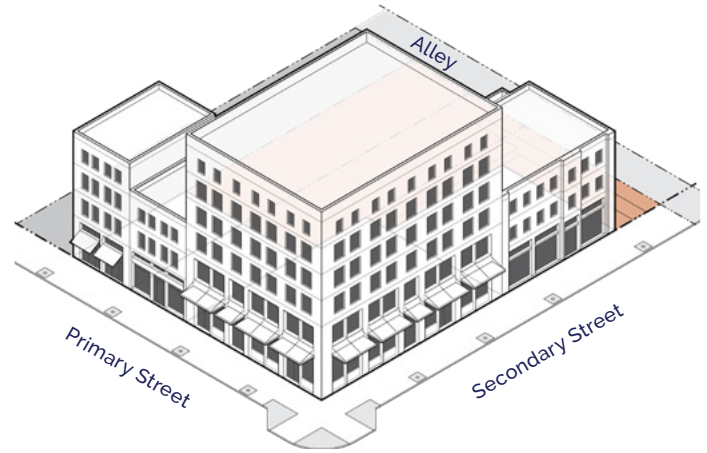
Key  Allowed  Not Allowed



**Building Standards**



**Site Development**

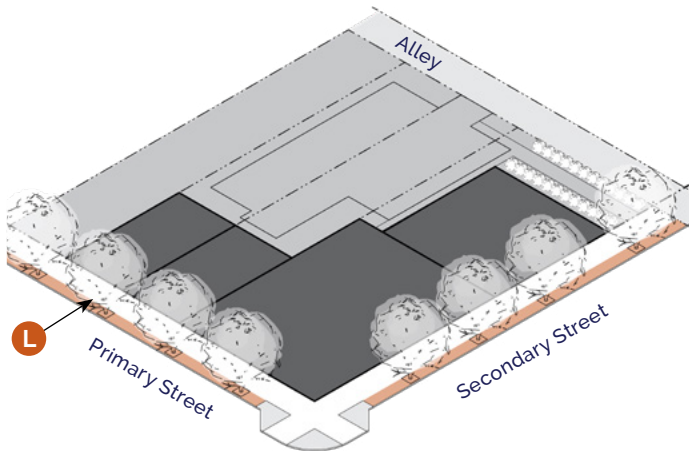


<b>(h) Building Standards</b>	
<b>Facade Transparency (min.)</b>	
Ground Floor - Front & Corner Facade	
Non-Residential	60%
Residential	25%
Upper Floor - Front & Corner Facade	
	15%
<b>Facade Articulation</b>	
Any building greater than 50' wide shall provide vertical articulation into segments no greater than 32' in width and horizontal articulation (base, belt courses, cornice, etc.) to distinguish the ground floor from upper stories.	
<b>Building Materials</b>	
A minimum of 66% of each front or corner facade shall be constructed of high quality, durable, natural materials, such as stone or brick; wood lap siding; lapped, shingled, or panel fiber cement board siding; and glass. High quality synthetic materials may be approved by the Zoning Administrator.	
Each front or corner facade shall include at least two architectural elements (e.g., quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, etc.).	
See <a href="#">Section 21-08.01(e)</a> for all building material standards.	
See <a href="#">Section 21-08</a> for full building standards.	

<b>(i) Site Development</b>	
<b>Accessory Structures/Uses</b>	
Accessory Structures	<a href="#">21-06.02(f)(1)</a>
Mechanical/HVAC	<a href="#">21-06.02(f)(14)</a>
Satellite Dish Antennas	<a href="#">21-06.02(f)(22)</a>
Trash/Recycling Container	<a href="#">21-06.02(f)(27)</a>
<b>Allowed Location in Established Yards</b>	
Accessory structures shall not be located in any established front or corner yard and shall comply with all required setbacks.	
Mechanical equipment and HVAC shall be allowed in front or corner yard if screened per <a href="#">Section 21-06.02(f)(14)</a> .	
See <a href="#">Section 21-06.02</a> for full accessory use regulations.	
<b>Fence/Freestanding Walls</b>	<b>Front    Corner    Side    Rear</b>
Height (max.)	3'    3'    8'    8'
A fence up to 4' is allowed in an established front or corner yard if fence is greater than 50% open.	
See <a href="#">Section 21-09</a> for full site development requirements.	

 Accessory Structures Allowed

Landscape



Street Trees Allowed

**(j) Landscape**

**Streetscape Trees Required**

Shade Tree <sup>1</sup> 1 tree min. per each full 30' of street frontage L

Location <sup>2</sup> Tree lawn or tree grates along curb line

Spacing Evenly spaced to extent possible

**Buffer Landscape Required <sup>3</sup>**

Adjacent to S1, S2, U1, or U2 Type 3 buffer if no street or alley present

**Parking Lot Screening (of 4 or more spaces)**

Parking that is visible from a street/open space, other than an alley, shall be screened by a Type 1 buffer.

Parking that is visible from a side/rear lot line abutting a S1, U1, or U2 district shall be screened by a Type 1 or 2 buffer.

Buffers shall comply with [Section 21-09.01\(n\)](#).

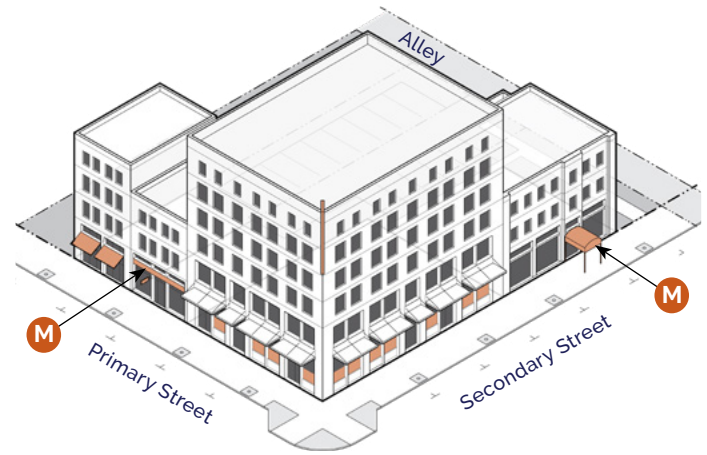
See [Section 21-09.01](#) for full landscape requirements.

<sup>1</sup> An existing tree of at least 2" caliper may fulfill this requirement.

<sup>2</sup> If a tree cannot be placed in a tree lawn, an alternate location may be approved by the Zoning Administrator.

<sup>3</sup> Residential buildings with 4 or fewer units are exempt from buffer landscape requirements.

Signs



**(k) Signs**

**Total Signs Allowed**

Residential: 4 or fewer dwellings  
 Building Sign 1 per street frontage; up to 2 square feet and 4 feet in height

Residential: 5+ dwelling units  
 Building Sign Up to 10% of the total area of the building facade

Non-Residential Use  
 Building Sign Up to 10% of the total area of the building facade M

See [Section 21-10](#) for full sign requirements including changeable copy signs, temporary signs, exempt signs, off-premise, and use-specific signs.