

1316 COUNTY-CITY BUILDING
227 W. JEFFERSON BOULEVARD
SOUTH BEND, INDIANA 46601-1830



PHONE 574/ 235-9251
FAX 574/ 235-9171

CITY OF SOUTH BEND JAMES MUELLER, MAYOR
BOARD OF PUBLIC WORKS

January 25, 2022

Mr. Avromi Klor
H & A Properties
2002 Miami St.
South Bend, IN 46613
Avromi@haproperties.co

RE: Encroachment into Public Right-of-Way – 2002 Miami St.

Dear Mr. Klor:

At its January 25, 2022 meeting, the Board of Public Works approved your request for the installation of a framed canopy roof and cantilevered pergola at 2002 Miami St. This encroachment was approved subject to the improvements not becoming a safety hazard. Enclosed please find copies of the permit and application.

The Department of Community Investment states approval provided the encroachment meets the minimum required clearance height. The encroachment will be permitted to remain and continue until such time as the Board of Public Works of the City of South Bend shall determine that such encroachment is in any way impairing or interfering with the highway or with the free and safe flow of traffic thereon. Said encroachment shall not in any way prejudice or preclude the City's rights with respect to the future use of that portion of the right-of-way.

If you have any further questions, please call this office at (574) 235-9251.

Sincerely,

/s/ Laura Hensley/Acting

Clerk

Enclosures



**INTEROFFICE MEMORANDUM
BOARD OF PUBLIC WORKS**

DATE: January 4, 2022

TO: Zach Hurst, Engineering Department
Gerard Ellis, Fire Department
Chris Dressel, Community Investment

FROM: Laura Hensley, Acting Clerk

SUBJECT: **ENCROACHMENT RECOMMENDATION**
Revocable Encroachment – H & A Properties

LOCATION: 2002 Miami Street

**PLEASE INSERT YOUR RECOMMENDATIONS IN THE APPROPRIATE FIELD BELOW,
BASED ON THE FOLLOWING CRITERIA:**

1. It has been determined that this encroachment in no way impairs the highway or with the free and safe flow of traffic thereon, and it is recommended that the encroachment be permitted to remain.
2. Said encroachment shall not in any way prejudice or preclude the City's rights with respect to the future use of the portion of the right-of-way.

PUBLIC WORKS: Recommended for approval

COMMUNITY INVESTMENT: Recommended for approval provided the encroachment meets the minimum required clearance height.

FIRE: Recommended



ENCROACHMENT APPLICATION INSTRUCTIONS

City of South Bend – Board of Public Works

227 W. Jefferson Blvd., Ste. 1316

South Bend, IN 46601

Dear Resident or Business:

Thank you for your interest in applying for permission to encroach upon the City's right-of-way. An encroachment occurs when a neighbor builds something on or overhanging another neighbor's property. Encroachments on City property can occur when a resident or business owner builds a canopy, signage, awnings, brick mailboxes, planters, and more on City streets, sidewalks, or other City property. All encroachments upon the City's right-of-way **must be approved** by the Board of Public Works.

PROCESS

Once your application is received, it will be reviewed by City personnel and presented at a City of South Bend Board of Public Works meeting for approval. Upon approval, a signed copy of your permit and agreement will be emailed or mailed to you. Note: The encroachment review and approval process can take four to six (4-6) weeks, depending on the complexity of the request. **Permits may be revoked at any time.**

APPLICATION CHECKLIST

Below is a checklist of items that must be included with your submission:

- ✓ Completed and signed Encroachment Application
- ✓ Photos of the area where the encroachment will take place.
- ✓ Complete description of the encroachment (i.e. canopy, banner, planter, underground utilities, signage, etc.)
- ✓ Plans and Specifications
- ✓ Signature and Legal Name
- ✓ Signed Revocable Permit

Completed applications should be mailed or delivered to:

City of South Bend – Board of Public Works
227 W. Jefferson Blvd. Ste. 1316
South Bend, Indiana 46601

QUESTIONS

The City of South Bend looks forward to working with you! If you have any questions, contact City Engineering at 574.235.9251.



ENCROACHMENT APPLICATION

City of South Bend - Board of Public Works
227 W. Jefferson Boulevard, Ste. 1316
South Bend, IN 46601

PROPERTY OWNER INFORMATION:

Name of Business/Homeowner: H & A Properties

Address: 2002 Miami Street

City/State/Zip: South Bend, IN

Phone: 574-217-8089

Email: Avromi@haproperties.co

ENCROACHMENT INFORMATION:

Location of Encroachment: Miami Street & Bowman Street

Encroachment Description: Framed canopy roof & cantilevered pergola

CL Road to R/W Line: 30'

Size of Encroachment: 2'

Distance of R/W: 60'

Amount in R/W: 2'

INSTALLER'S INFORMATION:

Business Name: DJ Construction

Address: 3414 Elkhart Road

City/State/Zip: Goshen, IN 46526

Phone: 574-533-1645

Email: ryoder@djconstruction.com

Signature: *Rem Yoder*

Printed Name: Rem Yoder

INCLUDE THE FOLLOWING ITEMS WITH YOUR APPLICATION:

- Photos of the area where encroachment will take place.
- Plans and Specifications
- Completed Agreement

AFFIRMATION

I, the undersigned do hereby certify and affirm that all the information given in this application is accurate and correct. I understand that encroachments must in no way impair the highway or free and safe flow of traffic thereon and may be revoked at any time.

Signature of Applicant: *Avromi Klor*

Date: 12-21-21

Printed Name of Applicant: Avromi Klor



REVOCABLE PERMIT

RECOGNITION OF ENCROACHMENT UPON CITY OF SOUTH BEND-CONTROLLED PROPERTY AND PROVISIONS ALLOWING TEMPORARY CONTINUANCE OF SAME

Company/Homeowner Name H&A Properties, hereafter, the "APPLICANT."


The encroachment will be permitted to remain and continue under the following terms and conditions:

- 1) Until such time as the BOARD OF PUBLIC WORKS ("BOARD") of the CITY OF SOUTH BEND ("CITY") shall determine that such encroachment is in any way impairing or interfering with the highway or with the free and safe flow of traffic thereon;
- 2) Said encroachment shall not in any way prejudice or preclude the CITY'S rights with respect to the future use of the portion of the right-of-way;
- 3) The encroachment as it now exists shall in no manner be added to or enlarged in its present scope or dimensions;
- 4) In the event of change of ownership of the fixture or any other item of personal property which constitutes the aforesaid encroachment, this permit shall become null and void;
- 5) The CITY shall not be liable to APPLICANT for any damages caused to APPLICANT that arise out of or is incidental to any activity and/or incidences authorized by this permit;
- 6) In consideration of the granting of this Permit by the BOARD, APPLICANT shall indemnify, hold harmless and defend the CITY from and against any and all actions or causes of action which the CITY may suffer or incur by reason of bodily injury, including death, to any person or persons, or by reason of damage to or destruction of any property, including the loss thereof, arising out of or in any manner connected with any activity and/or incidences authorized by this permit and/or any activities and/or incidences incidental thereto, or which the CITY may sustain or incur in connection with any litigation, investigation, or other expenditures incidental thereto, including any suit instituted by the CITY to enforce the obligation of this agreement of indemnity.
It is the intent of the parties hereto that the APPLICANT shall indemnify the CITY under this indemnification clause to the fullest extent permitted by law.

This approval shall be binding upon everyone past or present, claiming any interest in and to the aforementioned encroachment.

ACCEPTANCE OF TERMS AND CONDITIONS

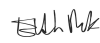
I accept and agree to be bound by all of the terms and conditions of this permit.


Submitted By: Avromi Klor DocuSigned by:

38FDCEf8B06842C...


Signature: _____


Date: January 2, 2022


CITY OF SOUTH BEND, INDIANA
BOARD OF PUBLIC WORKS



Elizabeth A. Maradik, President


Gary A. Gilot, Member


Joseph R. Molnar, Member

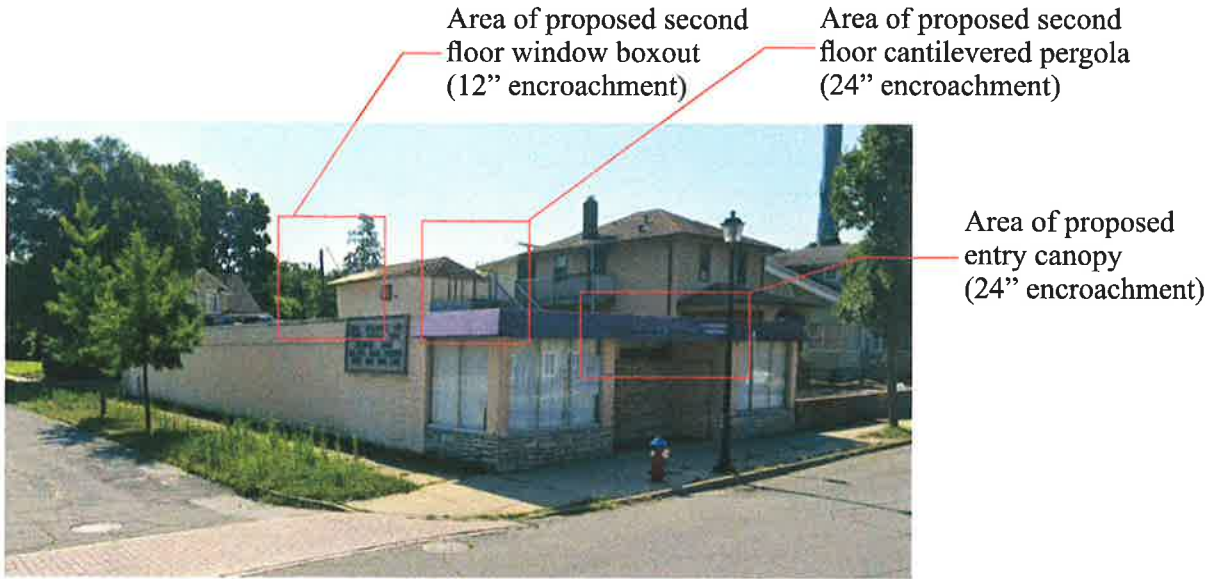

Jordan V. Gathers, Member


Murray L. Miller, Member


Attest: Clerk

Date: January 25, 2022

Bowman Street



Miami Street

View from northwest

Area of proposed entry canopy (24" encroachment)



Miami Street

View from southwest



Location



January 4, 2022

South Bend Board of Public Works
227 West Jefferson Blvd., Ste. 1316
South Bend, IN 46601

To Whom it May Concern:

H&A Properties, located at 2002 Miami Street, South Bend, IN 46613, would like to encroach the public right of way with improvements to their existing building in the form of:

1. A wood-framed entry canopy cantilevered 2' from the west building façade at the first floor level, facing Miami Street.
2. A cantilevered extension of a rooftop deck level wood-framed pergola 2' beyond the north building façade, facing Bowman Street.
3. A wood-framed, boxed-out window surround 12" beyond the north building façade, facing Bowman Street.

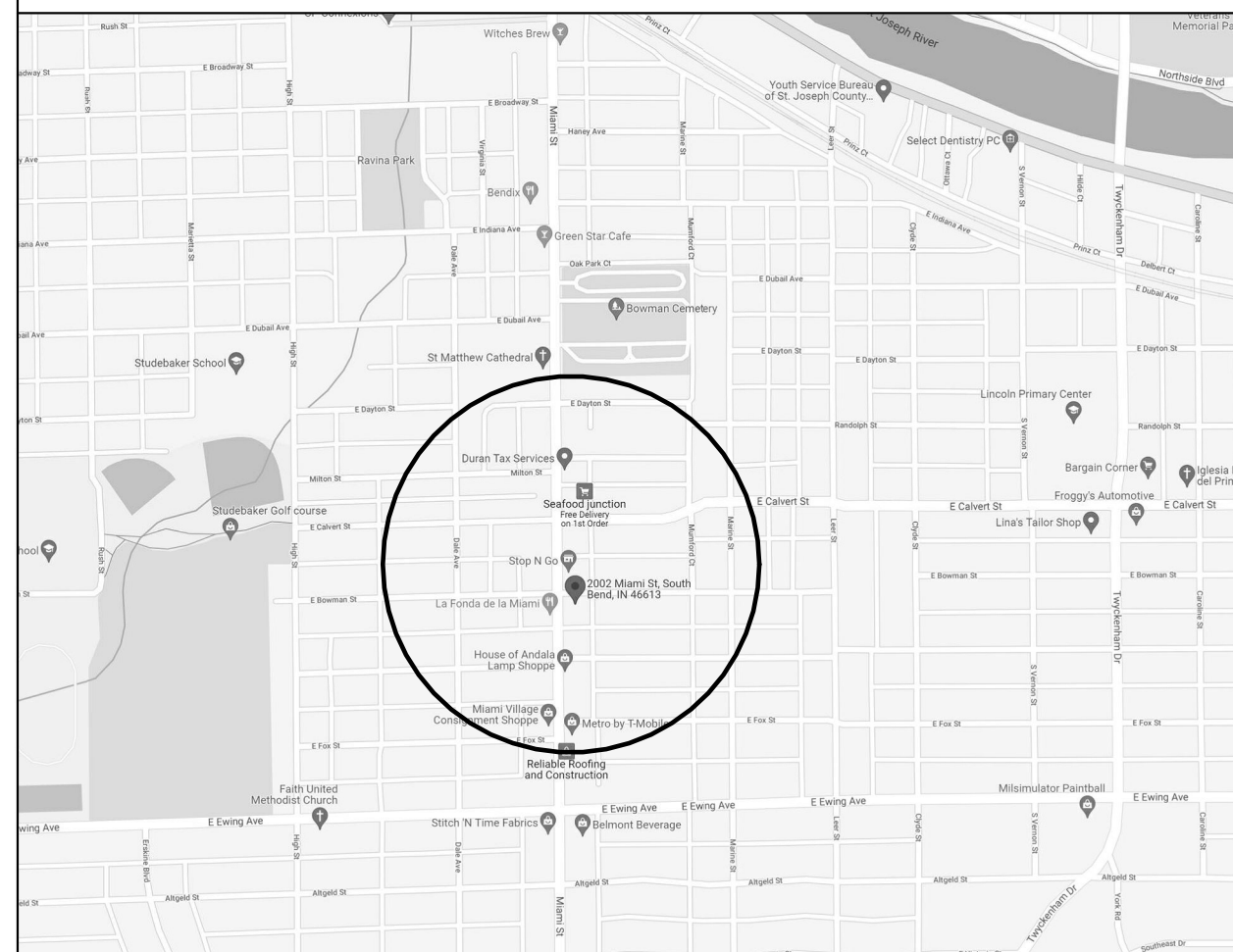
Sincerely,

Matt Freeman
Spalding Design Group, LLC
106 Lincolnway East
Mishawaka, IN 46544

Vicinity



Location



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COMMERCIAL REMODEL

-for-

H&A Properties

2002 Miami Street,
South Bend, IN 46613



SQUARE FOOTAGE	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



COVER PAGE

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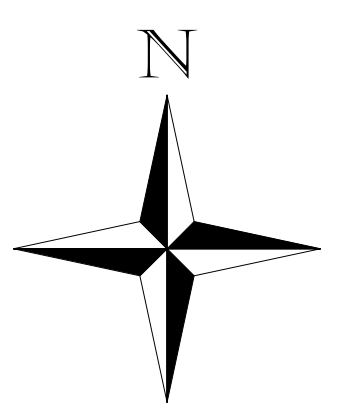
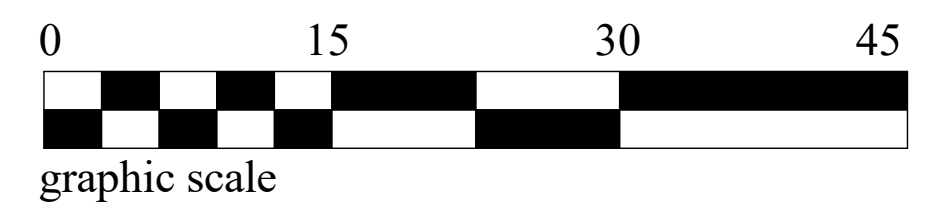
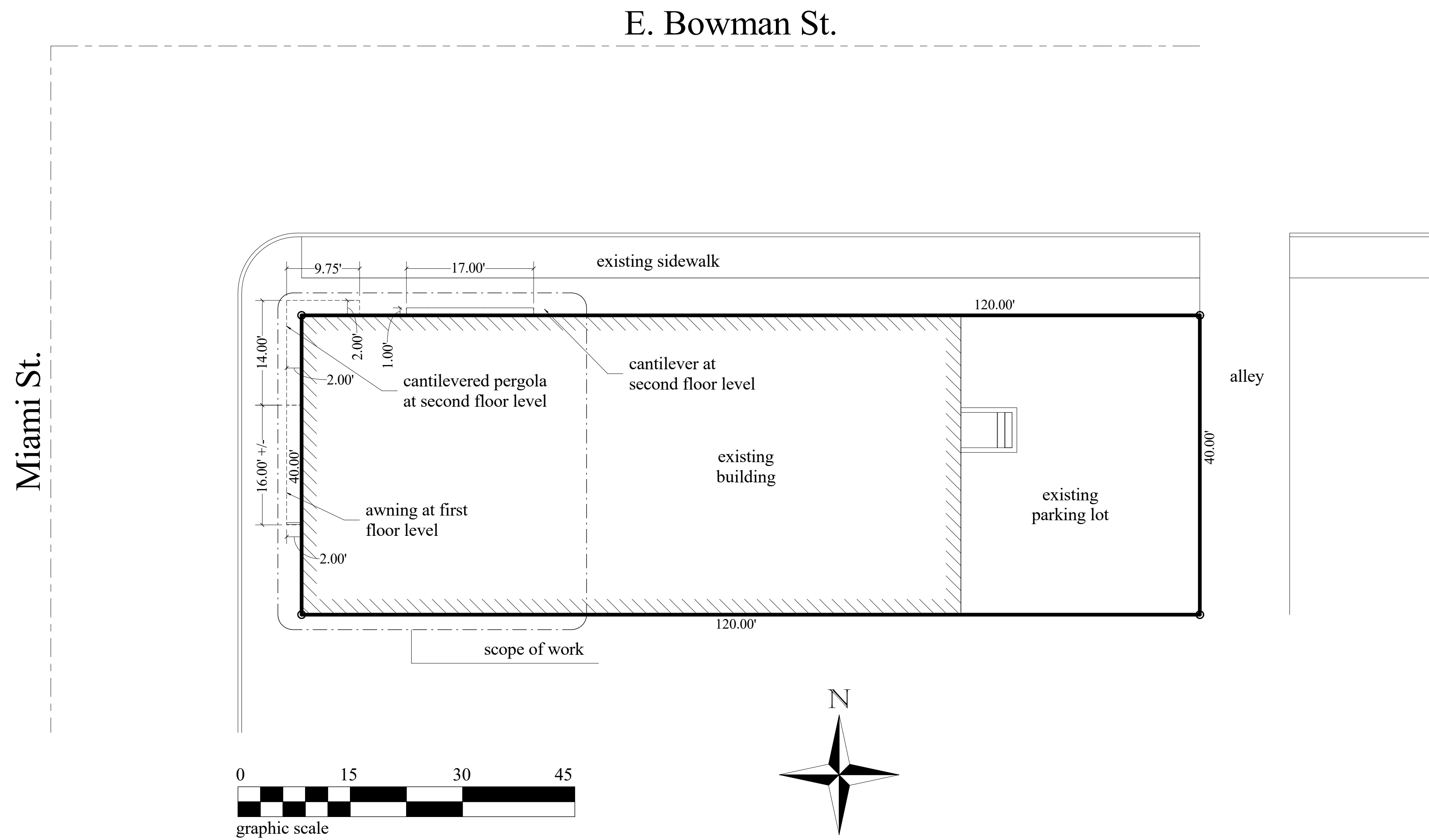
Documentation
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Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN



PHONE: 574-255-2422
FAX: 574-257-9286
108 ENGLEN WAY EAST
MISHAWAKA, IN 46544

FILE	DATE
2021-0104-4	12-13-2021
DRWN BY	CHEK BY
MDF	JFS



1
SP1.0
SITE PLAN

1" = 10'-0"

SAG

SQUARE FOOTAGE:	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959

12-13-2021
JOHN F. SPALDING
REGISTERED ARCHITECT
No. AR11600013

SITE PLAN

SP1.0

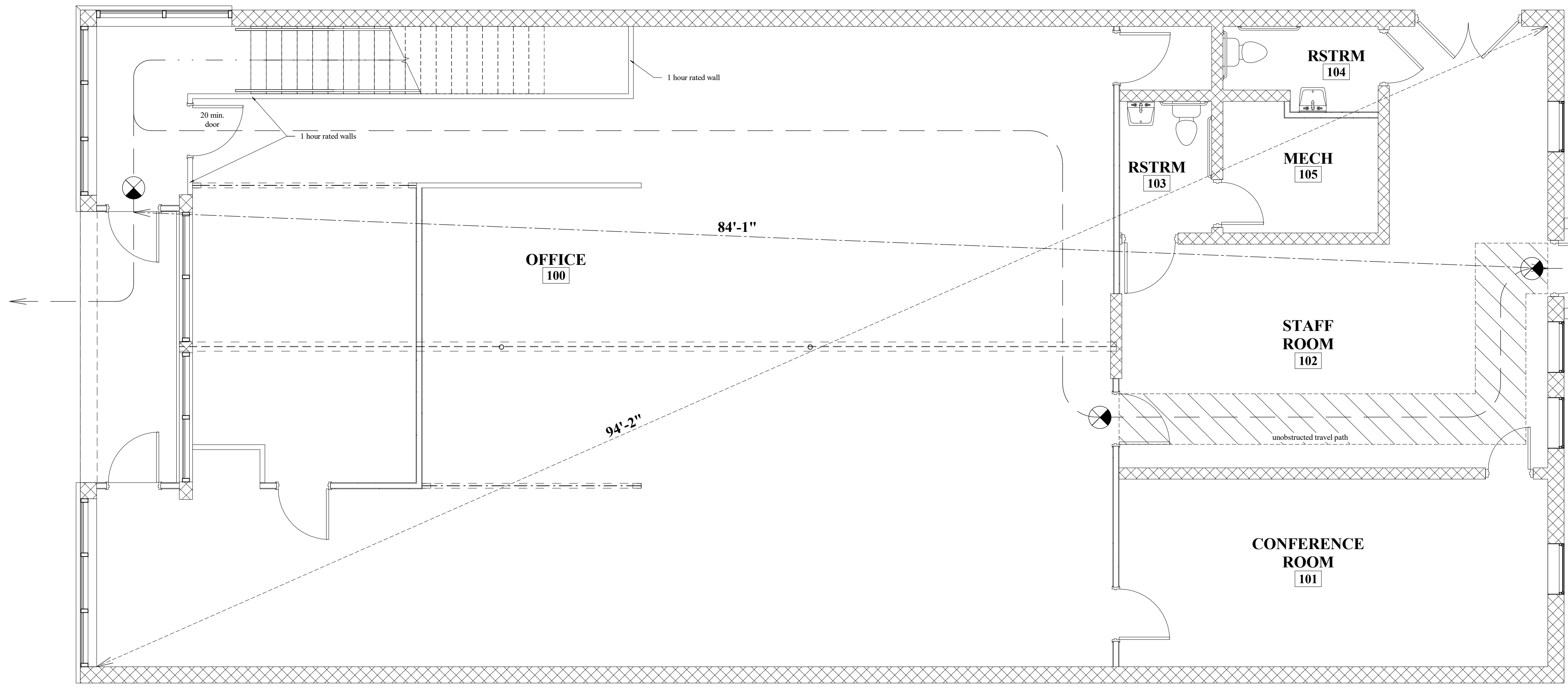
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Location: 2002 Miami St., South Bend, IN

SPALDING DESIGN GROUP

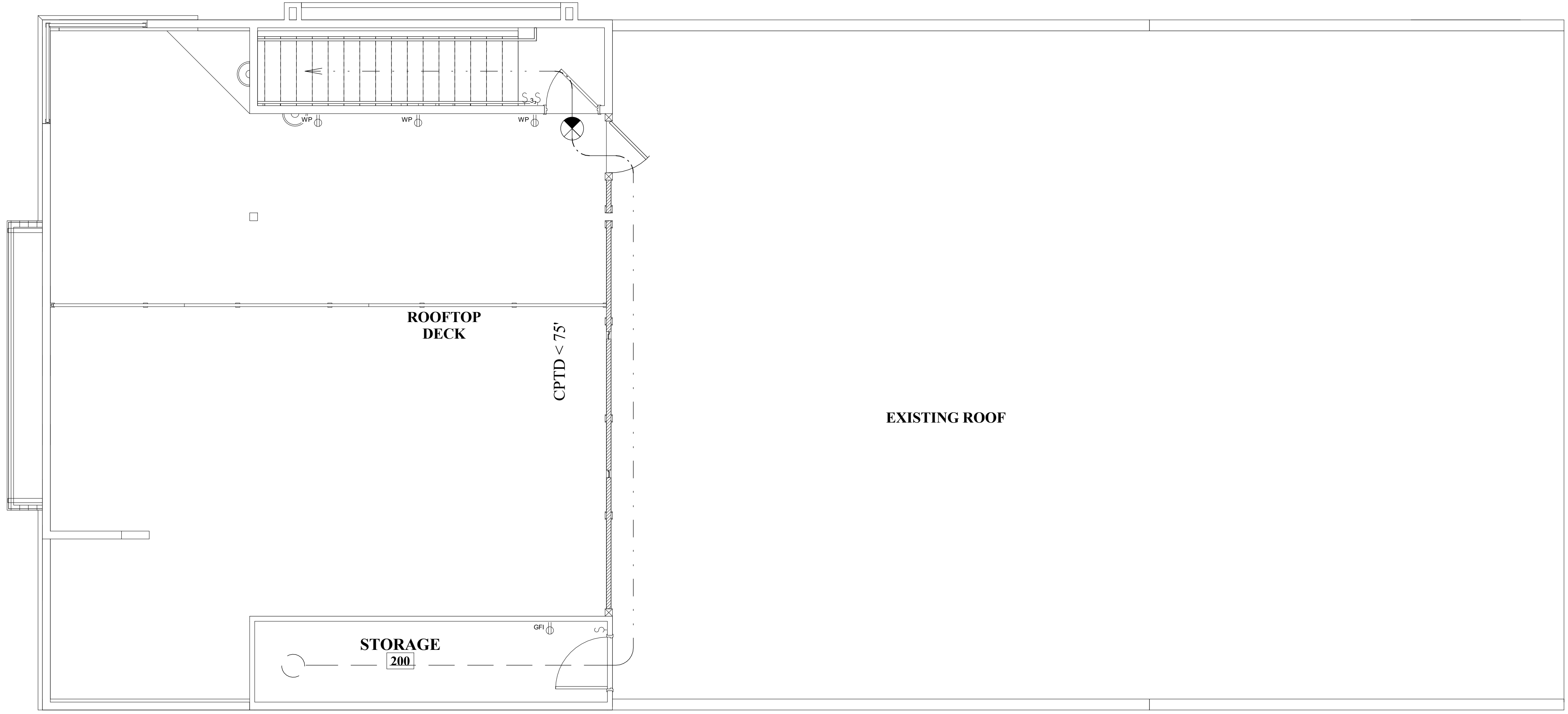
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108 ENGLEWAY EAST
MISHAWAKA, IN 46544

FILE	DATE
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MDF	JFS



1 FIRST FLOOR LIFE SAFETY PLAN

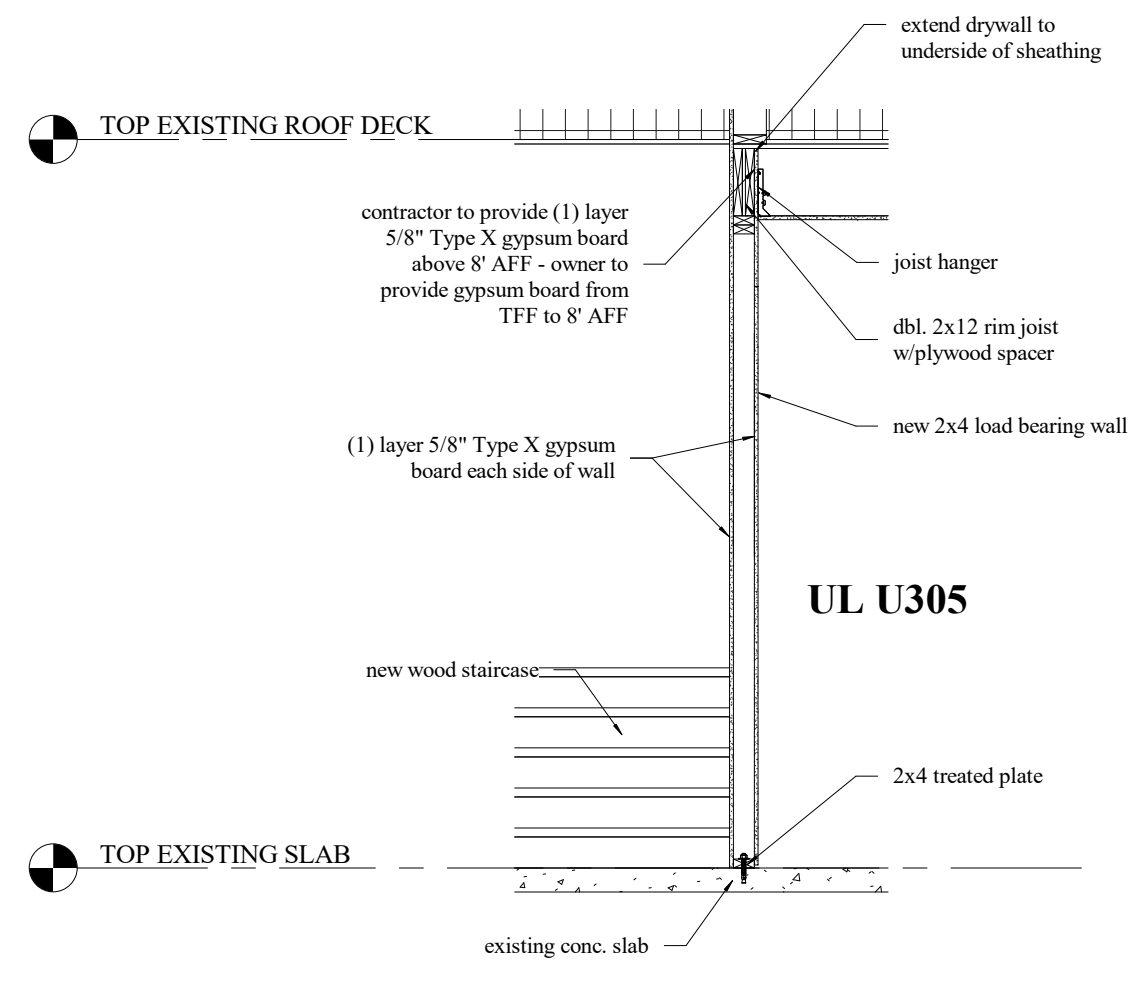
LS1.0 1/4" = 1'-0" N



2 ROOFTOP DECK LIFE SAFETY PLAN

LS1.0 1/4" = 1'-0" N

LIFE SAFETY LEGEND	
LIFE SAFETY SYMBOLS	
	DIAGONAL DIMENSION OF SPACE
	DISTANCE BETWEEN EXITS
	EXIT ACCESS TRAVEL DISTANCE
	COMMON PATH TRAVEL DISTANCE
WAYFINDING DEVICES	
	EMERGENCY LIGHT
	REMOTE EMERGENCY HEAD
	EXIT/EMERGENCY LIGHT
	FIRE EXTINGUISHER I-A-10-B:C



3 1 HOUR WALL DETAIL

LS1.0

S&G

SQUARE FOOTAGE:
 Existing Building: 3,429
 Rooftop Deck: 420
 Storage: 110
 Total: 3,959

12-13-2021
 JOHN F. SPALDING
 REGISTERED ARCHITECT
 No. AR11600013

LIFE SAFETY PLANS

LS1.0

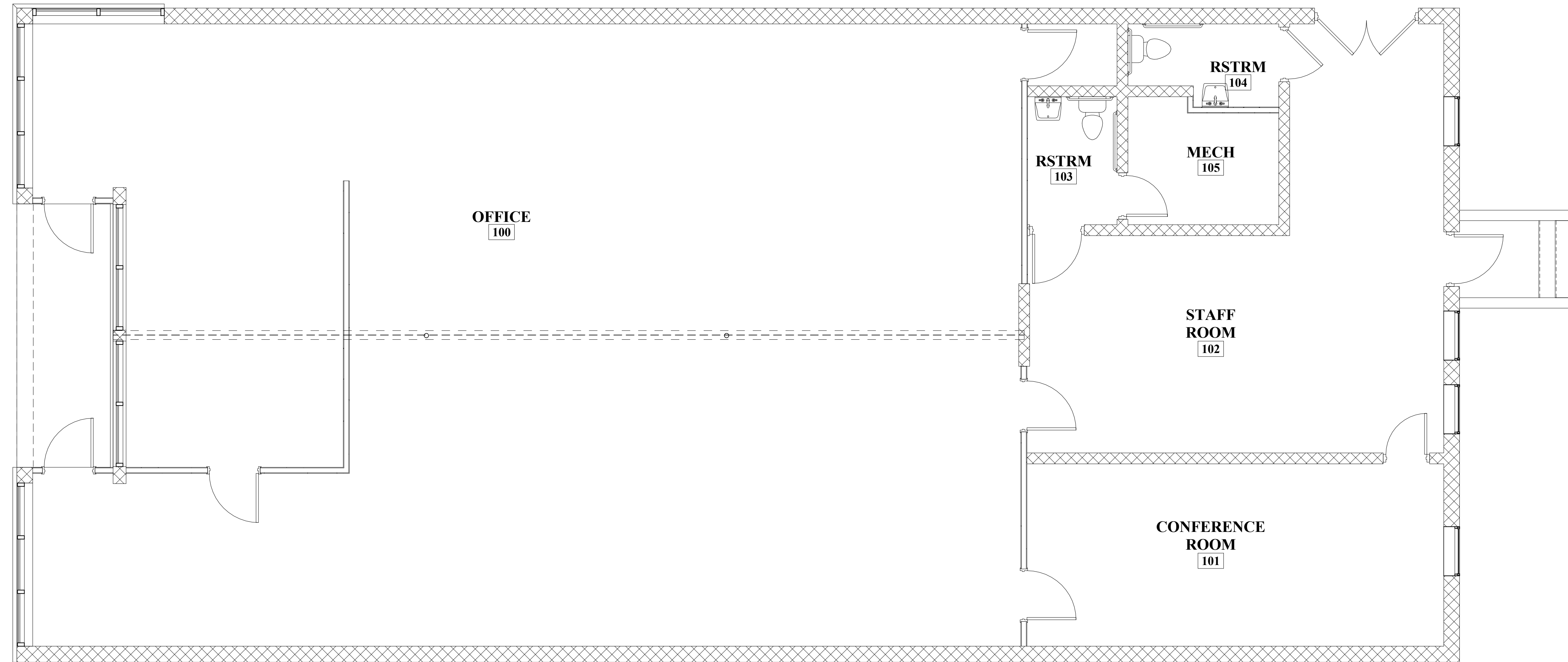
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Plan For: H&A Properties
 Location: 2002 Miami St., South Bend, IN

SPALDING DESIGN GROUP

PHONE: 574-255-2422
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 106 ENGLISHWAY EAST
 MISHAWAKA, IN 46544

FILE	DATE
2021-0104-4	12-13-2021
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MDF	JFS



1
AB1.0

AS-BUILT FLOOR PLAN

1/4" = 1'-0"



SQUARE FOOTAGE:	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



AS BUILT FLOOR PLAN

AB1.0

Documentation

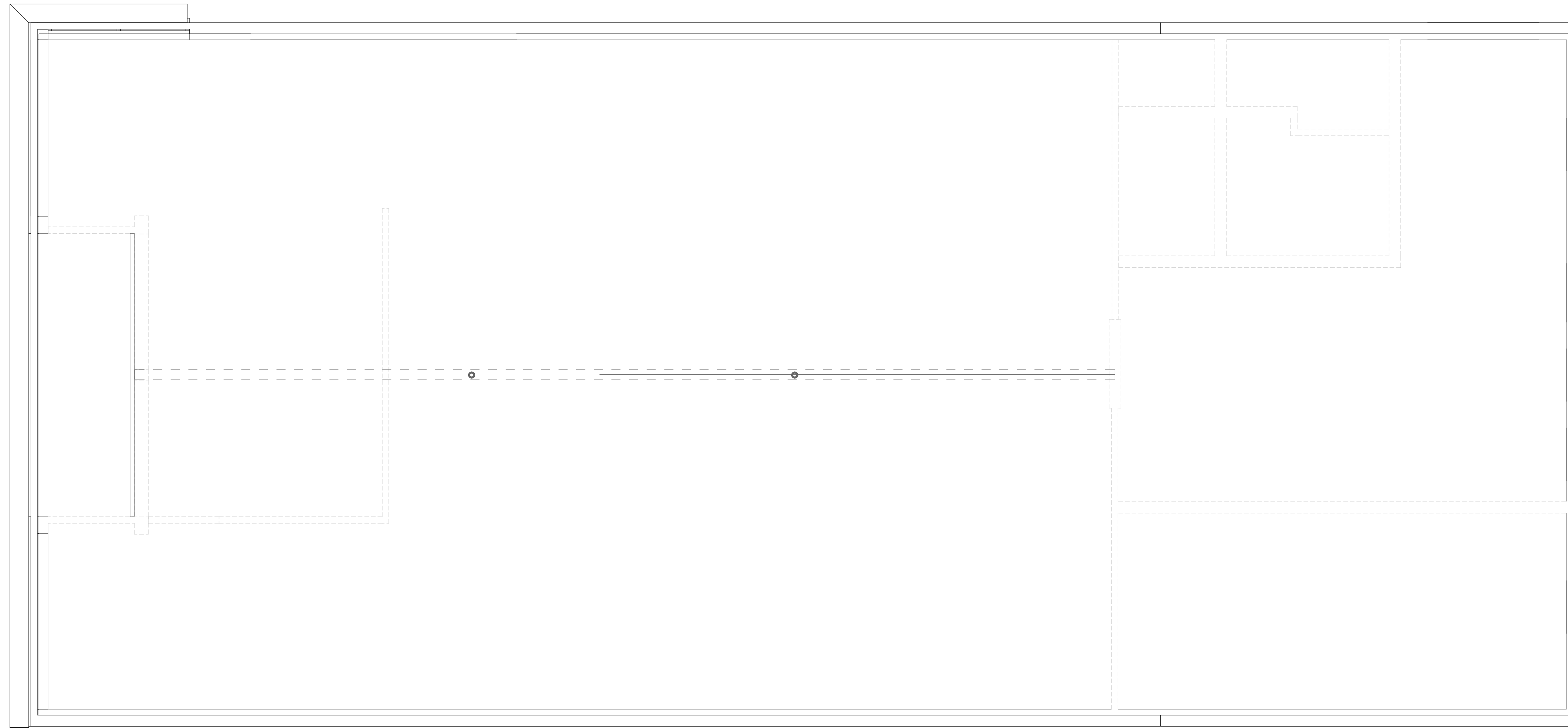
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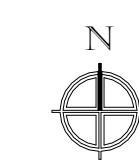
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DRWN BY	CHEK BY
MDF	JFS



AS-BUILT ROOF PLAN

1
AB1.1

1/4" = 1'-0"



SQUARE FOOTAGE	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



AS-BUILT ROOF PLAN

AB1.1

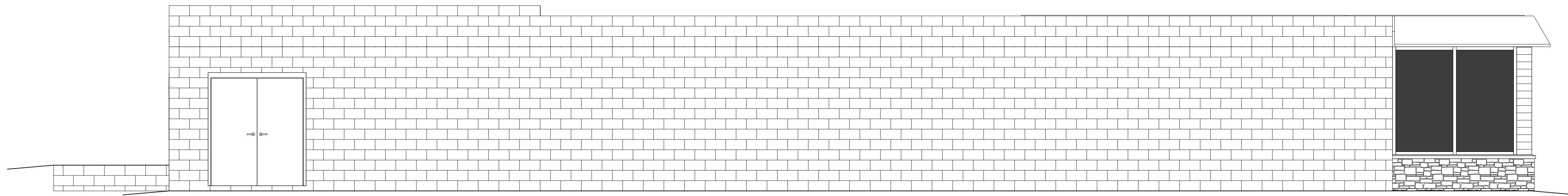
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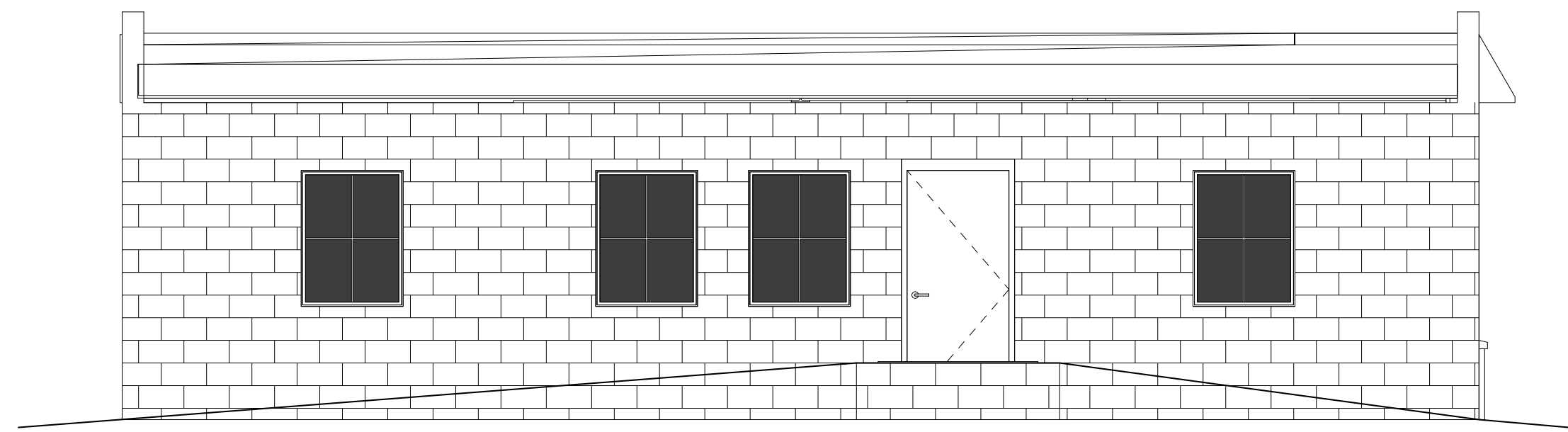
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MDF	JFS



1 AS-BUILT NORTH ELEVATION

AB2.0

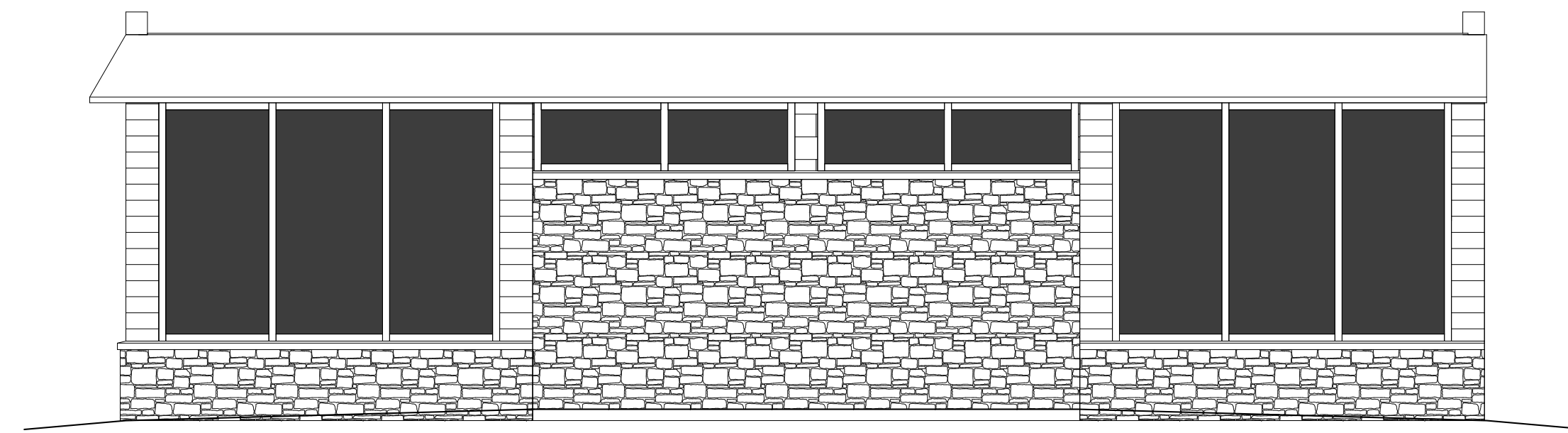
1/4" = 1'-0"



3 AS-BUILT EAST ELEVATION

AB2.0

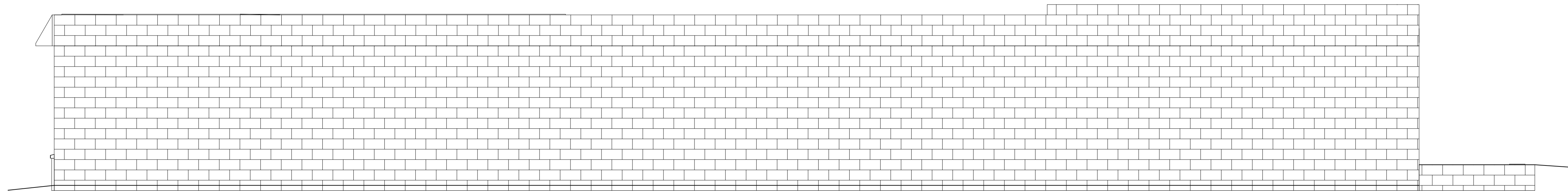
1/4" = 1'-0"



4 AS-BUILT WEST ELEVATION

AB2.0

1/4" = 1'-0"



2 AS-BUILT SOUTH ELEVATION

AB2.0

1/4" = 1'-0"



SQUARE FOOTAGE:

Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



AS-BUILT ELEVATIONS

AB2.0

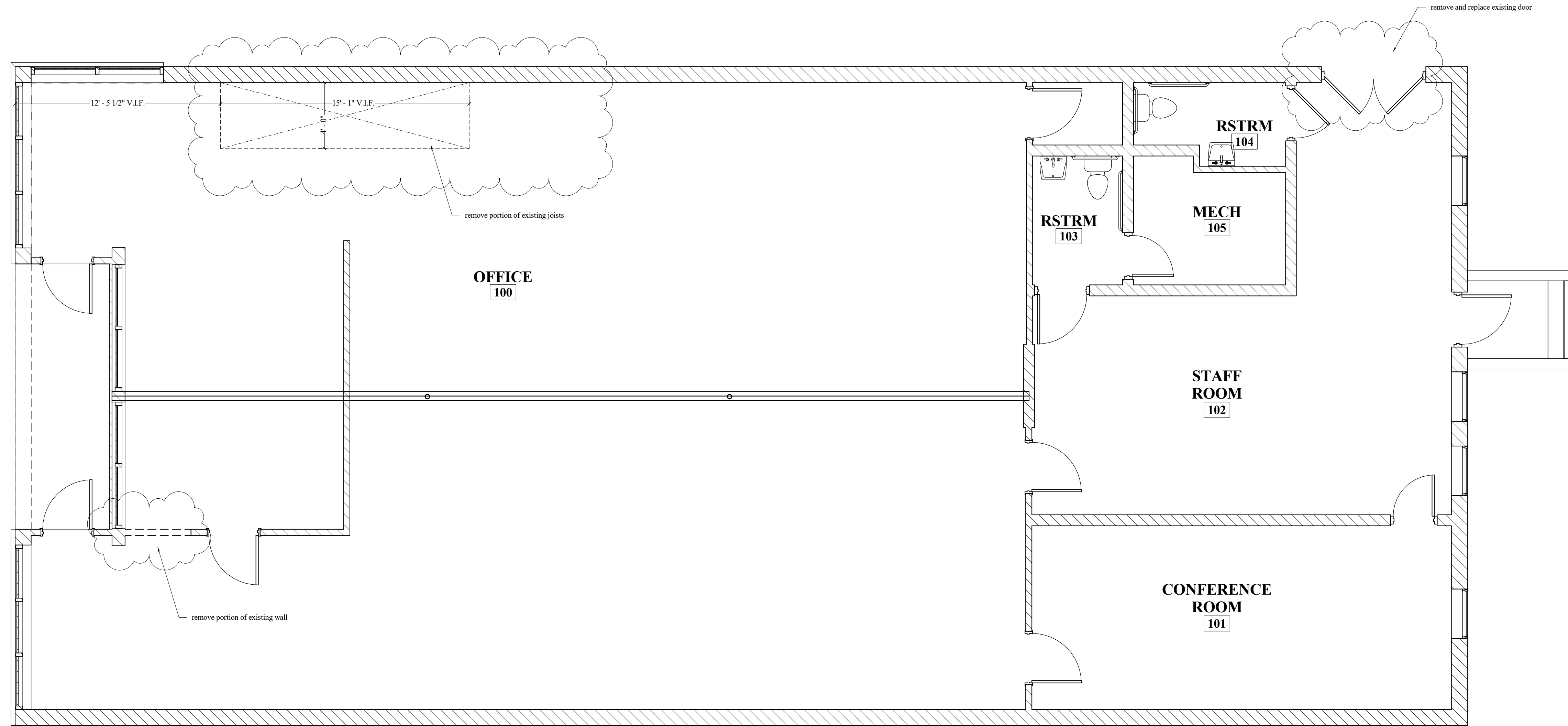
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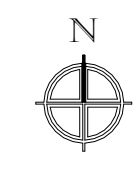
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DRWN BY	CHEK BY
MDF	JFS



1
AD1.0

DEMOLITION PLAN

1/4" = 1'-0"



- GENERAL DEMOLITION NOTES**
- Contractor for all work shall inspect and verify all conditions prior to the commencement of their contract. This shall include impact from demolition activities.
 - Demolition shall be done in a sequence that prevents water damage from occurring during construction. All material removal shall be done in a workmanlike fashion.
 - Contractor shall review all documents related to the construction to confirm items to be saved and reused.
 - Utility services shall remain active during the CONSTRUCTION duration. Should service need to be interrupted, the contractor shall give the owner 48 hours notice.
 - All efforts shall be made to minimize dust and debris from affecting adjacent properties.
 - Shoring and bracing for the removal of supporting structural elements is the sole responsibility of the general contractor.

SQUARE FOOTAGE:	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



DEMOLITION PLAN

AD1.0

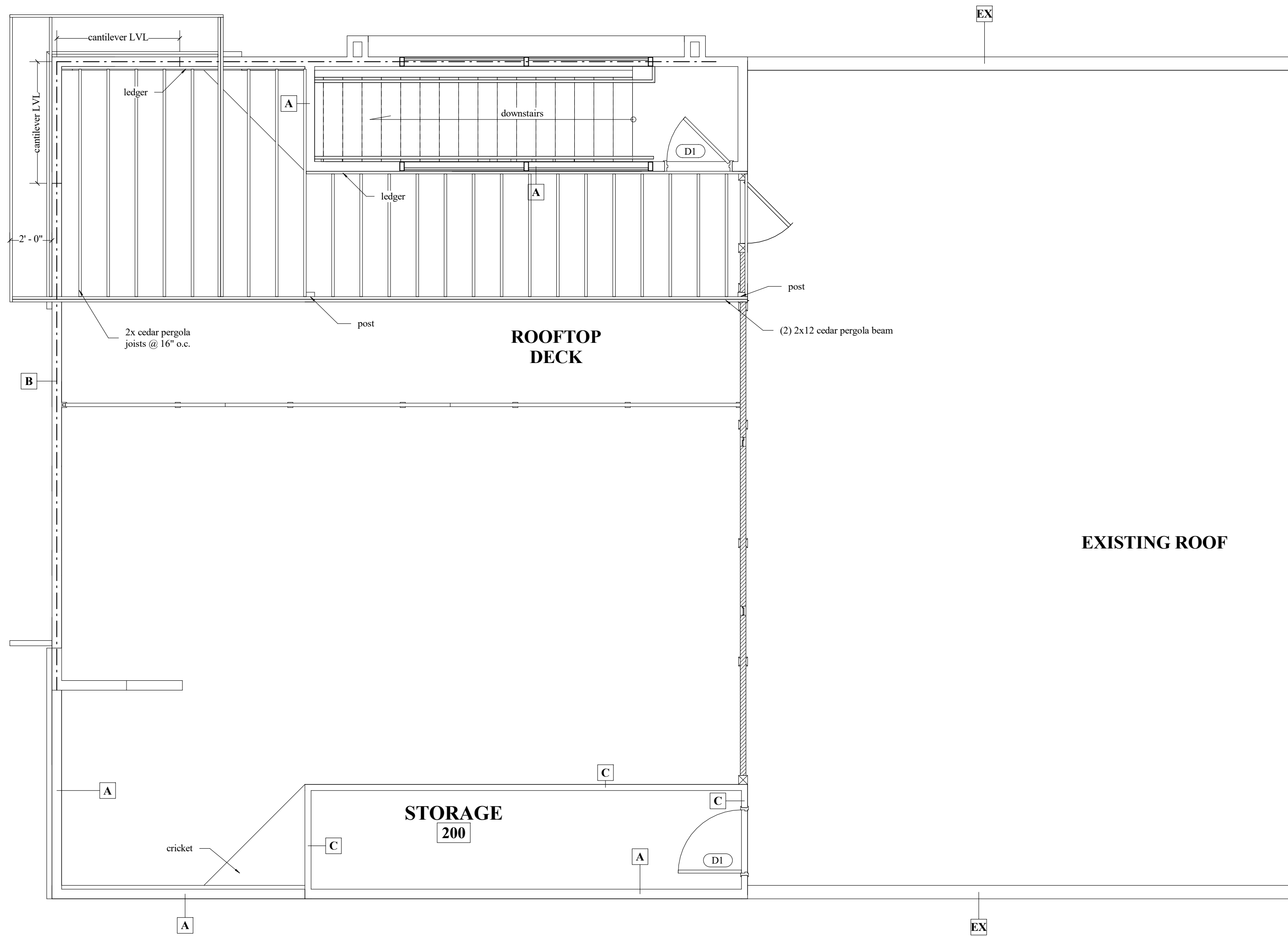
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Plan For: H&A Properties
 Location: 2002 Miami St., South Bend, IN



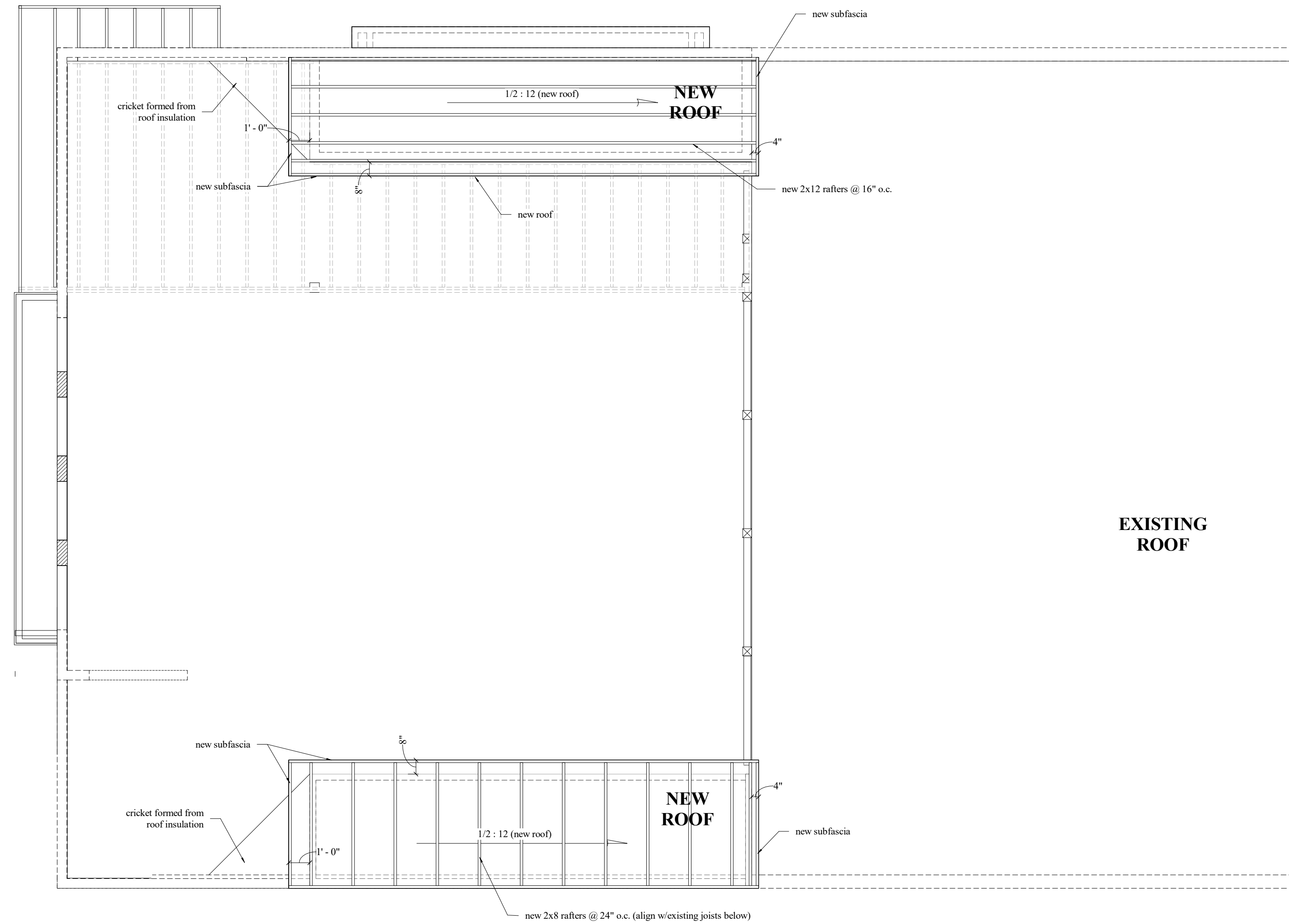
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 MISHAWAKA, IN 46544

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1
S1.0
PERGOLA FRAMING PLAN

1/4" = 1'-0"



2
S1.0
ROOF FRAMING PLAN

1/4" = 1'-0"



SQUARE FOOTAGE	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



PERGOLA & ROOF
FRAMING PLANS

S1.0

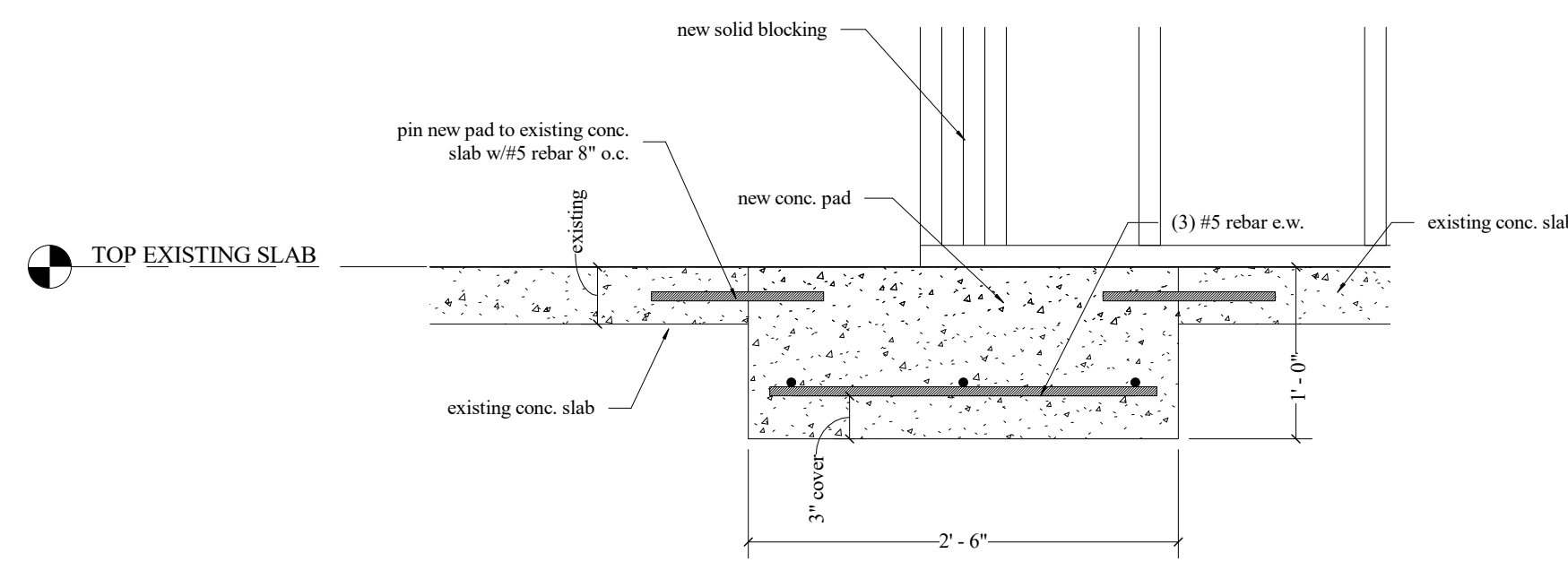
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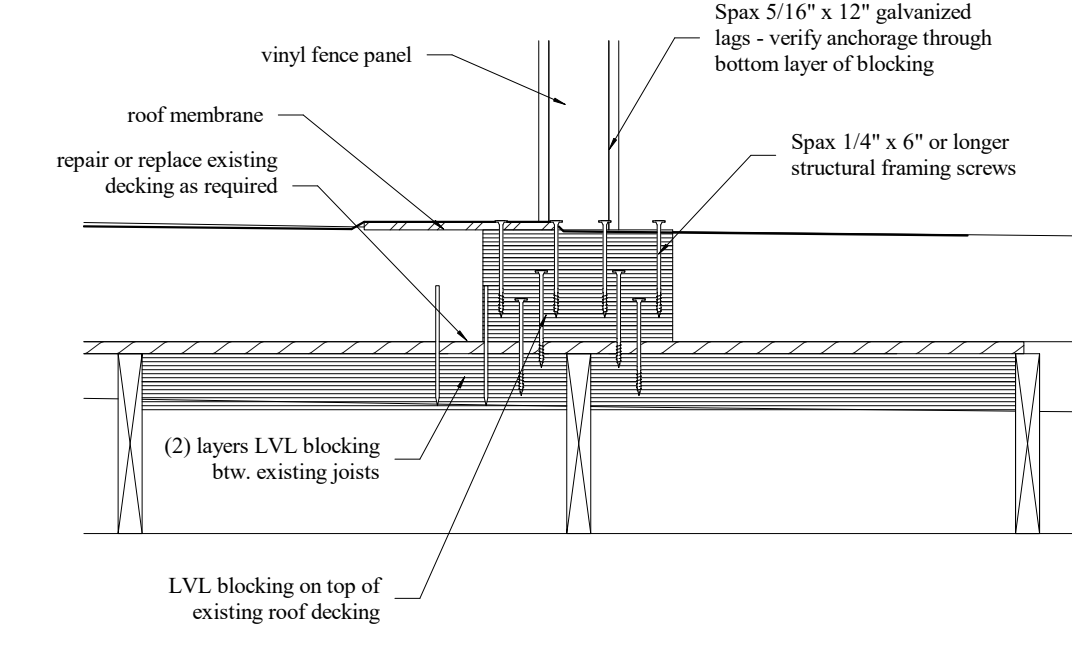


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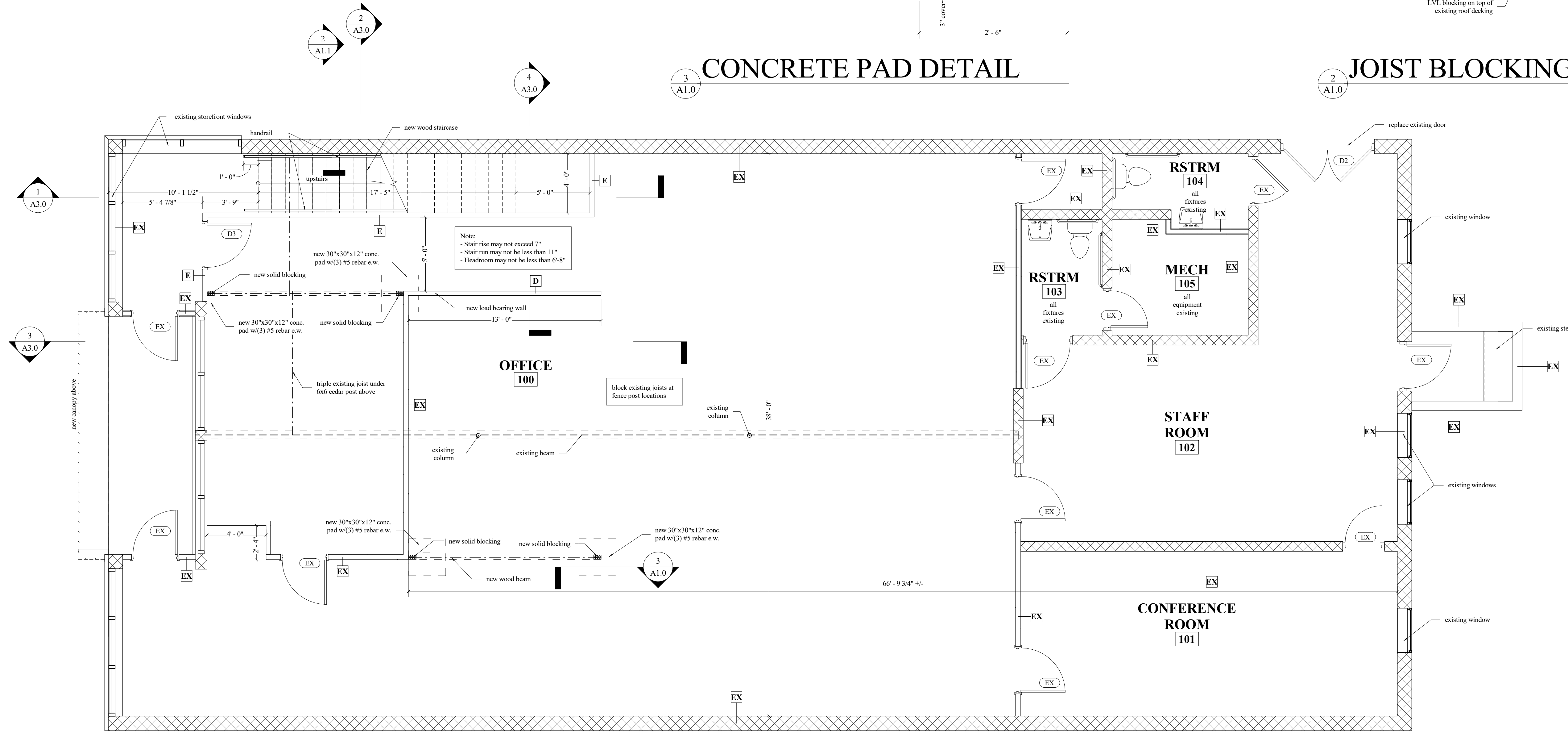
FILE	DATE
2021-0104-4	12-13-2021
DRWN BY	CHEK BY
MDF	JFS



CONCRETE PAD DETAIL



JOIST BLOCKING DETAIL



FIRST FLOOR PLAN

1/4" = 1'-0"



WALL SCHEDULE				
Label	Description	Construction	Remarks	
A	2x6 exterior wall	2x6 studs @ 16" oc. w/ (2) 2x6 top plate and (1) 2x6 bottom plate (treated at concrete contact) w/ 7/16" ZIP sheathing at exterior side and (1) layer 5/8" Type X gypsum board at interior side and R-19 batt insulation in wall cavity		
B	2x6 exterior wall	2x6 studs @ 16" oc. w/ (2) 2x6 top plate and (1) 2x6 bottom plate (treated at concrete contact) w/ 7/16" ZIP sheathing at exterior side and (1) layer 5/8" Type X gypsum board at interior side and R-19 batt insulation in wall cavity		
C	2x4 exterior wall	2x4 studs @ 16" oc. w/ (2) 2x4 top plate and (1) 2x6 bottom plate w/ 7/16" ZIP sheathing at each side of wall		
D	2x4 interior wall	2x4 studs @ 16" oc. w/ dbl. 2x4 top plate and (1) 2x4 bottom plate (treated at concrete contact) w/ 1/2" gypsum board each side of wall	Gypsum board by owner	
E	2x4 1-hour rated wall	2x4 studs @ 16" oc. w/ dbl. 2x4 top plate and (1) 2x4 bottom plate (treated at concrete contact) w/ 5/8" Type X gypsum board each side of wall extending to underside of roof sheathing	Gypsum board by owner	
EX	Existing wall	Existing		

DOOR SCHEDULE							
Type Mark	Width	Height	Operation	Door Material	Frame Material	Fire Rating	Remarks
D1	3' - 0"	7' - 0"	Swing	Steel	HM	NA	
D2	6' - 0"	7' - 0"	Pair swing	Steel	HM	NA	Verify existing masonry opening
D3	3' - 0"	7' - 0"	Swing	Steel	HM	20 Min.	
EX	<varies>	7' - 0"	Swing	Existing	Existing	NA	Existing door



SQUARE FOOTAGE:
Existing Building: 3,429
Rooftop Deck: 420
Storage: 110
Total: 3,959



FIRST FLOOR PLAN

A1.0

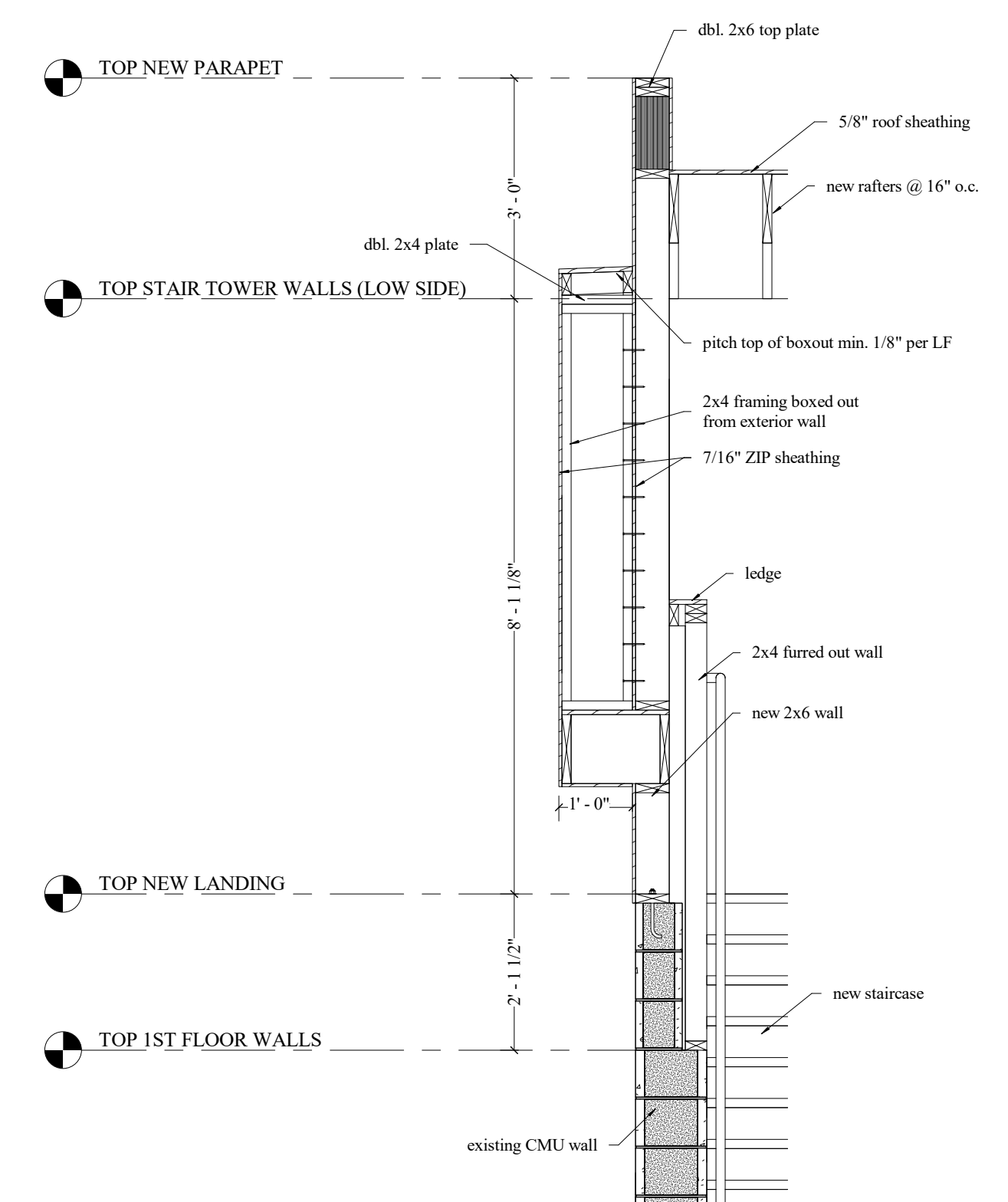
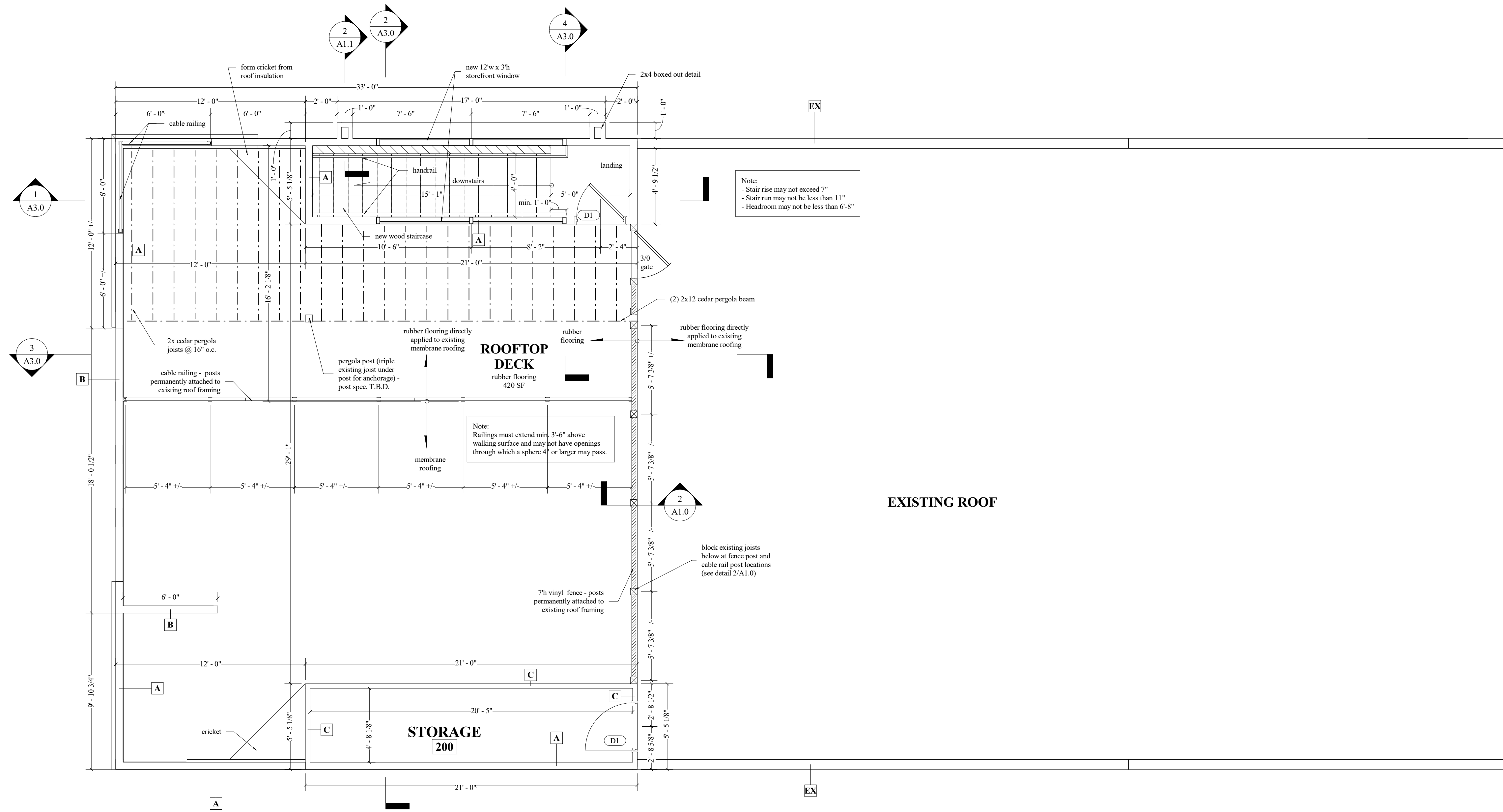
Documentation
These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include: architectural building elements, building site, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to cover all documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN



PHONE: 574-255-2422
FAX: 574-257-9286
106 ENGLEMAN WAY EAST
MISHAWAKA, IN 46544

FILE	DATE
2021-0104-4	12-13-2021
DRWN BY	CHKD BY
MDF	JFS



1 A1.1 ROOFTOP DECK PLAN 1/4" = 1'-0"

WALL SCHEDULE

Label	Description	Construction	Remarks
A	2x6 exterior wall	2x6 studs @ 16" oc, w(2) 2x6 top plate and (1) 2x6 bottom plate (treated at concrete contact) w/ 7/16" ZIP sheathing at exterior side and (1) layer 5/8" Type X gypsum board at interior side and R-19 batt insulation in wall cavity	
B	2x6 exterior wall	2x6 studs @ 16" oc, w(2) 2x6 top plate and (1) 2x6 bottom plate (treated at concrete contact) w/ 7/16" ZIP sheathing at exterior side and (1) layer 5/8" Type X gypsum board at interior side and R-19 batt insulation in wall cavity	
C	2x4 exterior wall	2x4 studs @ 16" oc, w(2) 2x4 top plate and (1) 2x6 bottom plate w/ 7/16" ZIP sheathing at each side of wall	
D	2x4 interior wall	2x4 studs @ 16" oc, w dbl. 2x4 top plate and (1) 2x4 bottom plate (treated at concrete contact) w/ 1/2" gypsum board each side of wall	Gypsum board by owner
E	2x4 1-hour rated wall	2x4 studs @ 16" oc, w dbl. 2x4 top plate and (1) 2x4 bottom plate (treated at concrete contact) w/ 5/8" Type X gypsum board each side of wall extending to underside of roof sheathing	Gypsum board by owner
EX	Existing wall	Existing	

DOOR SCHEDULE

Type Mark	Width	Height	Operation	Door Material	Frame Material	Fire Rating	Remarks
D1	3'-0"	7'-0"	Swing	Steel	HM	NA	
D2	6'-0"	7'-0"	Pair swing	Steel	HM	NA	Verify existing masonry opening
D3	3'-0"	7'-0"	Swing	Steel	HM	20 Min.	
EX	<varies>	7'-0"	Swing	Existing	Existing	NA	Existing door

SQUARE FOOTAGE

Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



ROOFTOP DECK PLAN

A1.1

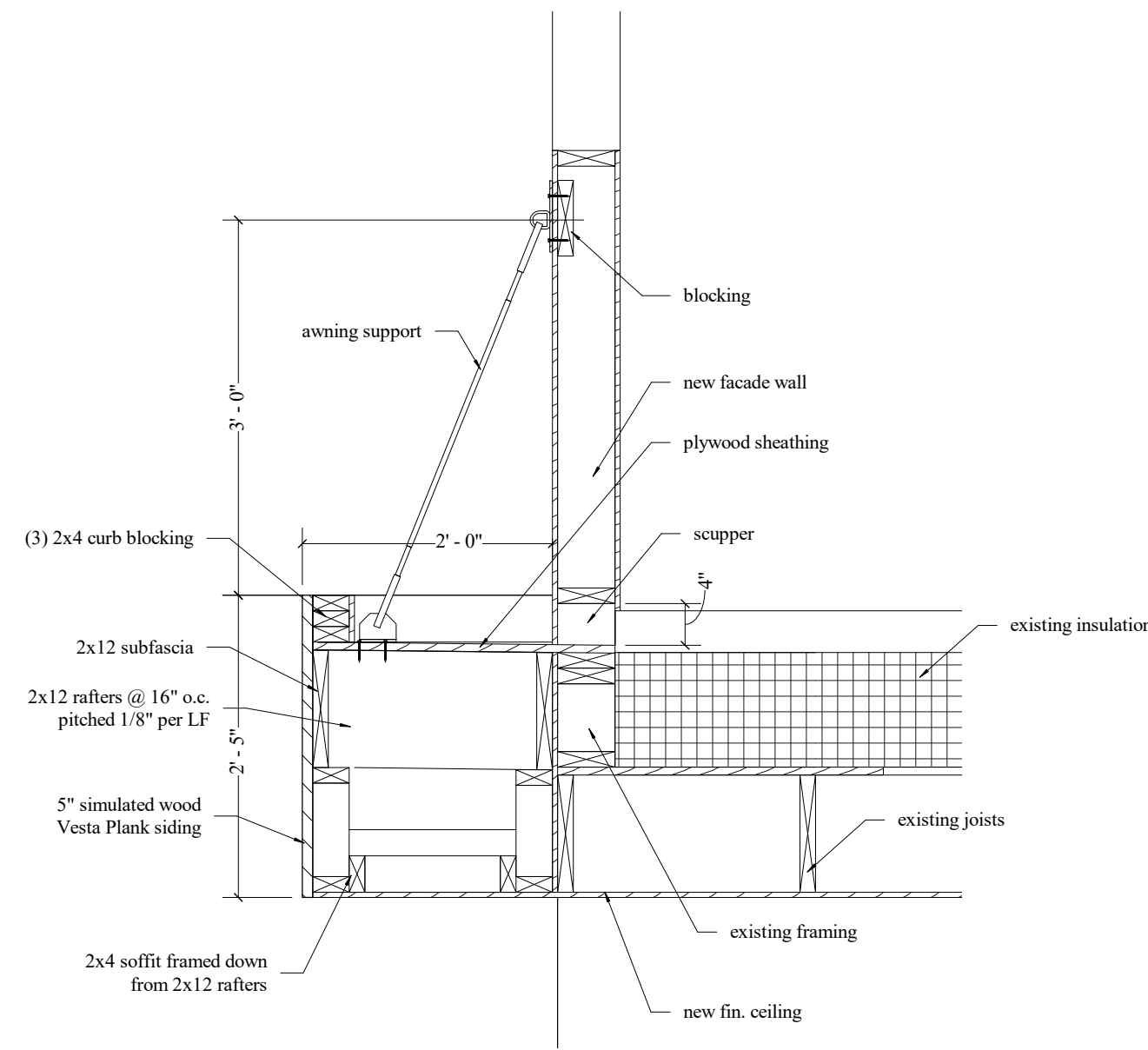
Documentation
 These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include architectural building elements, building site, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to cover all documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
 Location: 2002 Miami St., South Bend, IN

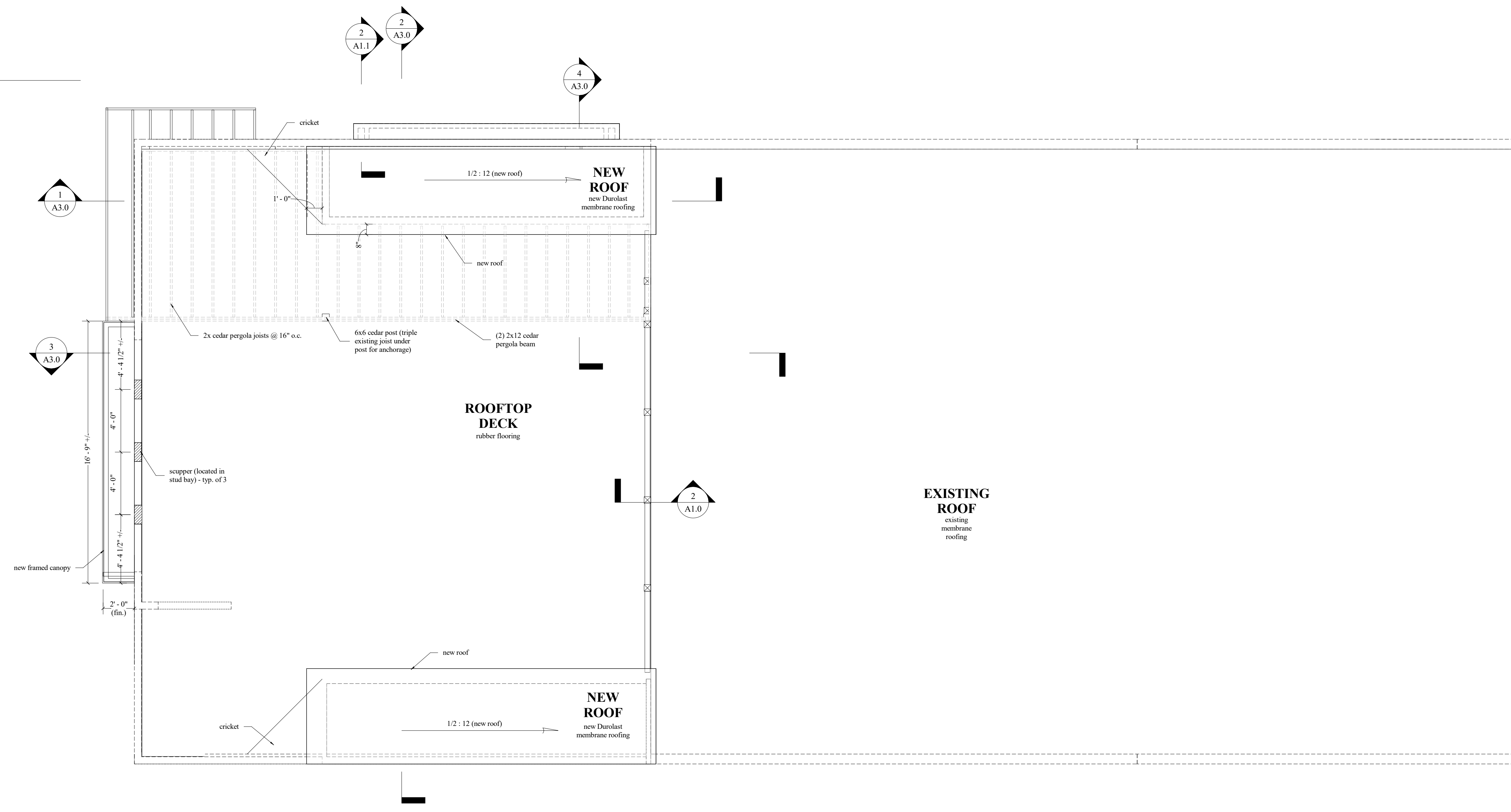


PHONE: 574-255-2422
 FAX: 574-257-9286
 106 ENGLEWAY EAST
 MISHAWAKA, IN 46544

FILE	DATE
2021-0104-4	12-13-2021
DRWN BY	CHECK BY
MDF	JFS



2
A1.2
CANOPY DETAIL



1
A1.2
ROOF PLAN

1/4" = 1'-0"

N

SQUARE FOOTAGE:	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



ROOF PLAN

A1.2

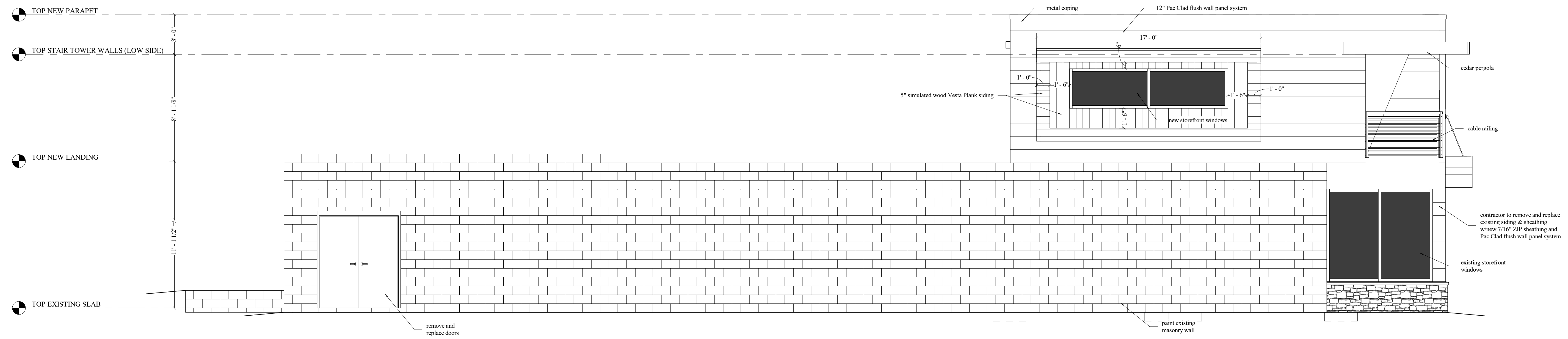
Documentation
These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include architectural building elements, building site, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to cover all documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN



PHONE: 574-255-2422
FAX: 574-257-9286
106 ENGLEMAN WAY EAST
MISHAWAKA, IN 46544

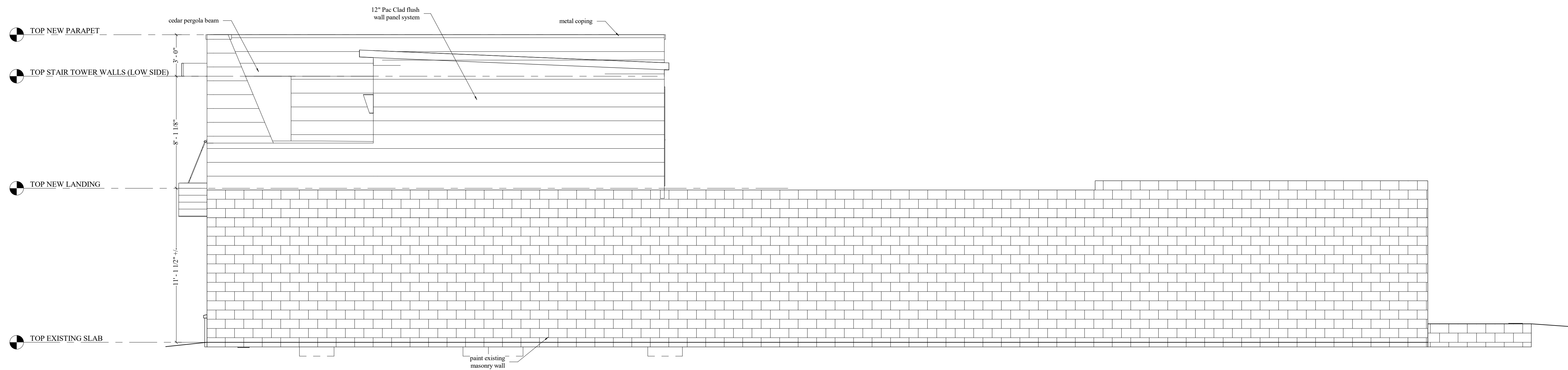
FILE	DATE
2021-0104-4	12-13-2021
DRWN BY	CHEK BY
MDF	JFS



NORTH ELEVATION

1
A2.0

1/4" = 1'-0"



SOUTH ELEVATION

2
A2.0

1/4" = 1'-0"



SQUARE FOOTAGE:	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



**NORTH & SOUTH
ELEVATIONS**

A2.0

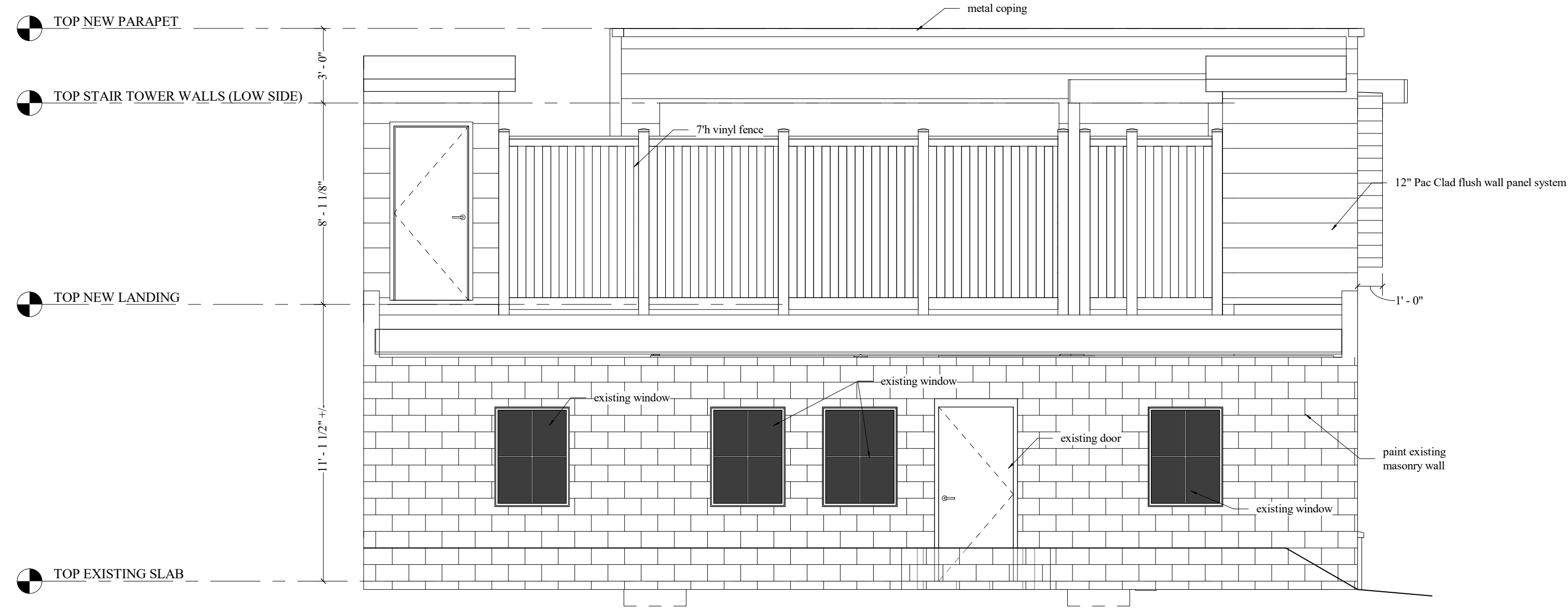
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These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include: architectural building elements, building site, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to cover all documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN



PHONE: 574-255-2422
FAX: 574-257-9286
104 ENGLEN WAY EAST
MISHAWAKA, IN 46544

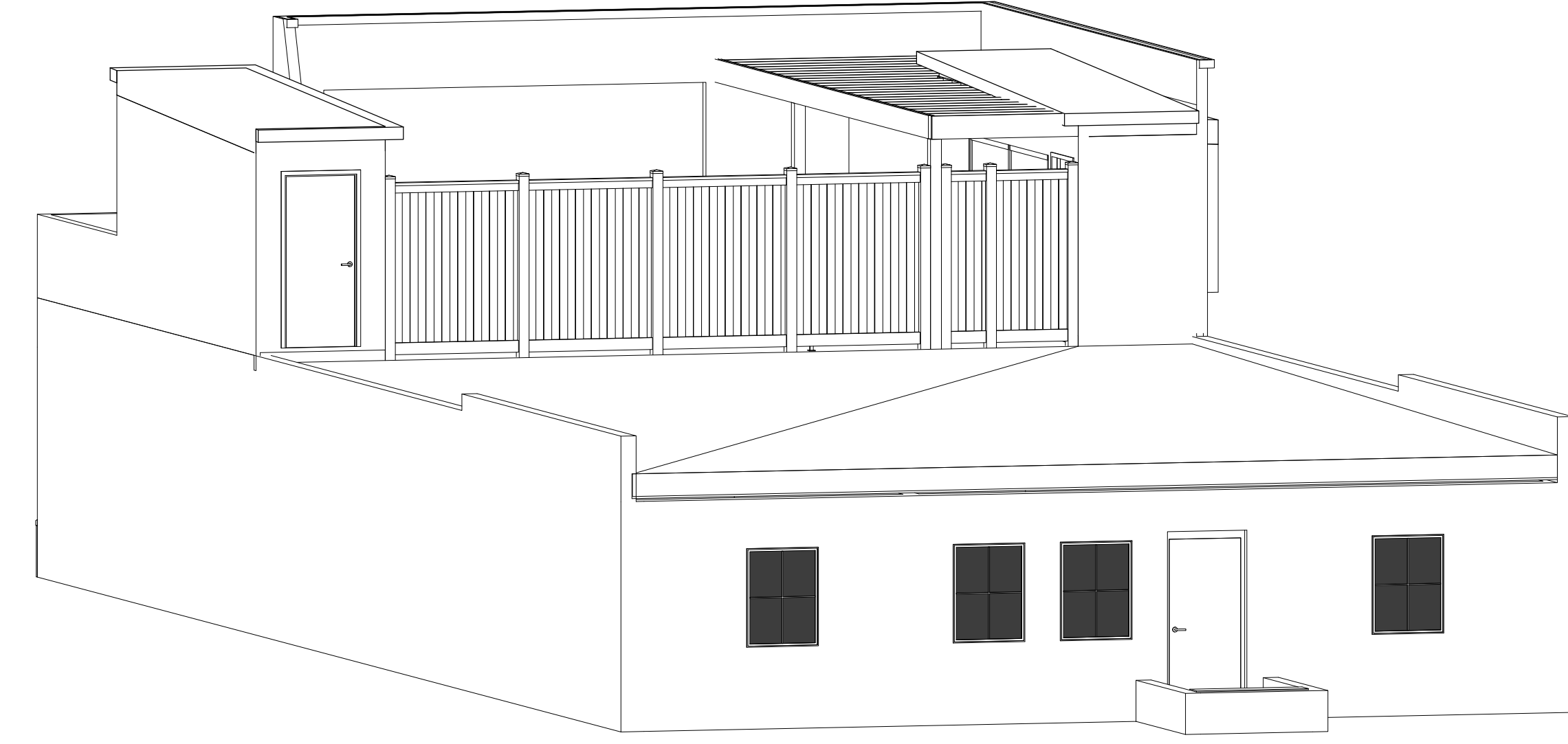
FILE	DATE
2021-0104-4	12-13-2021
DRWN BY	CHEK BY
MDF	JFS



EAST ELEVATION

1
A2.1

1/4" = 1'-0"



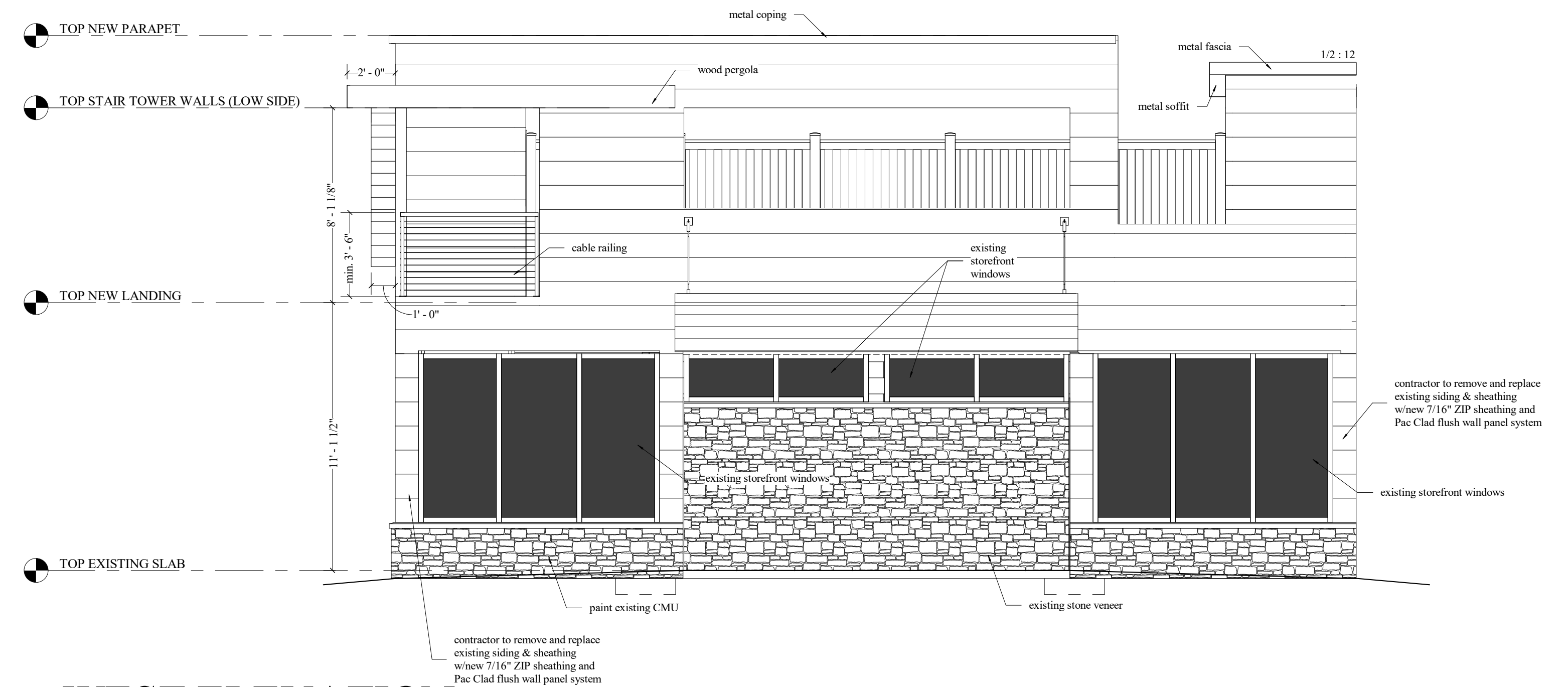
SOUTHEAST ISOMETRIC VIEW

4
A2.1



NORTHWEST ISOMETRIC VIEW

3
A2.1



WEST ELEVATION

2
A2.1

1/4" = 1'-0"



SQUARE FOOTAGE:

Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



**EAST & WEST
ELEVATIONS**

A2.1

Documentation

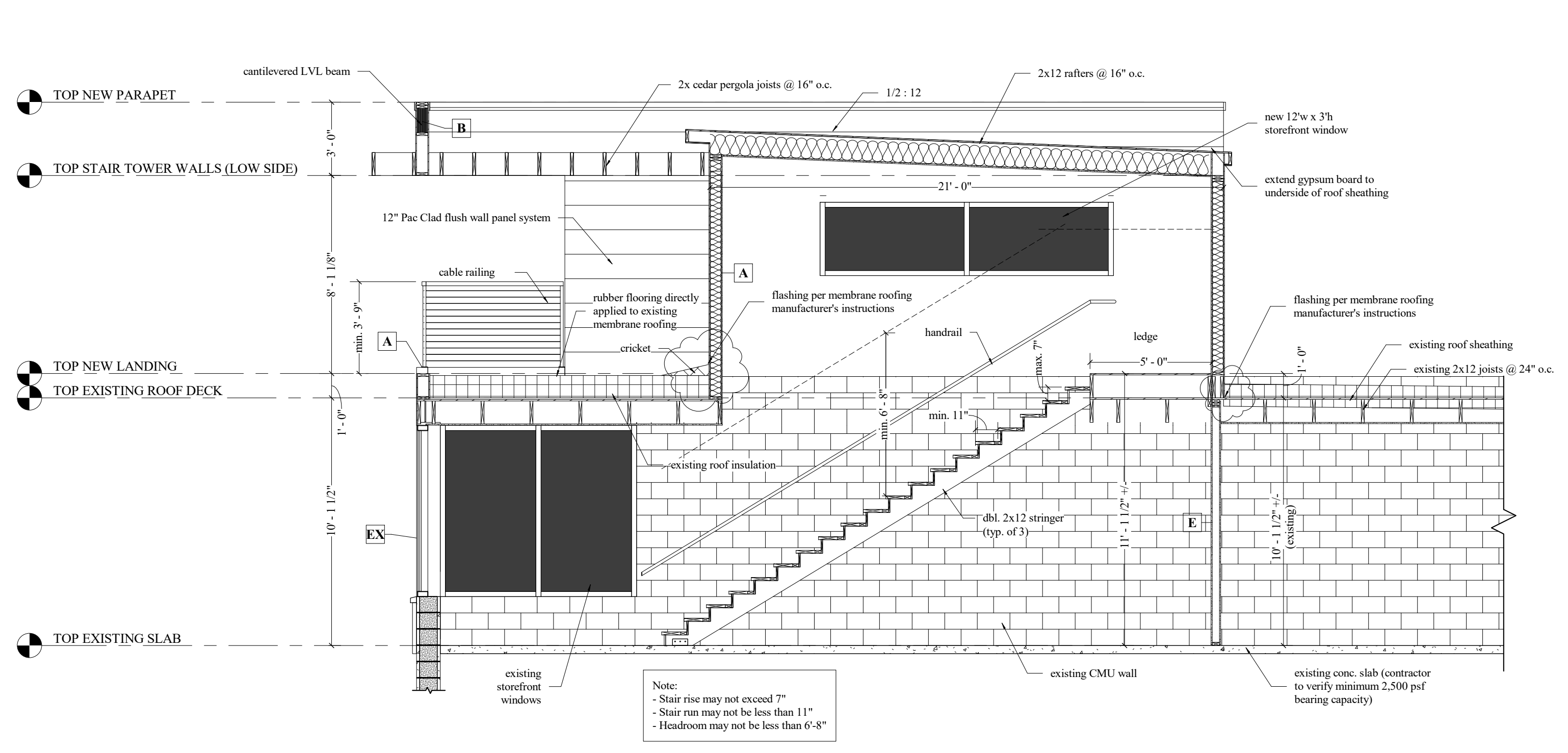
These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include: architectural building elements, building site, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to cover all documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN



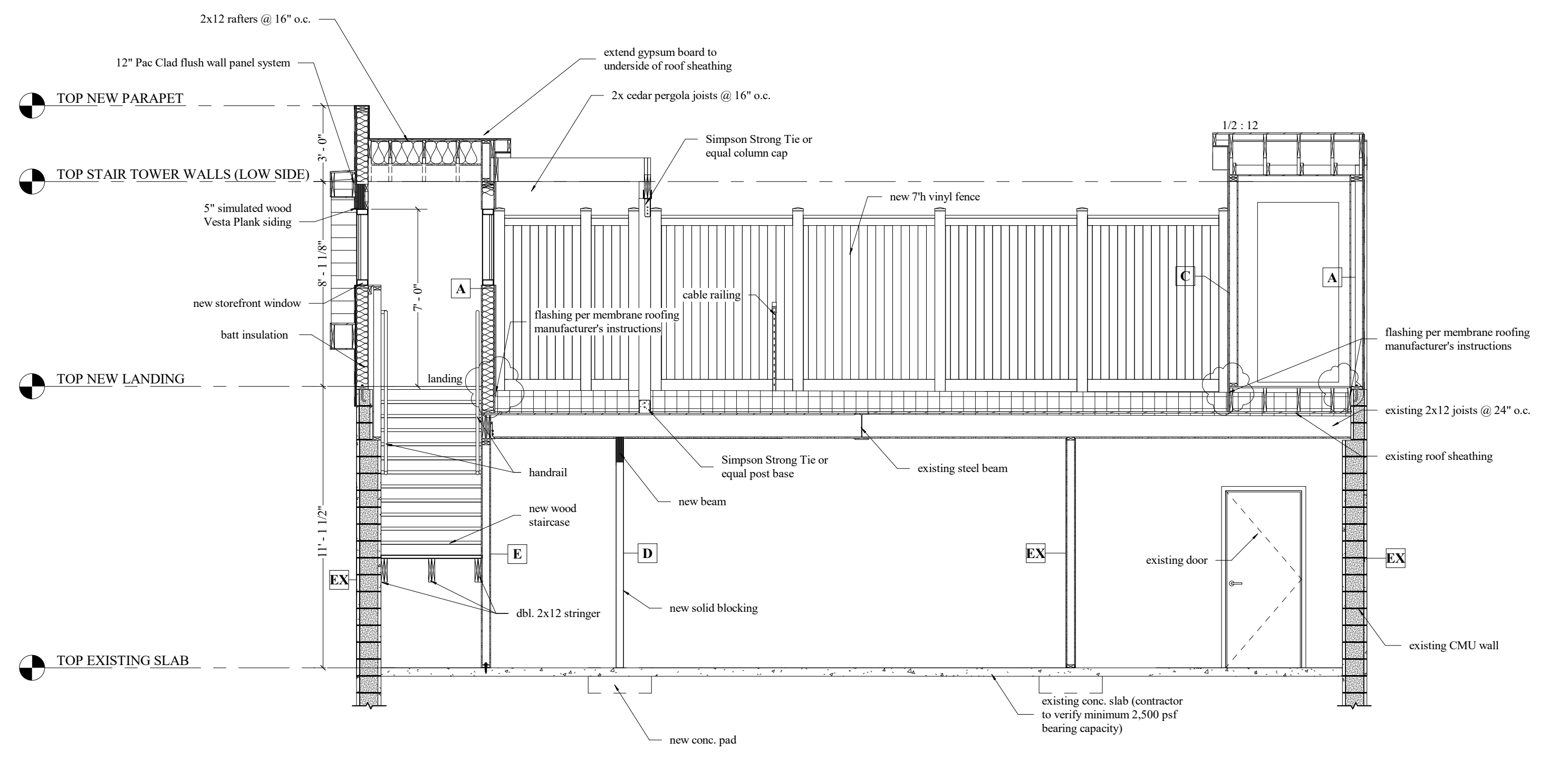
PHONE: 574-255-2422
FAX: 574-257-9286
108 ENGLEMAN WAY EAST
MISHAWAKA, IN 46544

FILE	DATE
2021-01044	12-13-2021
DRWN BY	CHECK BY
MDF	JFS



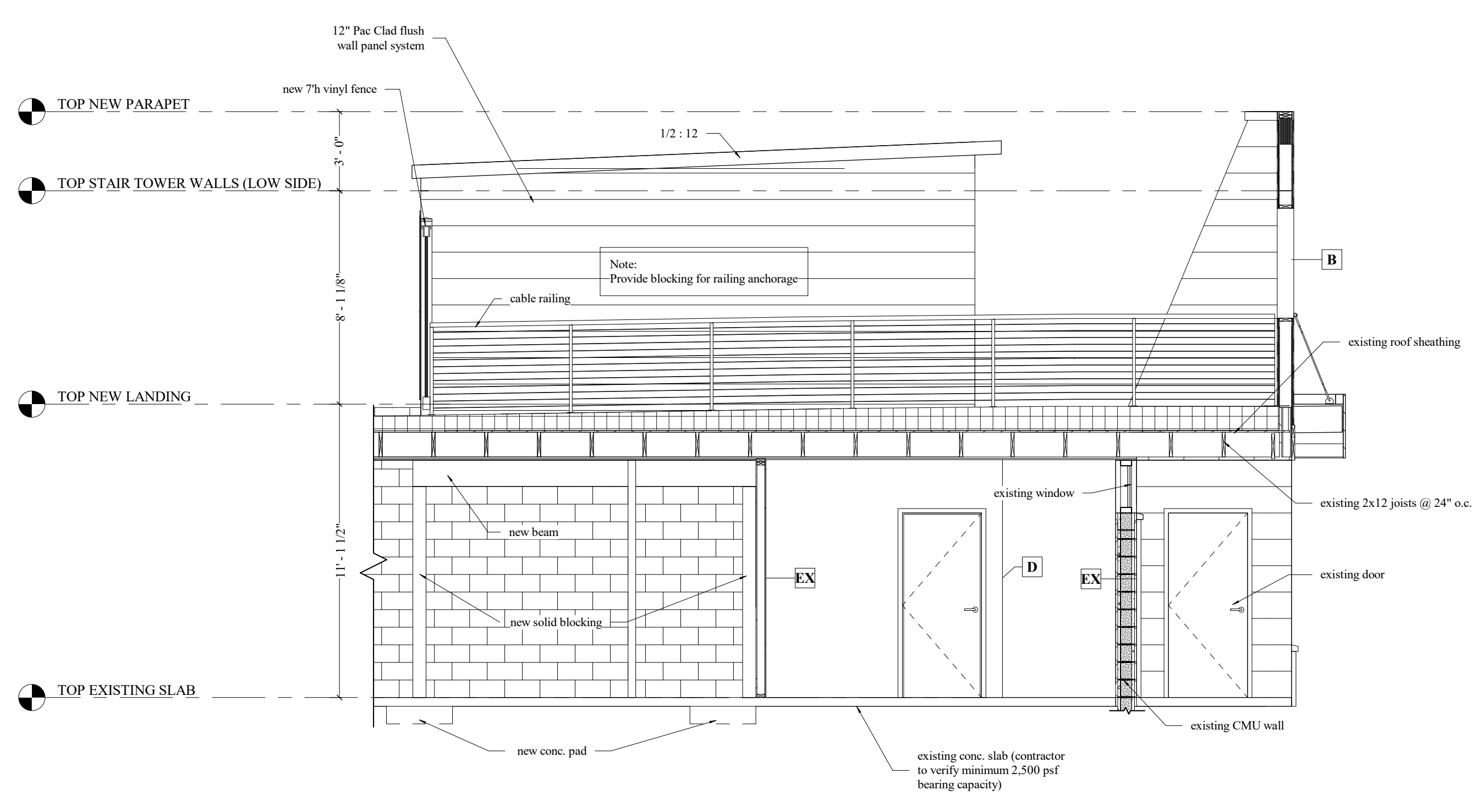
1 SECTION A
A3.0

1/4" = 1'-0"



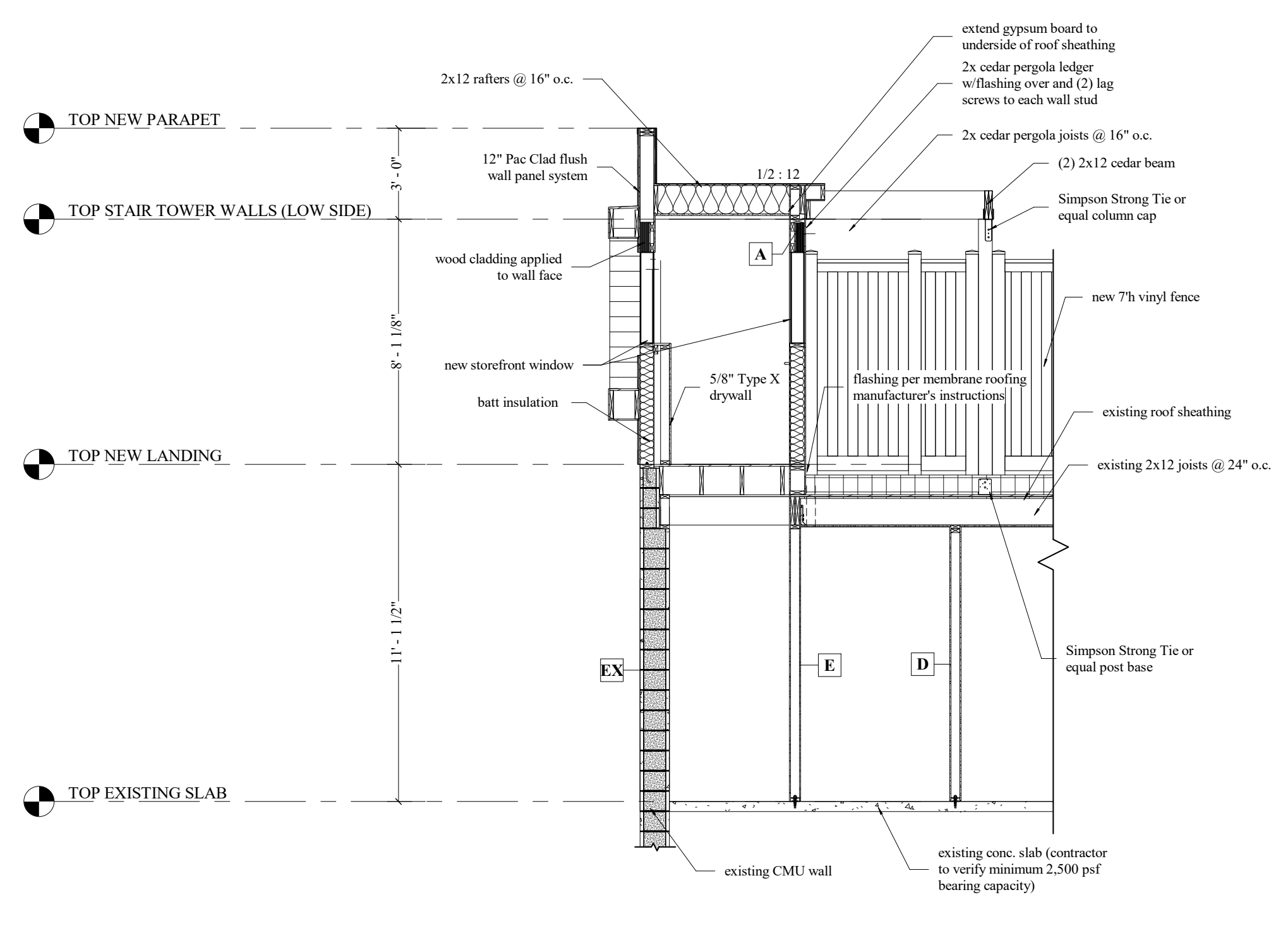
2 SECTION B
A3.0

1/4" = 1'-0"



3 SECTION C
A3.0

1/4" = 1'-0"



4 SECTION D
A3.0

1/4" = 1'-0"

S&G

SQUARE FOOTAGE:
Existing Building: 3,429
Rooftop Deck: 420
Storage: 110
Total: 3,959

12-13-2021
JOHN F. SPALDING
REGISTERED ARCHITECT
No. AR11600013

CROSS SECTIONS

A3.0

Documentation
These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include: architectural building elements, building site, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to cover all documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

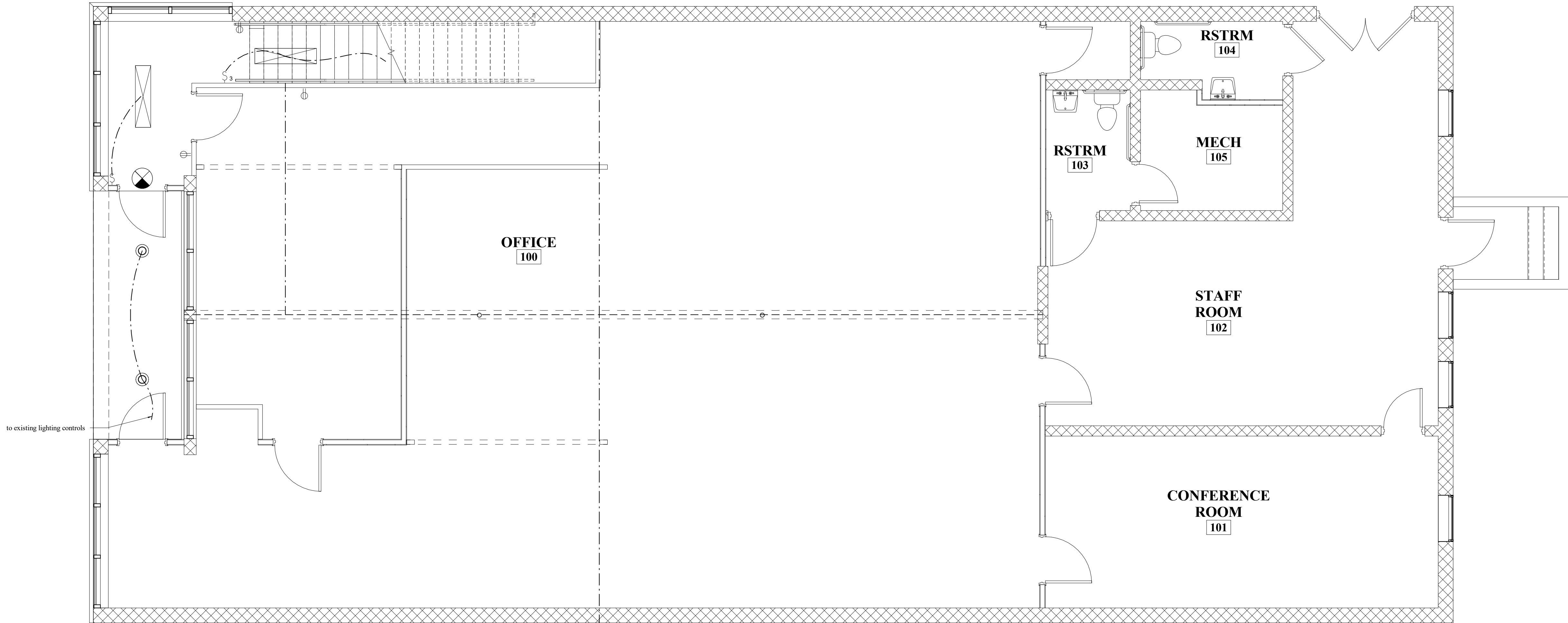
Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN

SPALDING DESIGN GROUP

PHONE: 574-255-2422
FAX: 574-257-9286
106 ENGLEWAY EAST
MISHAWAKA, IN 46544

FILE	DATE
2021-0104-4	12-13-2021
DRWN BY	CHECK BY
MDF	JFS

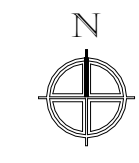
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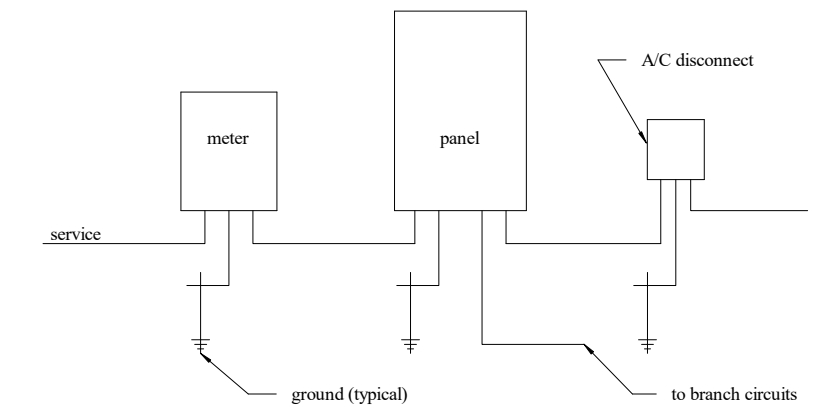
FIRST FLOOR ELECTRICAL PLAN

1
E1.0

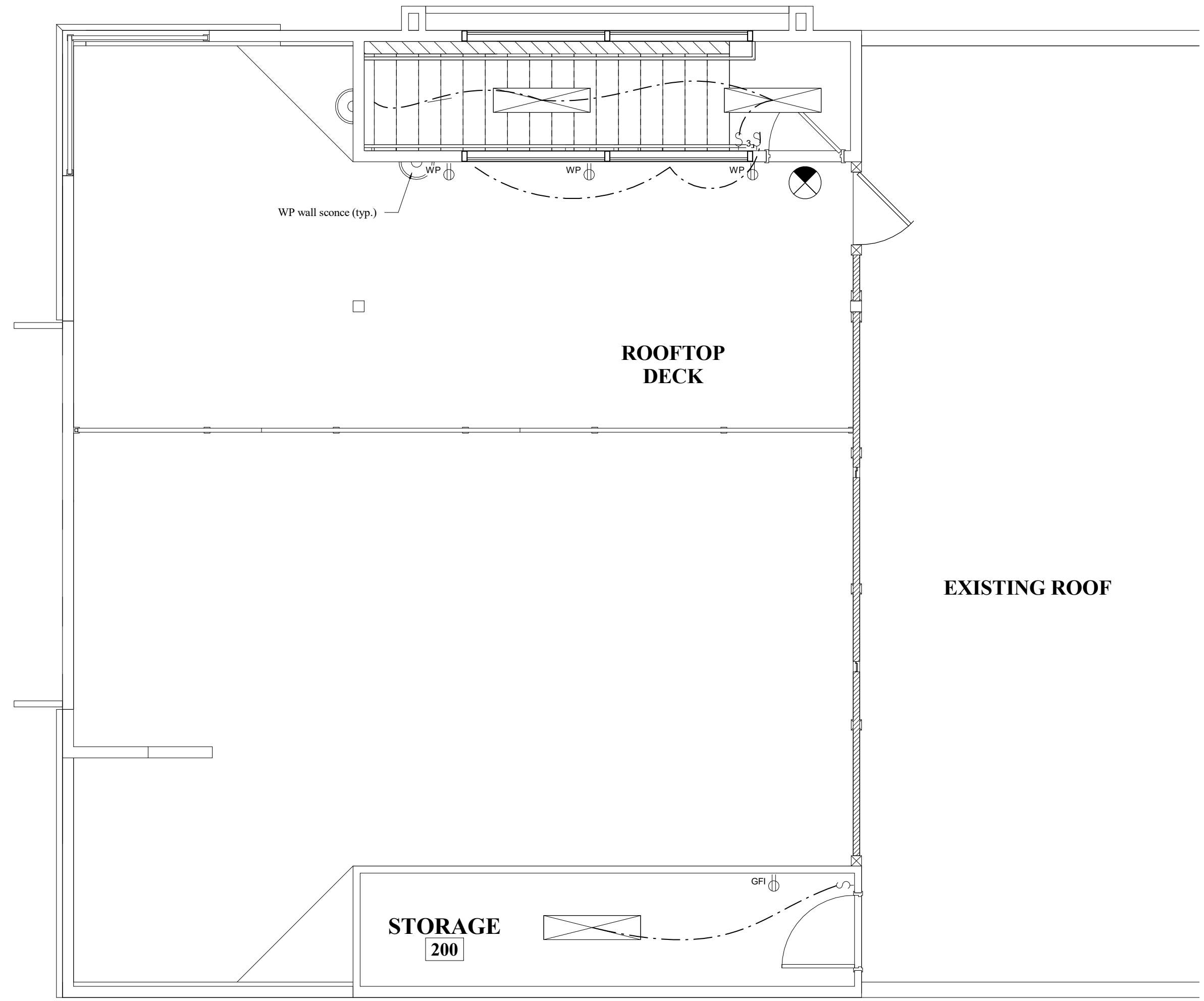
1/4" = 1'-0"



- ELECTRICAL NOTES**
1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES, APPLICABLE NFPA, AND CURRENT INDIANA ELECTRICAL CODE AMENDMENTS AS WELL AS ALL APPLICABLE LOCAL CODES AND ORDINANCES.
 2. ALL DISCONNECTS SHALL HAVE A GROUND BAR AND NEUTRAL BAR.
 3. COORDINATE ANY AND ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION SO AS TO AVOID CONFLICT DURING CONSTRUCTION.
 4. ALL PANELS TO HAVE TYPED COMPLETED DIRECTIONS INDICATING EQUIPMENT SERVED, ROOMS SERVED AND EQUIPMENT LOCATION OR SPARE SPACE. UPDATE DIRECTIONS AS PANELS ARE ALTERED.
 5. COORDINATE ALL DEVICES AND OUTLETS ABOVE, BELOW AND ABOUT CASEWORK WITH CASEWORK CONTRACTOR IN ORDER TO LOCATE AT PROPER LOCATION AND HEIGHT.
 6. VERIFY FINAL LOCATION FOR ROUGH-INS WITH FIELD MEASUREMENTS AND THE REQUIREMENTS OF THE ACTUAL EQUIPMENT TO BE CONNECTED.
 7. ALL ELECTRICAL ITEMS COVERED BY THIS SPECIFICATION SHALL BE U.L. LABELED AND LISTED FOR THEIR SPECIFIC USE.
 8. ELECTRICAL CONTRACTOR SHALL NOT CUT OR OTHERWISE ALTER ANY FRAMING MEMBERS WITHOUT WRITTEN PERMISSION.
 9. ALL PENETRATIONS THROUGH FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRE-STOPPED AS REQUIRED BY STATE AND LOCAL ORDINANCES.
 10. PROVIDE ACCESS PANELS WHERE APPLICABLE TO ALLOW FOR MAINTENANCE AND SERVICING OF EQUIPMENT.
 11. BRANCH CIRCUIT WIRING SHALL BE SIZED IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
 12. ELECTRICAL SYSTEMS SHALL BE GROUNDED IN COMPLIANCE WITH CURRENT ELECTRICAL CODE.
 13. MATERIALS AND FIXTURES SHALL BE APPROVED AND LISTED FOR THEIR INTENDED USE.
 14. MATERIAL AND FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 15. ACTUAL ELECTRICAL SYSTEM SHALL BE VERIFIED WITH ACTUAL SITE CONDITIONS AND SHALL COMPLY WITH ALL CURRENT ELECTRICAL CODES.
 16. ALL EXTERIOR OUTLETS TO BE GFCI PROTECTED.
 17. ALL UNDERGROUND WIRING CONDUIT SHALL BE THWN RATED WITH A MINIMUM 300V INSULATION.



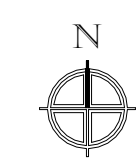
ELECTRICAL RISER DIAGRAM
no scale



ROOFTOP DECK ELECTRICAL PLAN

2
E1.0

1/4" = 1'-0"



ELECTRICAL LEGEND

- 120V quad receptacle
- 120V duplex receptacle
- ground fault circuit interrupt protected receptacle
- waterproof receptacle
- floor/celling receptacle
- 240V receptacle
- television receptacle
- television receptacle
- data receptacle
- single pole switch
- 3-way switch
- electrical panel
- wall sconce
- wall mounted fixture
- ceiling mounted fixture
- wall mounted floodlight
- track light
- recessed fixture
- in-in fixture
- ceiling fan
- electric motor
- exhaust fan/light combination
- exhaust fan
- heated exhaust fan/light combination
- smoke detector
- exit/emergency fixture w/light hand wired w/battery backup
- emergency light fixture hand wired w/battery backup
- remote emergency head
- emergency light
- door chime
- security camera
- intercom
- high bay fixture
- data patch panel
- LED strip light
- waterproof LED strip light
- LED strip night light
- LED strip night light
- LED wall pack



SQUARE FOOTAGE	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



ELECTRICAL PLANS

E1.0

Documentation

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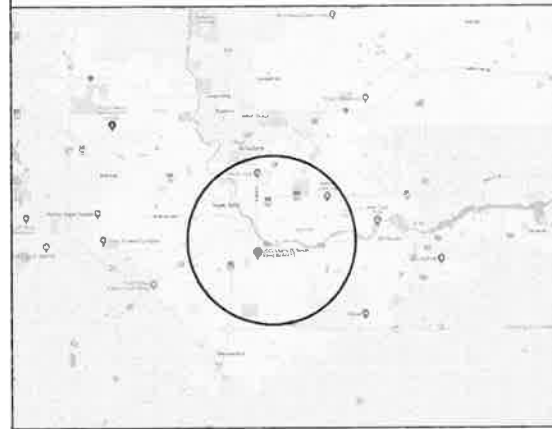
Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN



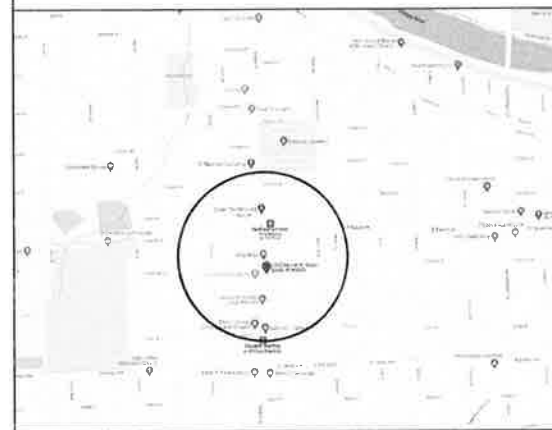
PHONE: 574-255-2422
FAX: 574-257-9286
106 ENGLEMAN WAY EAST
MISHAWAKA, IN 46544

FILE	DATE
2021-0104-4	12-13-2021
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MDF	JFS

Vicinity



Location



Index of Plans

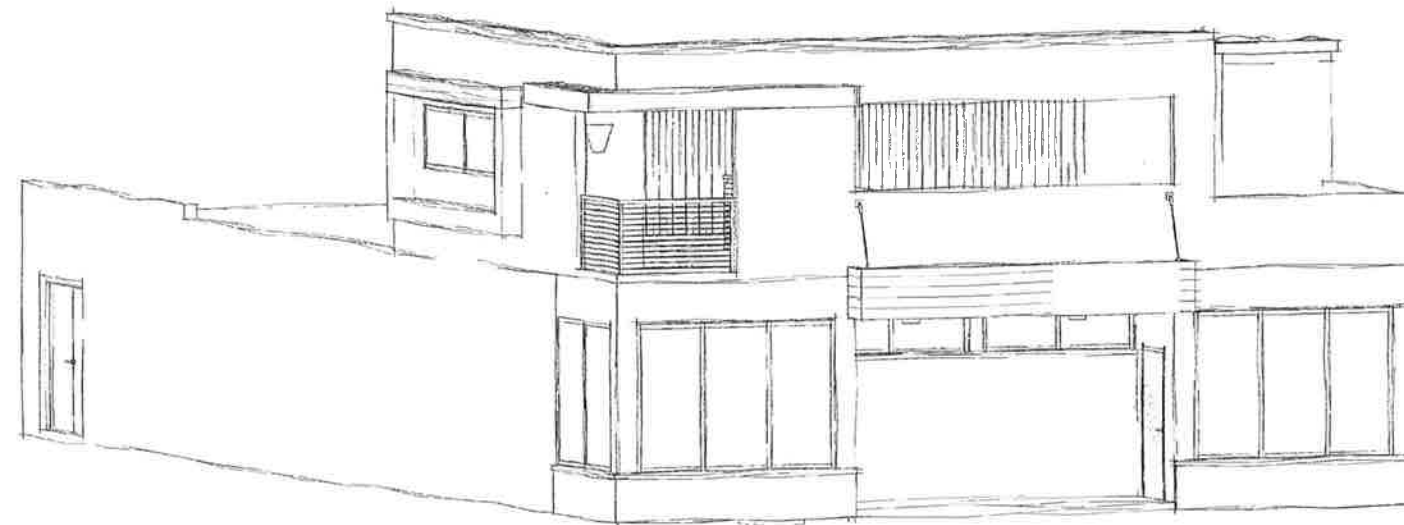
General	
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Life Safety	
Life Safety Plans.....	SP1.0
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As-Built Floor Plan.....	AB1.0
As-Built Roof Plan.....	AB1.1
As-Built Elevations.....	AB2.0
Demolition	
Demolition Plan.....	AD1.0
Structural	
Pergola & Roof Framing Plans.....	S1.0
Architectural	
First Floor Plan.....	A1.0
Rooftop Deck Plan.....	A1.1
Roof Plan.....	A1.2
North & South Elevations.....	A2.0
East & West Elevations.....	A2.1
Cross Sections.....	A3.0
Electrical	
Electrical Plans.....	E1.0

COMMERCIAL REMODEL

-for-

H&A Properties

2002 Miami Street,
South Bend, IN 46613



SQUARE FOOTAGE	
Existing Building:	3,429
Rooftop Deck:	420
Storage:	110
Total:	3,959



COVER PAGE

INDEX

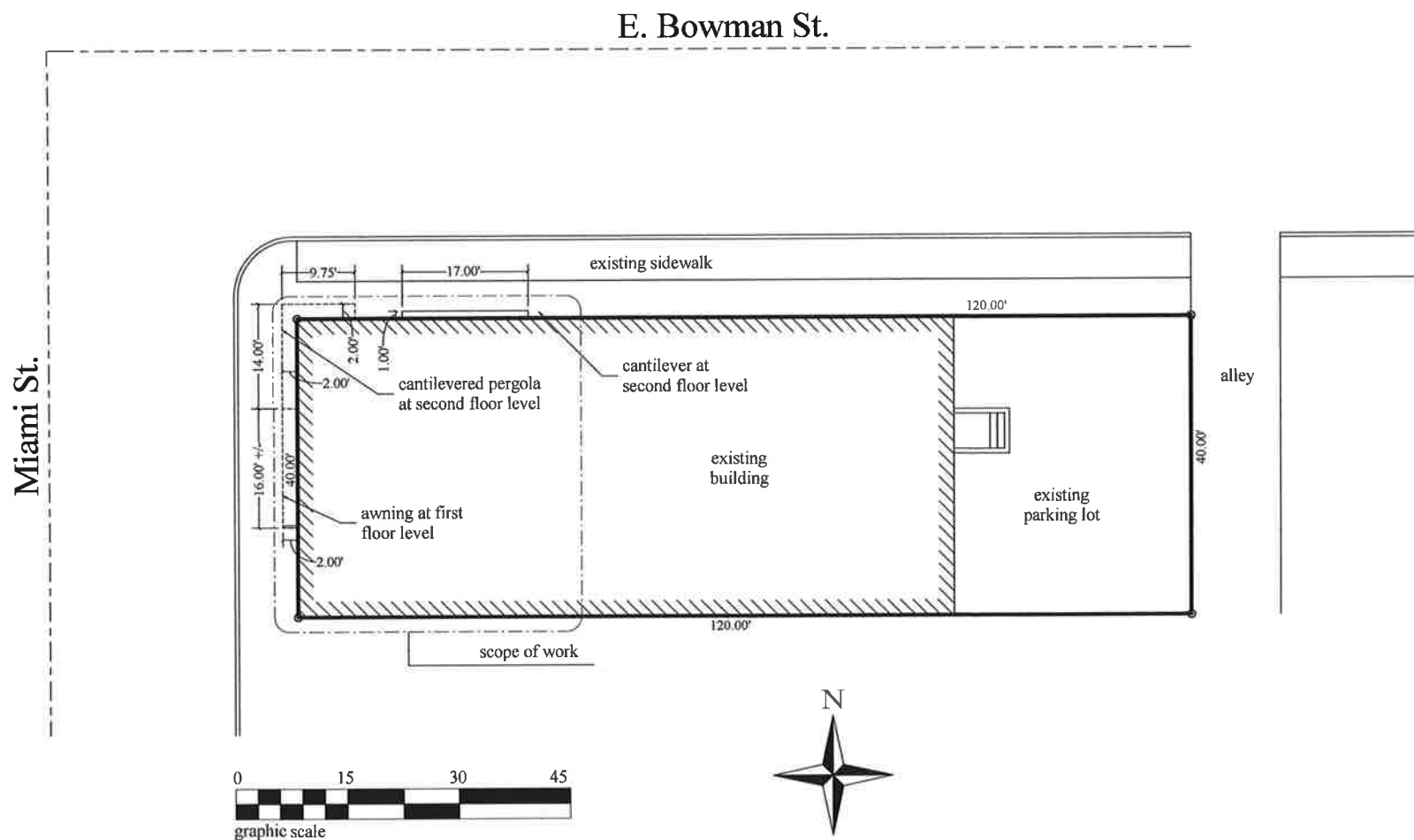
Documentation
These architectural drawings are for the general scope of work to be performed in terms of design intent. The scope of these drawings include: structural framing elements, building w/e, building elevation, mechanical, electrical, and plumbing systems. These drawings are not intended to serve as documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN



PHONE: 317-251-2122
FAX: 317-251-2096
100 BUCKLEY WAY EAST
MISHAWAKA, IN 46514

FILE	DATE
20240104	12-18-2023
DRWN: JY	CHK: KBY
MRP	JIS



SITE PLAN

1" = 10'-0"

E. Bowman St.

Miami St.

alley

SQUARE FOOTAGE Existing Building: 3,439 Roof/Deck: 420 Storage: 110 Total: 3,959	
SITE PLAN	
SP1.0	
Documentation <small>These architectural drawings are for the general scope of work to be performed in terms of design concepts. The scope of these drawings include architectural building elements, building size, building structure, mechanical, electrical and plumbing systems. These drawings are not intended to serve all disciplines necessary to perform the work. Additional trade contracts, submittals, and approvals shall provide all required documentation for the purpose of completing the work.</small>	
Plan For: H&A Properties Location: 2002 Miami St., South Bend, IN	
<small>PHONE: 574.255.2122 FAX: 574.287.6286 109 LINCOLN WAY EAST MISHAWAKA, IN 46544</small>	
<small>FILE</small> 2014-0394#	<small>DATE</small> 10-19-2011
<small>DRAWN BY</small> CEB/MB	<small>CHECKED BY</small> JFS
<small>MDP</small>	<small>JFS</small>

SQUARE FOOTAGE

Existing	3,429
Roof Top Deck	420
Storage	110
Total:	3,959

REGISTERED ARCHITECT
No. AR11600013
DAN F. SPALDING

LIFE SAFETY PLANS

LS1.0

Documentation
These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include structural building elements, building area, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to cover all administrative necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

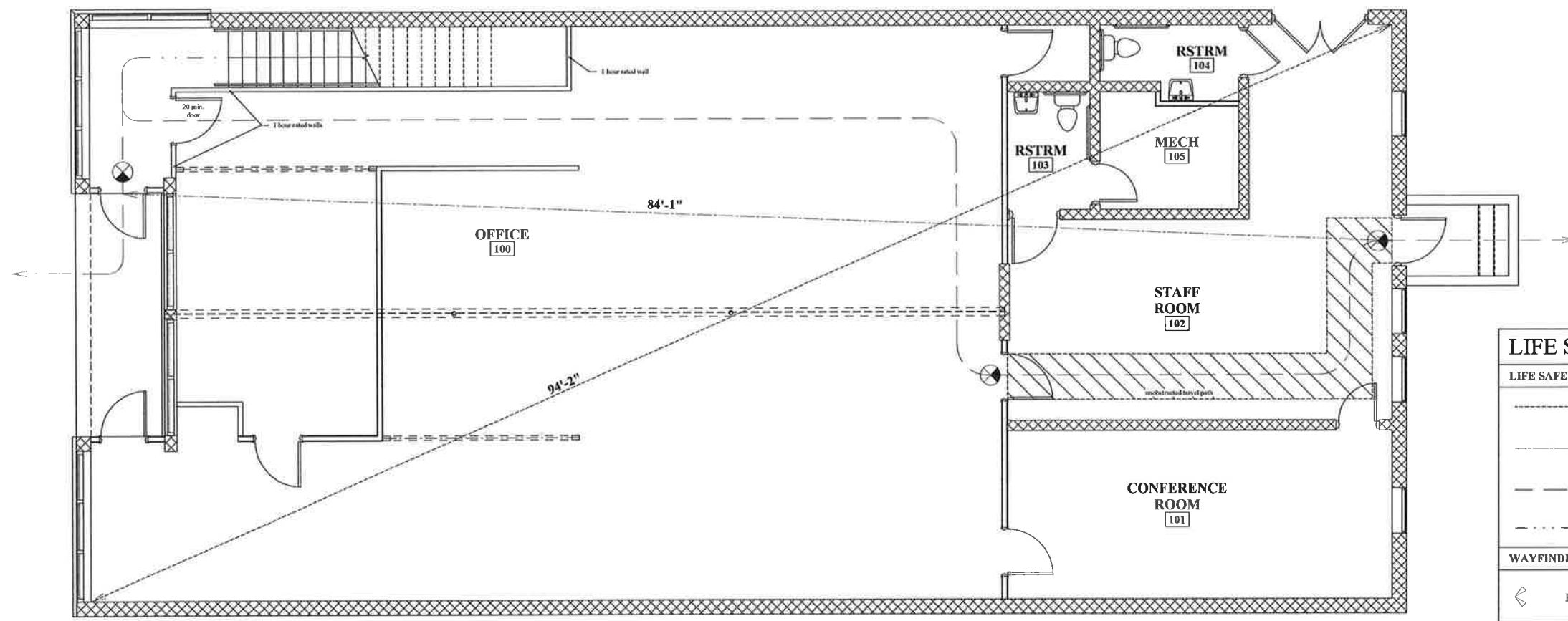
Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN

SPALDING DESIGN GROUP

PHONE: 574-255-2122
FAX: 574-257-0566
106 LINCOLN WAY EAST
MISHAWAKA, IN 46541

FILE	DATE
2021-09-14	12-13-2021
DRAWN BY	CTK/BV
MDP	JPS

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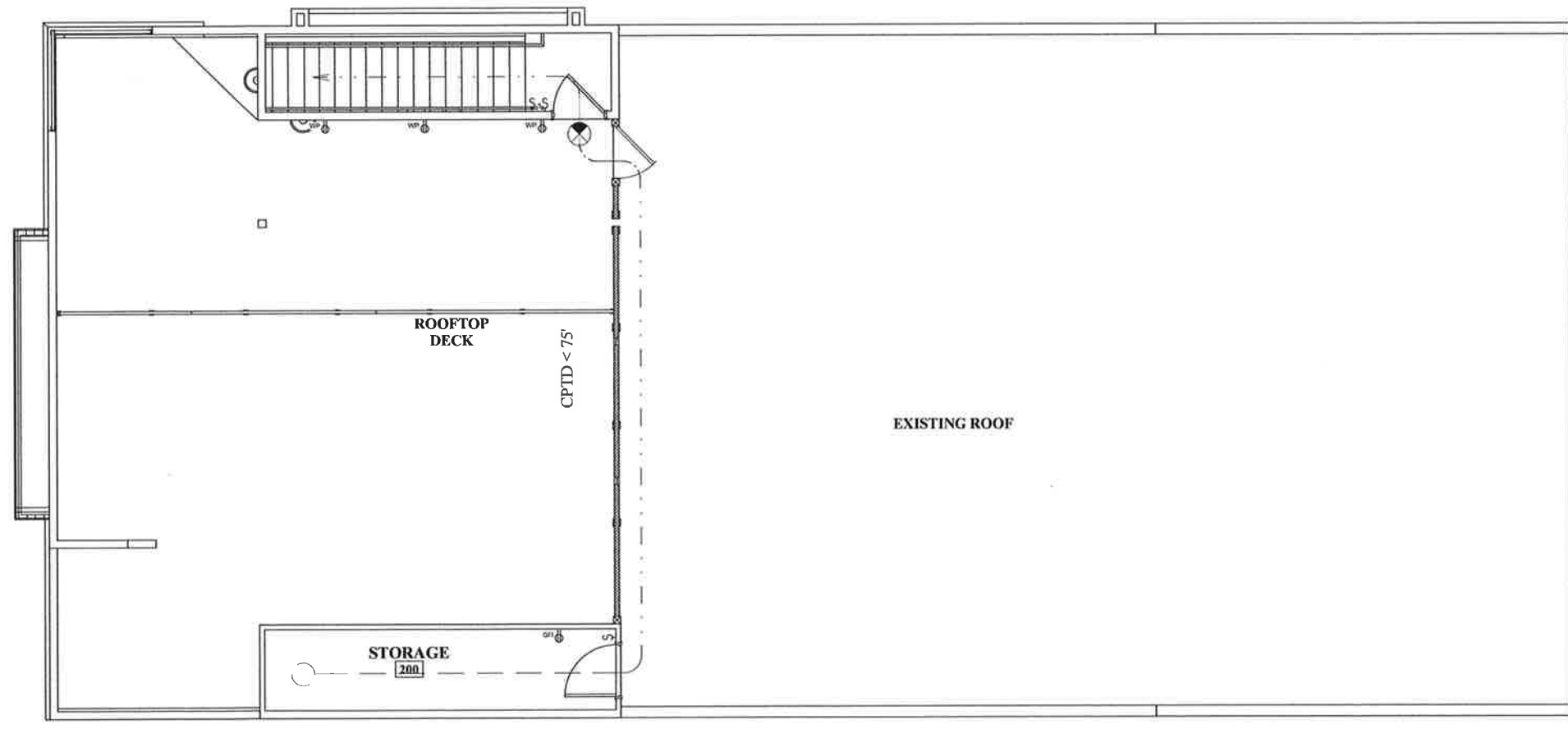


FIRST FLOOR LIFE SAFETY PLAN

1/4" = 1'-0"

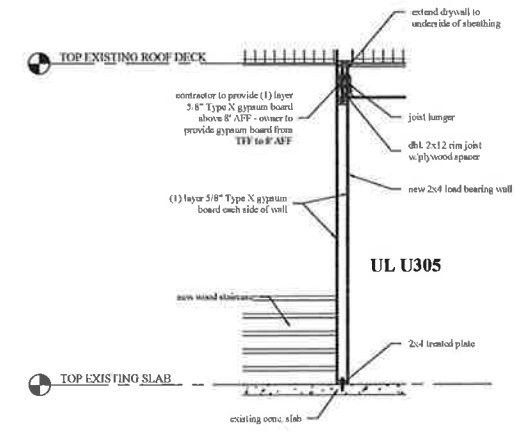


LIFE SAFETY LEGEND	
LIFE SAFETY SYMBOLS	
	DIAGONAL DIMENSION OF SPACE
	DISTANCE BETWEEN EXITS
	EXIT ACCESS TRAVEL DISTANCE
	COMMON PATH TRAVEL DISTANCE
WAYFINDING DEVICES	
	EMERGENCY LIGHT
	REMOTE EMERGENCY HEAD
	EXIT/EMERGENCY LIGHT
	FIRE EXTINGUISHER I-A:10-B-C



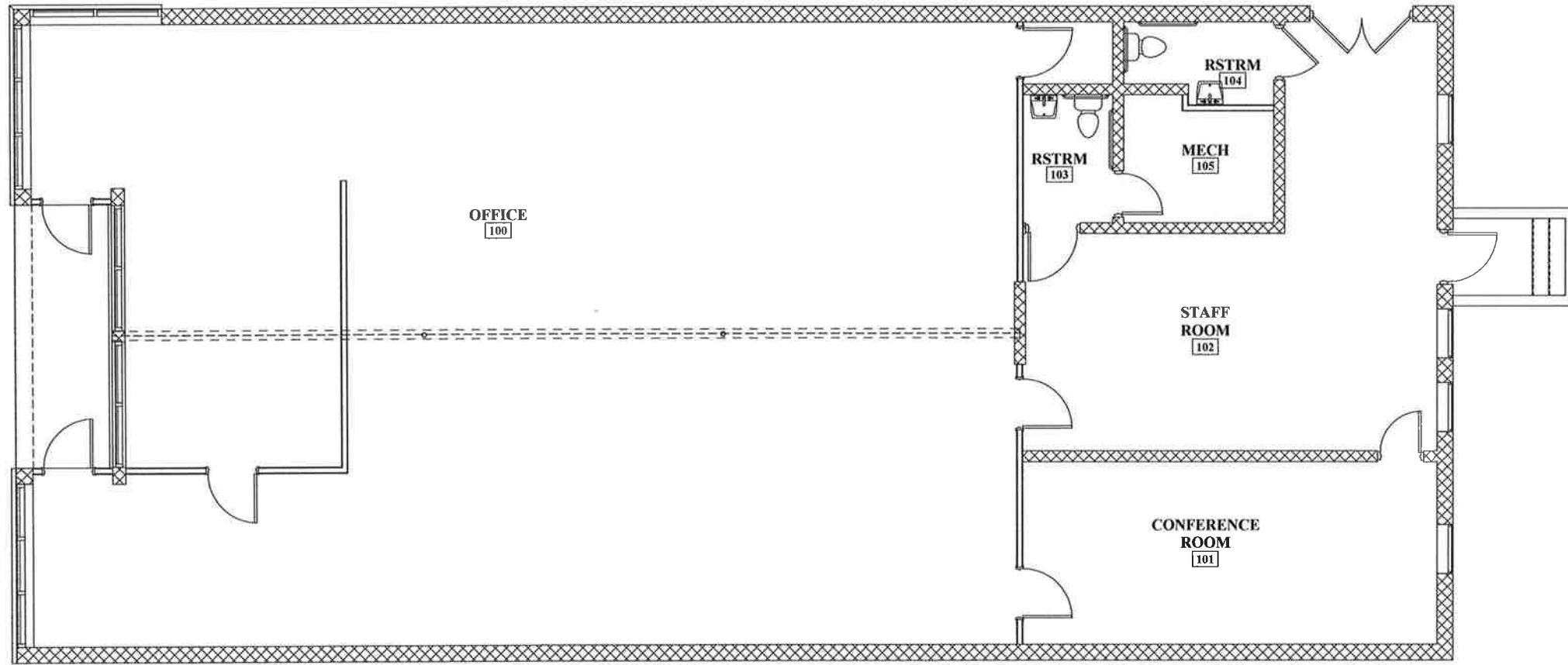
ROOFTOP DECK LIFE SAFETY PLAN

1/4" = 1'-0"



1 HOUR WALL DETAIL

LS1.0



AS-BUILT FLOOR PLAN

1/4" = 1'-0"



SQUARE FOOTAGE

Existing	3,429
Roof/Deck	420
Storage	110
Total	3,959



AS BUILT FLOOR PLAN

AB1.0

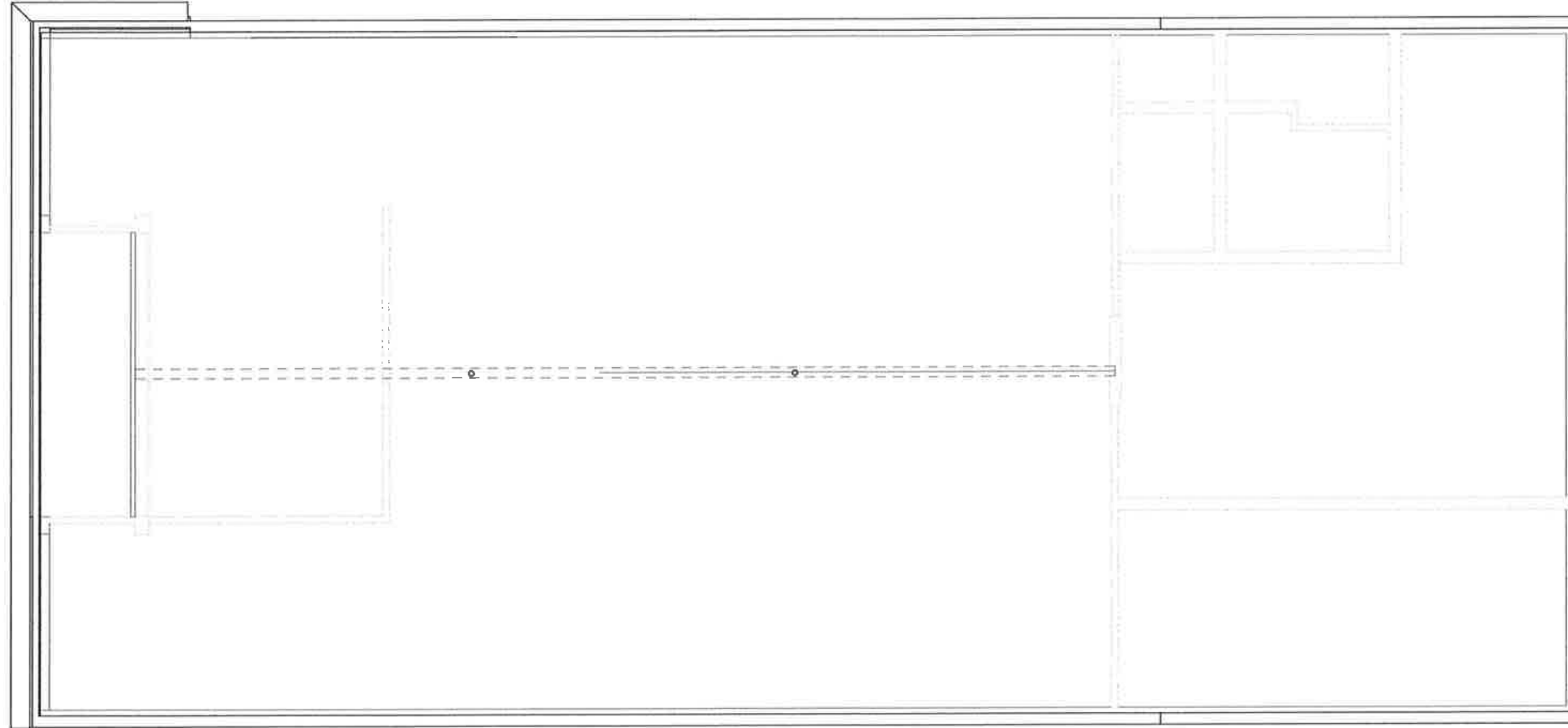
Documentation
 These architectural drawings are for the general scope of work to be performed herein of design concept. The scope of design concept includes architectural building elements, building systems, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to serve as documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
 Location: 2002 Miami St., South Bend, IN



PHONE: 574-255-2122
 FAX: 574-255-4858
 100 LINCOLN WAY EAST
 MISHAWAKA, IN 46541

FILE	DATE
2024-08-04	12-28-2023
DRWN BY	SK/CS/BJ
MRP	JFD



AS-BUILT ROOF PLAN

1/4" = 1'-0"



SQUARE FOOTAGE

Existing	
Building:	3,429
Roof/Deck:	420
Storage:	110
Total:	3,959



AS-BUILT ROOF PLAN

AB1.1

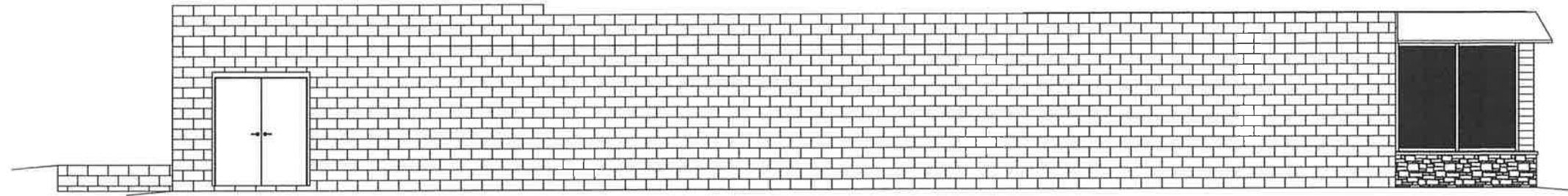
Documentation
 These architectural drawings are for the general scope of work to be performed in terms of design concepts. The scope of these drawings include architectural building elements, building use, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to serve as documentation to perform the work. Included in this document, submittals, and systems will provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
 Location: 2002 Miami St., South Bend, IN



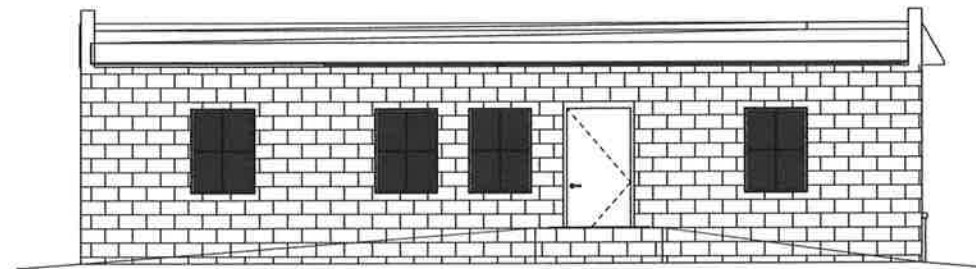
PROJECT: 174-255-2122
 POC: 574-237-6286
 100 LONCLAW AVENUE EAST
 MISHAWAKA, IN 46544

FILE	DATE
2021-0104v4	12-13-2021
DRAWN BY	CHECK BY
MDP	JPS



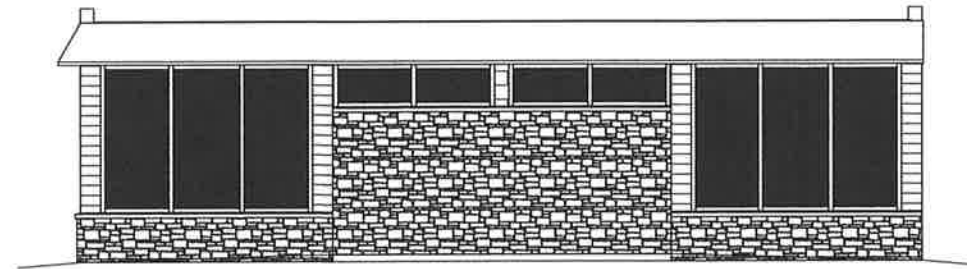
1
AB2.0 AS-BUILT NORTH ELEVATION

1/4" = 1'-0"



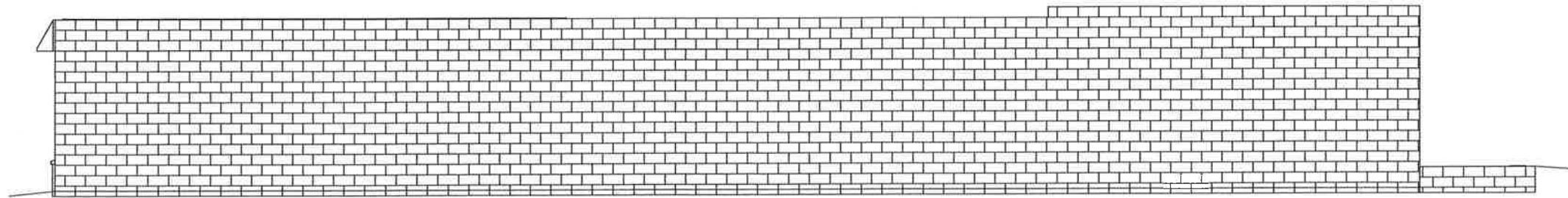
3
AB2.0 AS-BUILT EAST ELEVATION

1/4" = 1'-0"



4
AB2.0 AS-BUILT WEST ELEVATION

1/4" = 1'-0"



2
AB2.0 AS-BUILT SOUTH ELEVATION

1/4" = 1'-0"



SQUARE FOOTAGE:
Existing Building: 3,429
Roof/Deck: 420
Storage: 110
Total: 3,959



AS-BUILT
ELEVATIONS

AB2.0

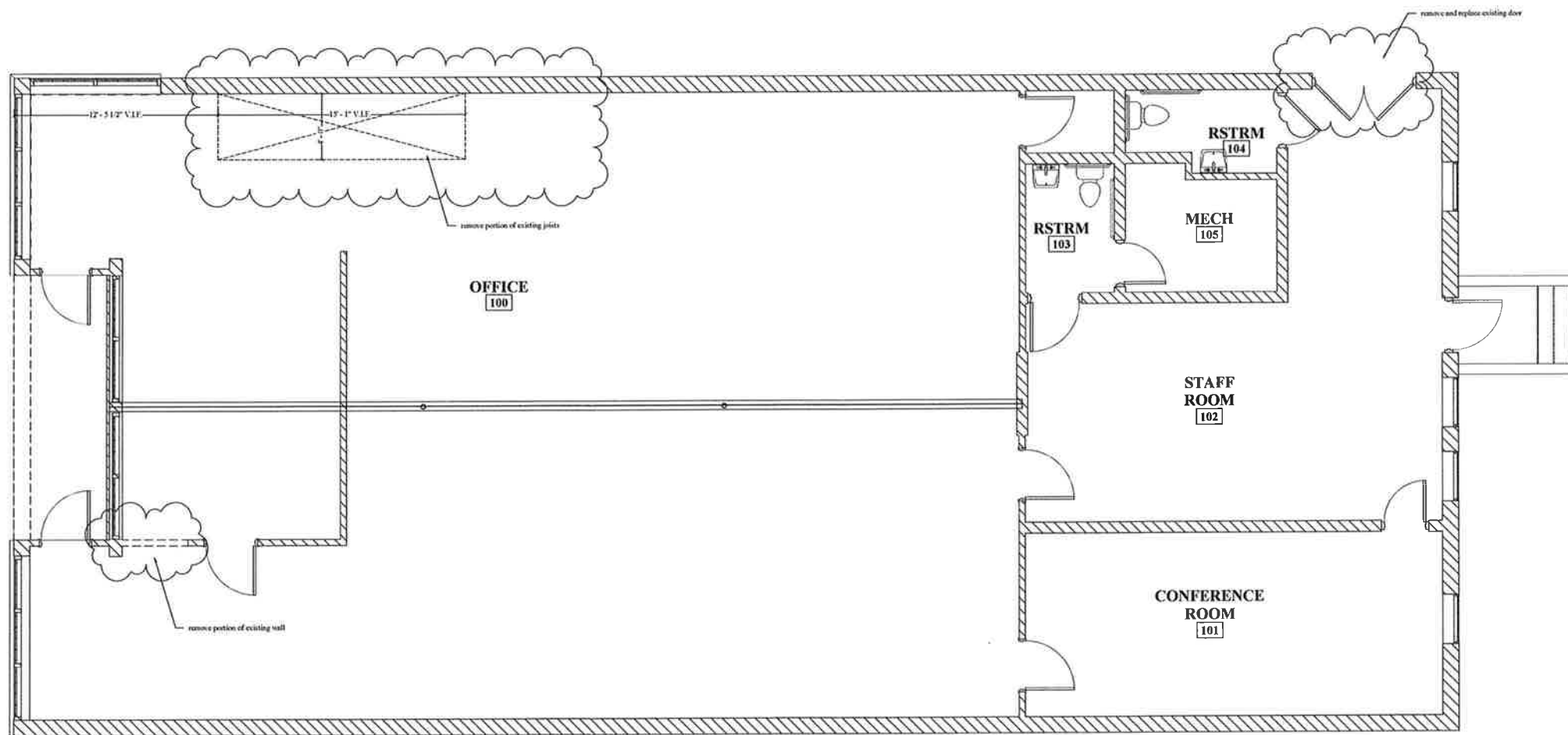
Documentation
These architectural drawings are for the general scope of work to be performed in terms of design concepts. The scope of these drawings include architectural building elements, including site, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to cover all documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN



PHONE: 574-219-2122
FAX: 574-219-2686
100 LINCOLN WAY EAST
MIDDELVILLE, IN 46514

FILE	DATE
2021-0104-4	12-03-2019
DRWN BY	CHKD BY
MDP	JTB



DEMOLITION PLAN

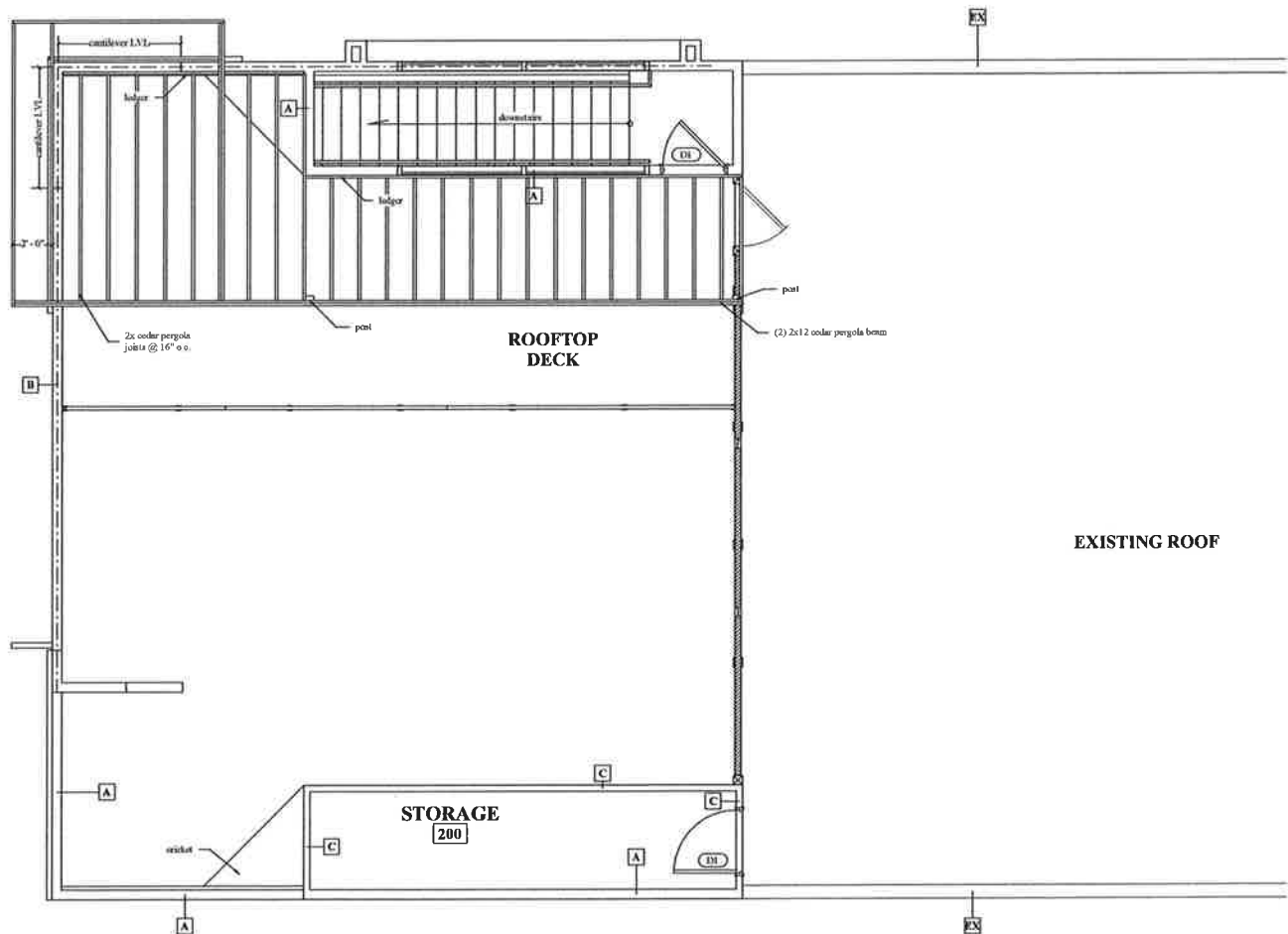


1/4" = 1'-0"

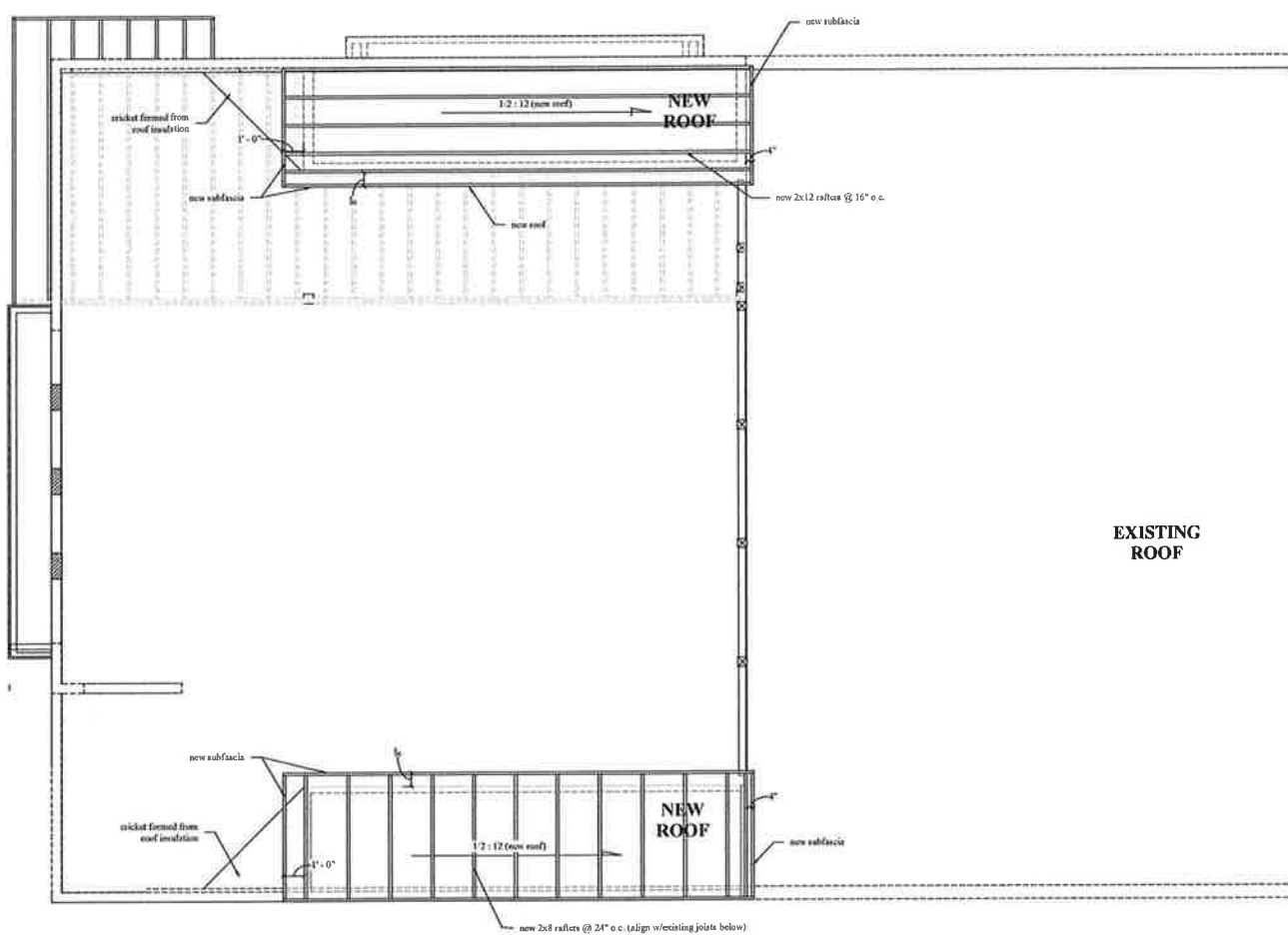


- GENERAL DEMOLITION NOTES**
- Contractor for all work shall inspect and verify all conditions prior to the commencement of demolition activities. This shall include inspecting for demolition activities.
 - Demolition shall be done in a sequence that prevents water damage from occurring during construction. All material removal shall be done in a workman-like fashion.
 - Contractor shall review all documents related to the construction to ensure items to be saved and noted.
 - Utility services shall remain active during the CONSTRUCTION duration. These services need to be interrupted, the contractor shall give the owner 48 hours notice.
 - All efforts shall be made to minimize dust and debris from affecting adjacent properties.
 - Shoring and bracing for the removal of supporting structural elements is the sole responsibility of the general contractor.

SQUARE FOOTAGE Existing: 3,429 Building: 400 Storage: 110 Total: 3,959	
DEMOLITION PLAN	
AD1.0	
Documentation These architectural drawings are for the general scope of work to be performed in terms of design concepts. The scope of these drawings include architectural building elements, building area, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to control all construction necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.	
Plan For: F&A Properties Location: 2002 Miami St., South Bend, IN	
PHONE: 574.235.2472 FAX: 574.237.6166 196 LINCOLN WAY EAST MISHAWAKA, IN 46541	
FILE	DATE
2021-09-08	12-13-2021
DRAWN BY	CHECK BY
MDP	JFS



1
S1.0
PERGOLA FRAMING PLAN
1/4" = 1'-0"
N



2
S1.0
ROOF FRAMING PLAN
1/4" = 1'-0"
N

SQUARE FOOTAGE Existing: 3,429 Building: 420 Storage: 110 Total: 3,959																	
PERGOLA & ROOF FRAMING PLANS																	
\$1.0																	
Documentation <small>These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include additional building elements, building size, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to serve as documentation necessary to perform the work. Individual trades contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.</small>																	
Plan For: P&A Properties Location: 2002 Miami St., South Bend, IN																	
<small>PHONE: 514-255-2422 FAX: 514-251-9286 100 EDGEMOUNT WAY EAST MIDDLEBOROUGH, ON N4S 1A1</small>																	
<table border="1"> <tr> <th>DATE</th> <th>BY</th> </tr> <tr> <td>2023-08-14</td> <td>12/19/2023</td> </tr> <tr> <td>DRWN BY</td> <td>CHKD BY</td> </tr> <tr> <td>MDP</td> <td>JFJ</td> </tr> </table>	DATE	BY	2023-08-14	12/19/2023	DRWN BY	CHKD BY	MDP	JFJ	<table border="1"> <tr> <th>DATE</th> <th>BY</th> </tr> <tr> <td>2023-08-14</td> <td>12/19/2023</td> </tr> <tr> <td>DRWN BY</td> <td>CHKD BY</td> </tr> <tr> <td>MDP</td> <td>JFJ</td> </tr> </table>	DATE	BY	2023-08-14	12/19/2023	DRWN BY	CHKD BY	MDP	JFJ
DATE	BY																
2023-08-14	12/19/2023																
DRWN BY	CHKD BY																
MDP	JFJ																
DATE	BY																
2023-08-14	12/19/2023																
DRWN BY	CHKD BY																
MDP	JFJ																
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SPALDING DESIGN GROUP

REGISTERED ARCHITECT

No. AR11600013

FIRST FLOOR PLAN

A1.0

Documentation

These architectural drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings include architectural building elements, building systems, mechanical, electrical, and plumbing systems. These drawings are not intended to serve as documentation necessary to perform the work. It is the responsibility of the contractor, subcontractors, and suppliers to provide all required documentation for the purpose of completing the work.

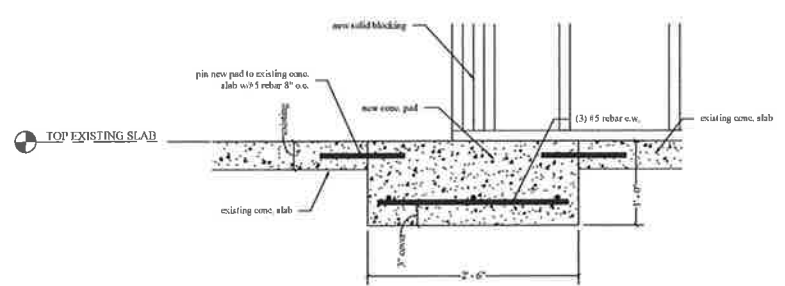
Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN

SPALDING DESIGN GROUP

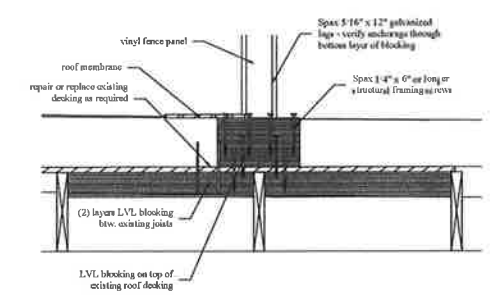
PROJECT: 2022-0014
DATE: 03-18-2022
DRAWN BY: [Signature]
CHECK BY: [Signature]

FILE	DATE
2022-0014	03-18-2022
DRAWN BY	CHECK BY
MEP	JFB

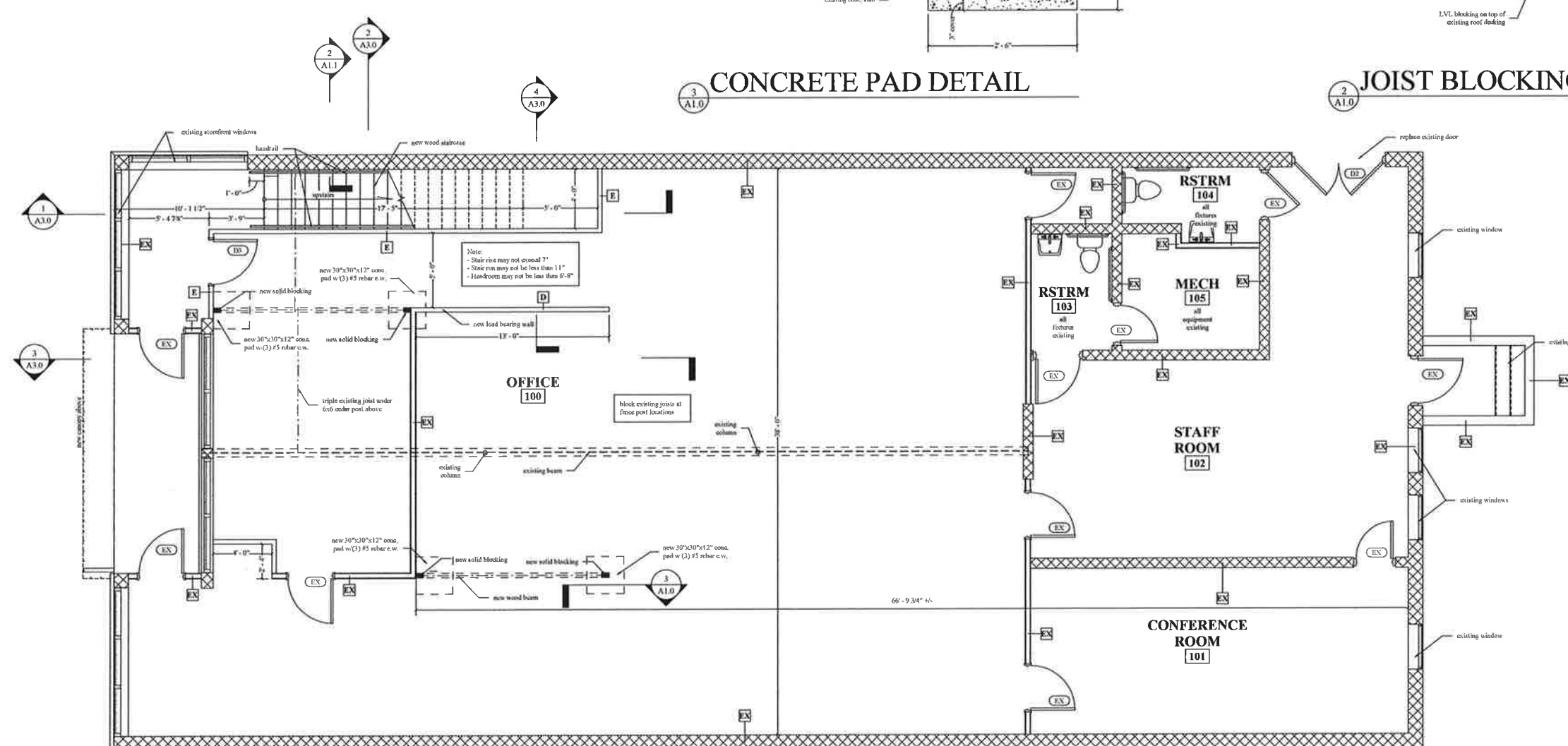
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CONCRETE PAD DETAIL



JOIST BLOCKING DETAIL



FIRST FLOOR PLAN

A1.0

1/4" = 1'-0"



WALL SCHEDULE

Label	Description	Construction	Remarks
A	2x6 exterior wall	2x6 studs @ 16" oc. w/ (2) 2x6 top plate and (1) 2x6 bottom plate (treated at concrete contact) w/ 7/16" ZIP sheathing at exterior side and (1) layer 5/8" Type X gypsum board at interior side and R-19 batt insulation in wall cavity.	
B	2x6 exterior wall	2x6 studs @ 16" oc. w/ (2) 2x6 top plate and (1) 2x6 bottom plate (treated at concrete contact) w/ 7/16" ZIP sheathing at exterior side and (1) layer 5/8" Type X gypsum board at interior side and R-19 batt insulation in wall cavity.	
C	2x4 exterior wall	2x4 studs @ 16" oc. w/ (2) 2x4 top plate and (1) 2x6 bottom plate w/ 7/16" ZIP sheathing at each side of wall	
D	2x4 interior wall	2x4 studs @ 16" oc. w/ 2x4 top plate and (1) 2x4 bottom plate (treated at concrete contact) w/ 1/2" gypsum board each side of wall	Cypsum board by owner
E	2x4 1-hour rated wall	2x4 studs @ 16" oc. w/ 2x4 top plate and (1) 2x4 bottom plate (treated at concrete contact) w/ 5/8" Type X gypsum board each side of wall extending to outside of roof sheathing.	Cypsum board by owner
EX	Existing wall	Existing	

DOOR SCHEDULE

Type/Mark	Width	Height	Operation	Door Material	Frame Material	Fire Rating	Remarks
D1	7'-0"	7'-0"	Swing	Steel	HM	NA	
D2	6'-0"	7'-0"	Pair swing	Steel	HM	NA	Verify existing masonry opening
D3	7'-0"	7'-0"	Swing	Steel	HM	20 Min.	
EX	Various	7'-0"	Swing	Existing	Existing	NA	Existing door

SQUARE FOOTAGE	
Existing Building:	3,429
Roof/Deck:	420
Storage:	110
Total:	3,959



ROOFTOP DECK PLAN

A1.1

Documentation
 These architectural drawings are for the general scope of work to be performed in terms of design intent. The scope of these drawings include architectural building elements, building site, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to serve as a construction document necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

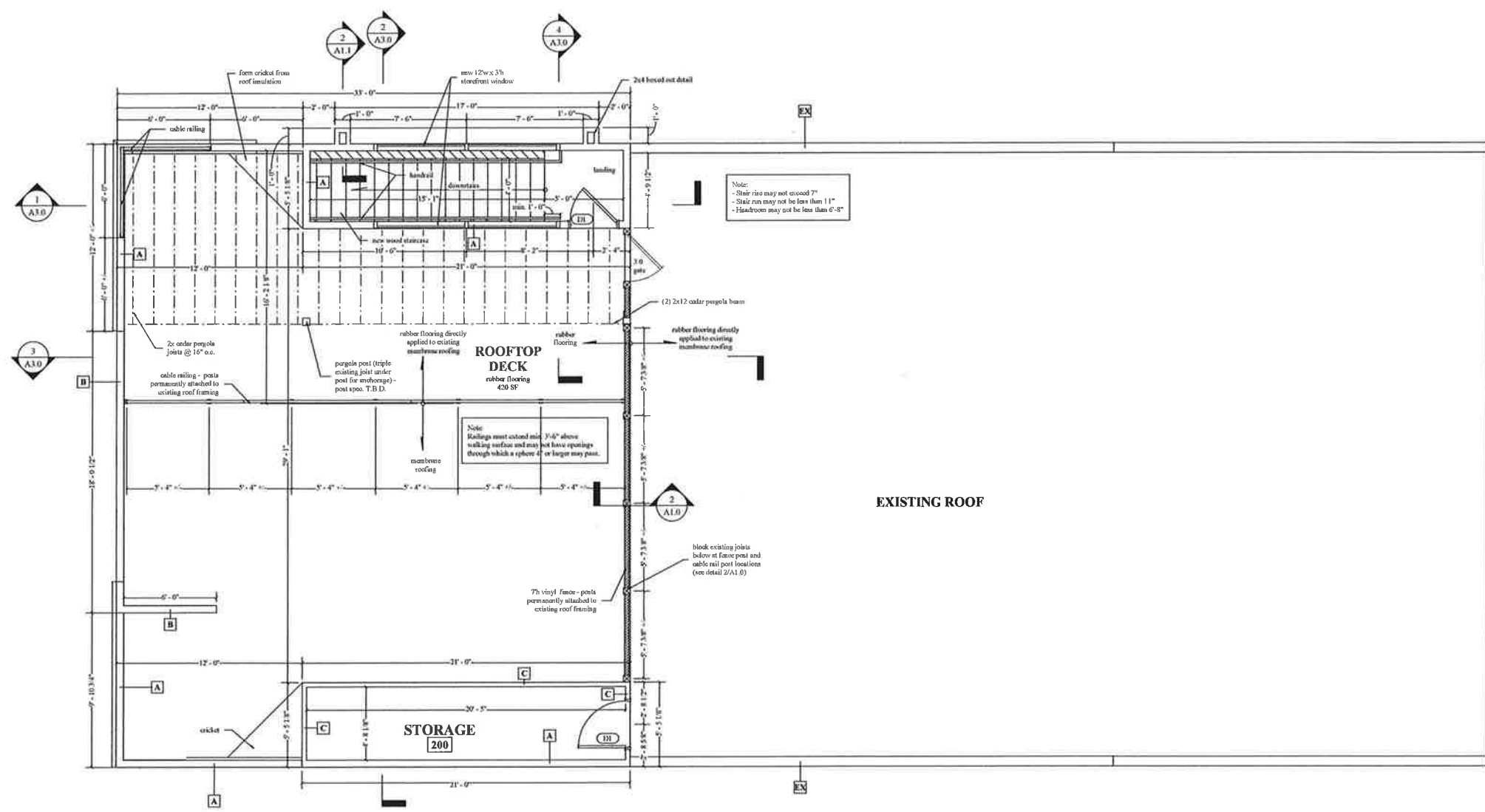
Plan For: H&A Properties
 Location: 2002 Miami St., South Bend, IN



PROJECT: 21-215-2122
 100 KANUCKLE WAY EAST
 MISHAWAKA, IN 46544

FILE	DATE
2023-01-18	12-15-2023
DESIGN BY:	CHUCK BY:
MDP	JRS

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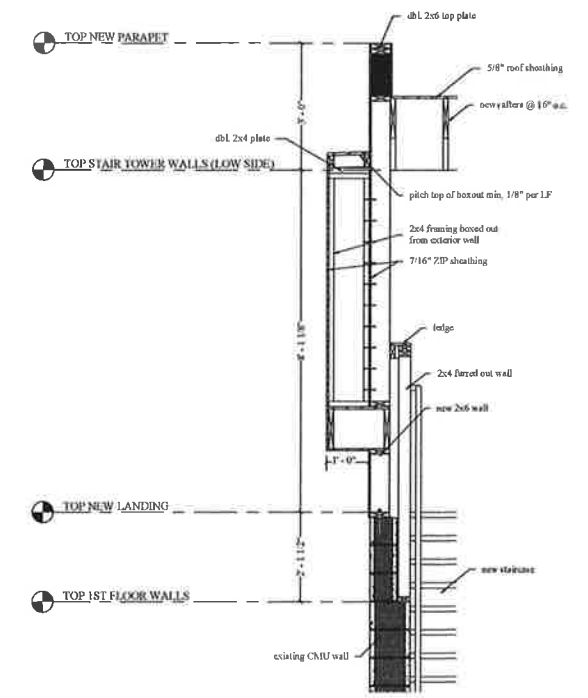
ROOFTOP DECK PLAN

1/4" = 1'-0"



WALL SCHEDULE			
Label	Description	Construction	Remarks
A	2x6 exterior wall	2x4 studs @ 16" o.c. w/ (2) 2x6 top plate and (1) 2x6 bottom plate (treated at concrete contact) w/ 7/16" ZIP sheathing at exterior side and (1) layer 5/8" Type N gypsum board at interior side and R-19 batt insulation in wall cavity	
B	2x6 exterior wall	2x4 studs @ 16" o.c. w/ (2) 2x6 top plate and (1) 2x6 bottom plate (treated at concrete contact) w/ 7/16" ZIP sheathing at exterior side and (1) layer 5/8" Type N gypsum board at interior side and R-19 batt insulation in wall cavity	
C	2x4 exterior wall	2x4 studs @ 16" o.c. w/ (2) 2x4 top plate and (1) 2x4 bottom plate w/ 7/16" ZIP sheathing at each side of wall	
D	2x4 interior wall	2x4 studs @ 16" o.c. w/ (1) 2x4 top plate and (1) 2x4 bottom plate (treated at concrete contact) w/ 1/2" gypsum board each side of wall	Gypsum board by owner
E	2x4 1-hour rated wall	2x4 studs @ 16" o.c. w/ (1) 2x4 top plate and (1) 2x4 bottom plate (treated at concrete contact) w/ 5/8" Type N gypsum board each side of wall extending to underside of roof sheathing	Gypsum board by owner
EX	Existing wall	Existing	

DOOR SCHEDULE							
Type Mark	Width	Height	Operation	Door Material	Frame Material	Fire Rating	Remarks
D1	7'-0"	7'-0"	Swing	Steel	HM	NA	
D2	8'-0"	7'-0"	Pair swing	Steel	HM	NA	Verify existing masonry opening
D3	3'-0"	7'-0"	Swing	Steel	HM	20 Min.	
EX	various	7'-0"	Swing	Existing	Existing	NA	Existing door



BOXOUT FRAMING DETAIL

2 A1.1



SQUARE FOOTAGE	
Existing Building	3,459
New Deck	420
Storage	110
Total:	3,959



NORTH & SOUTH ELEVATIONS

A2.0

Documentation
 These architectural drawings are for the general scope of work to be performed in terms of design concepts. The scope of these drawings include architectural building elements, building code, building structure, mechanical, electrical, and plumbing systems. These drawings are not intended to serve as documentation necessary to perform the work. Individual trade contractors, subcontractors, and suppliers shall provide all required documentation for the purpose of completing the work.

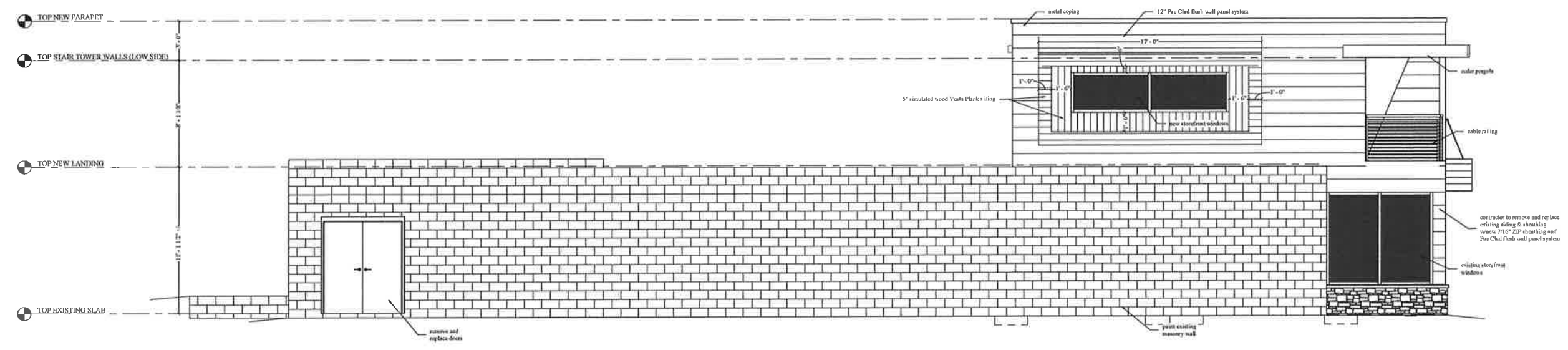
Plan For: H&A Properties
 Location: 2002 Miami St., South Bend, IN



PHONE: 574-255-2122
 FAX: 574-251-0206
 106 LARK VILLAGE WAY EAST
 BISHAWARA, IN 46544

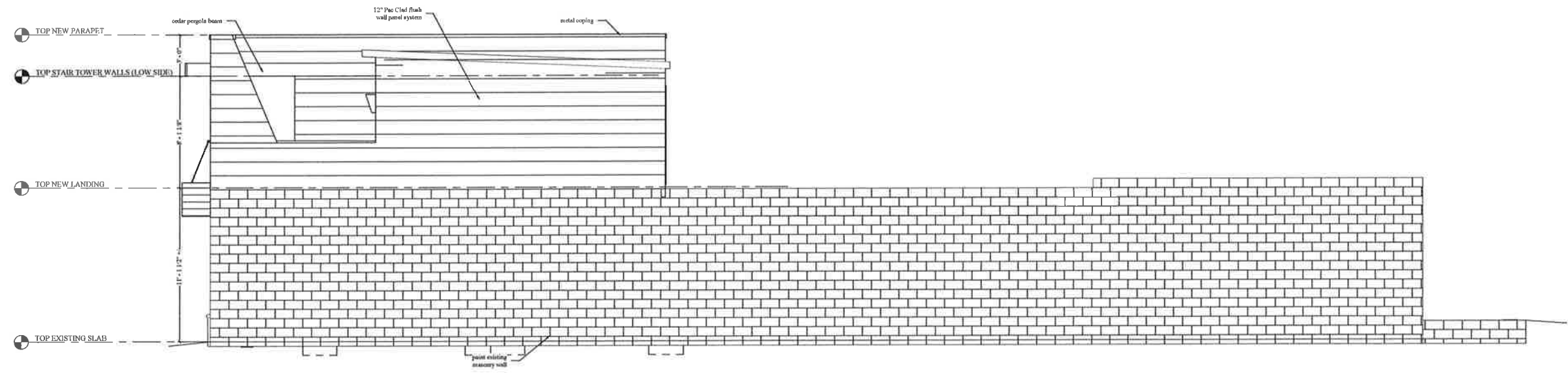
FILE	DATE
2023-010404	12-30-2023
DRAWN BY	CS/CK/BB
MDP	JFS

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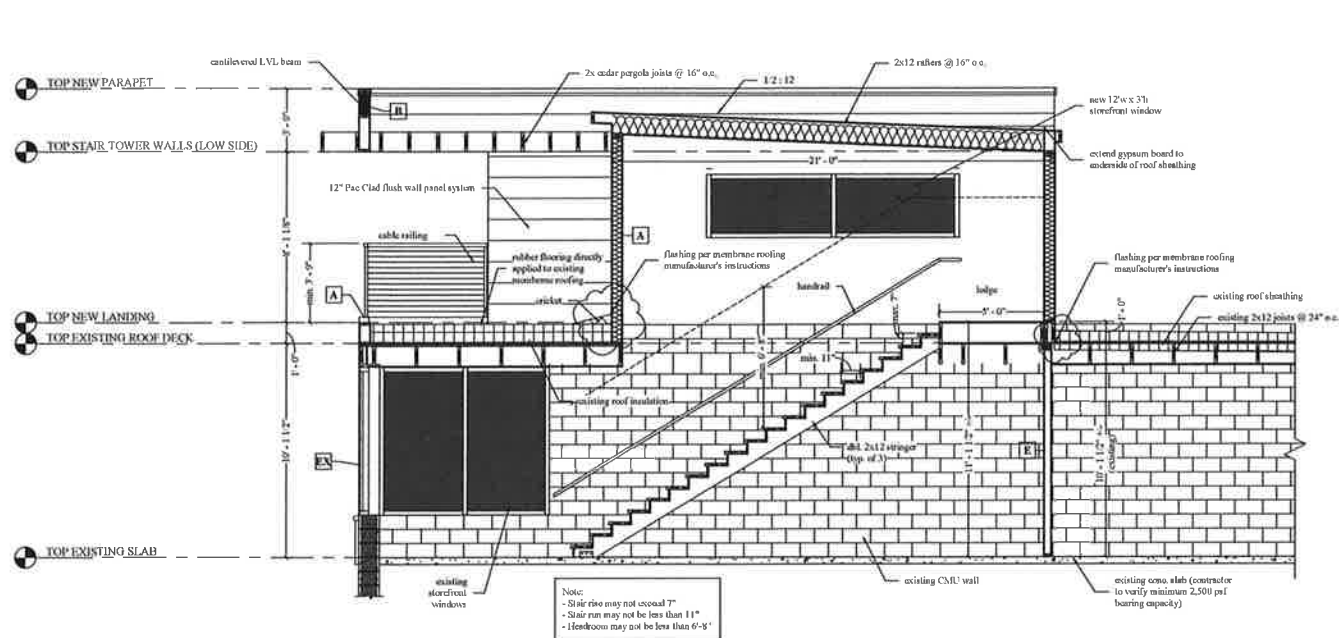
1 NORTH ELEVATION

1/4" = 1'-0"



2 SOUTH ELEVATION

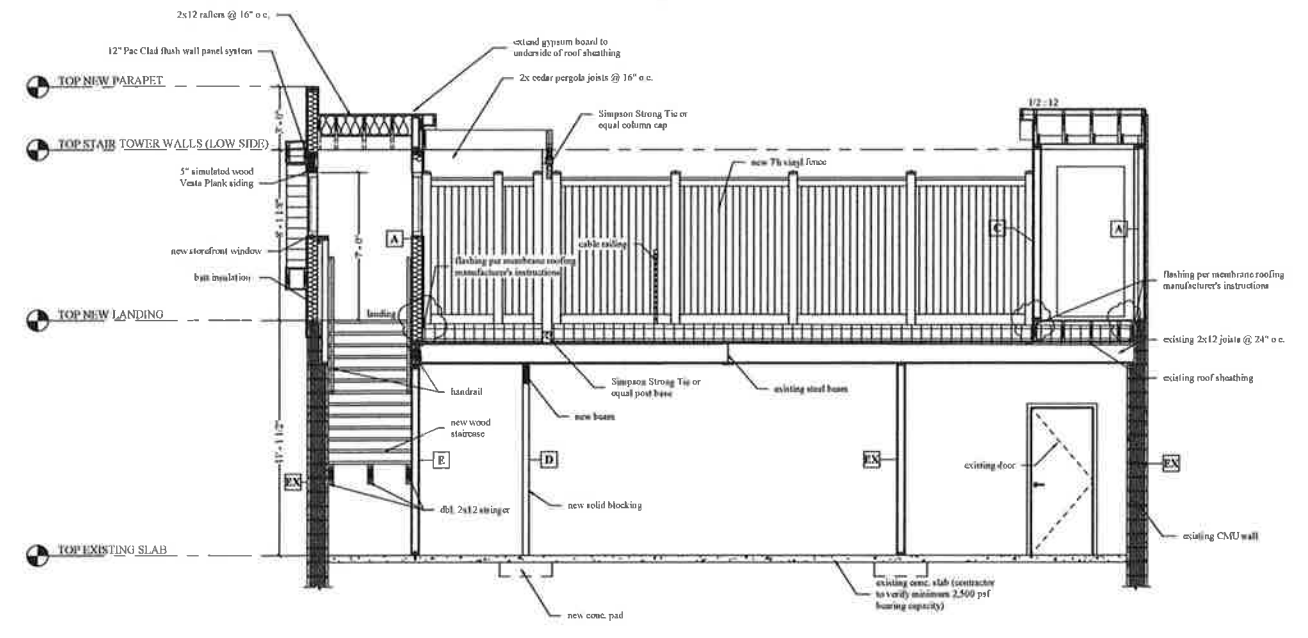
1/4" = 1'-0"



SECTION A
1
A3.0

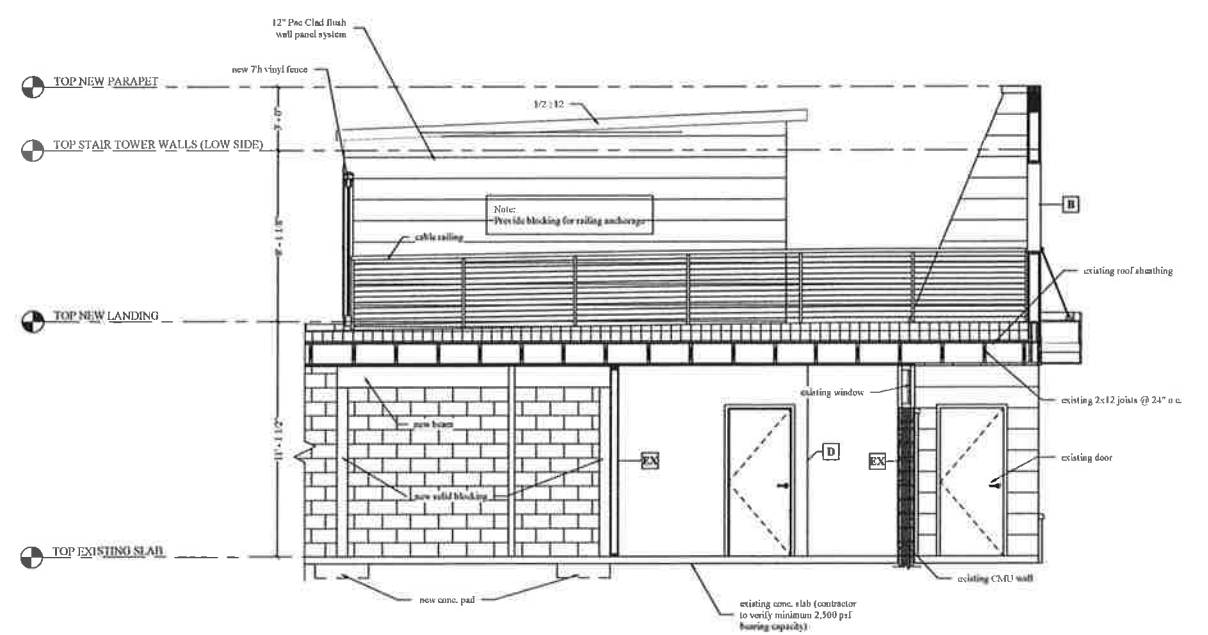
1/4" = 1'-0"

Note:
- Stair rise may not exceed 7"
- Stair run may not be less than 11"
- Handruns may not be less than 6'-4"



SECTION B
2
A3.0

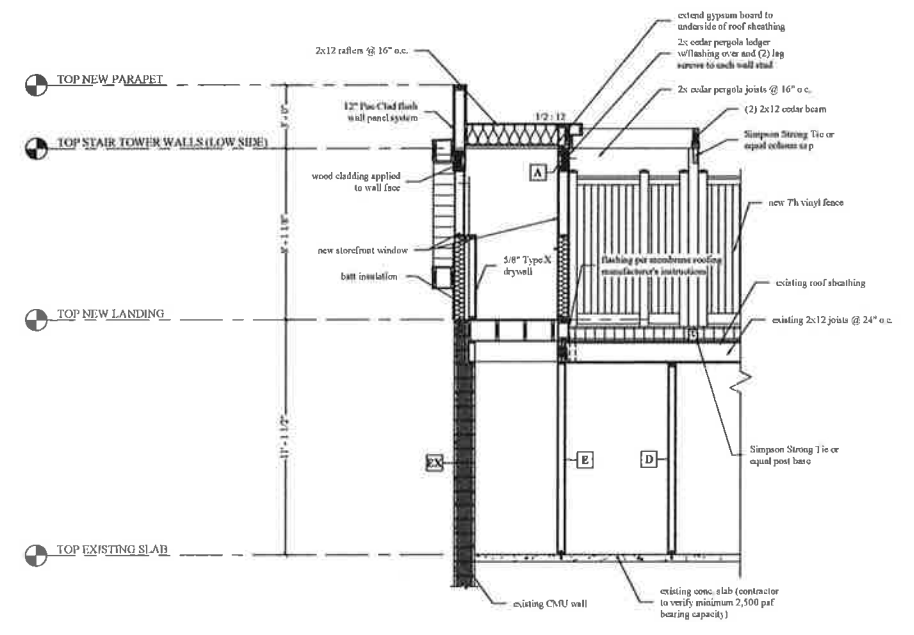
1/4" = 1'-0"



SECTION C
3
A3.0

1/4" = 1'-0"

Note:
- Provide blocking for railing anchors



SECTION D
4
A3.0

1/4" = 1'-0"

SPALDING DESIGN GROUP

REGISTERED ARCHITECT

No. AR11600013

CROSS SECTIONS

A3.0

Documentation

These architectural drawings are for the general scope of work to be performed in accordance with the scope of work and design coverage. The scope of these drawings includes structural framing elements, building systems, building envelope, mechanical, electrical, and plumbing systems. These drawings are not intended to be used for construction purposes. It is the responsibility of the contractor to verify all dimensions and conditions on site prior to construction. The contractor shall provide all required documentation for the purpose of obtaining the work.

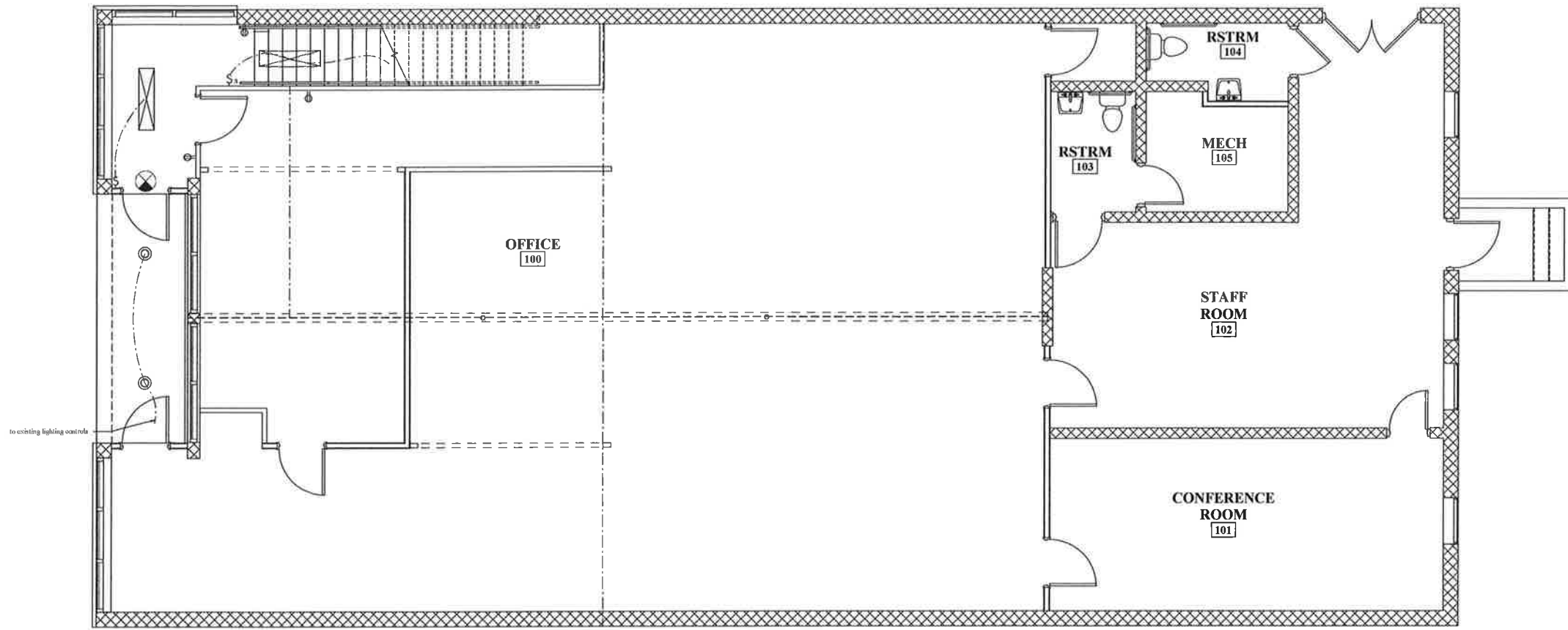
Plan For: H&A Properties
Location: 2002 Miami St., South Bend, IN

SPALDING DESIGN GROUP

PHONE: 317.255.2422
FAX: 317.255.4020
100 GREENWAY EAST
MIRIAM, IN 46141

REV	DATE	BY	CHK
001	05-15-2013	CS/KC	BY

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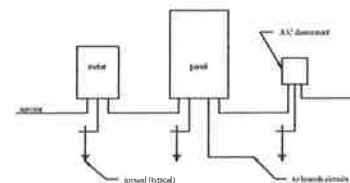
FIRST FLOOR ELECTRICAL PLAN

E1.0

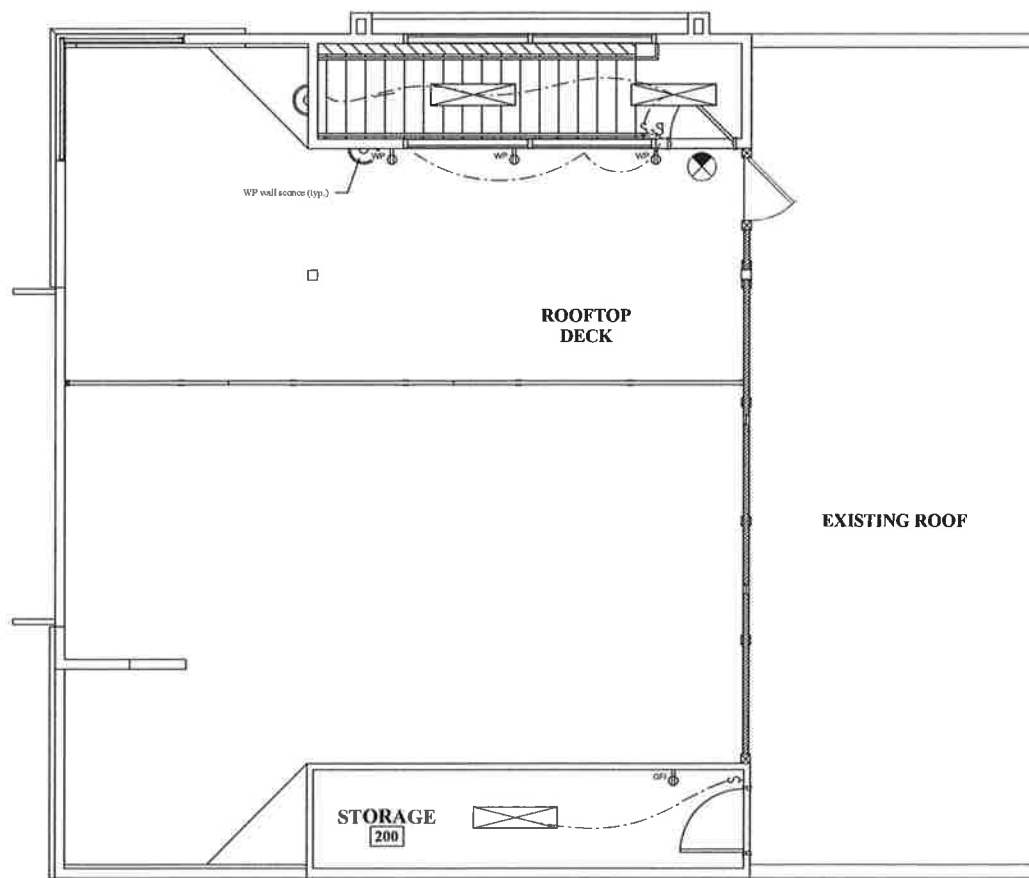
1/4" = 1'-0"



- ELECTRICAL NOTES**
1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES, APPLICABLE NFPA, AND CURRENT INDIANA ELECTRICAL CODE AMENDMENTS AS WELL AS ALL APPLICABLE LOCAL CODES AND ORDINANCES.
 2. ALL DISCONNECTS SHALL HAVE A GROUND BAR AND NEUTRAL BAR.
 3. COORDINATE ANY AND ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION SO AS TO AVOID CONFLICT DURING CONSTRUCTION.
 4. ALL PANELS TO HAVE TYPED COMPLETED DIRECTIONS INDICATING EQUIPMENT SERVED, ROOMS SERVED AND EQUIPMENT LOCATION OR SPARE SPACE. UPDATE DIRECTIONS AS PANELS ARE ALTERED.
 5. COORDINATE ALL DETECTORS AND OUTLETS ABOVE, BELOW AND ABOUT CAB WORK WITH TRADES CONTRACTOR IN ORDER TO LOCATE AT PROPER LOCATION AND HEIGHT.
 6. VERIFY FINAL LOCATION OF ALL EQUIPMENT WITH FIELD MEASUREMENTS AND THE REQUIREMENTS OF THE ACTUAL EQUIPMENT TO BE CONNECTED.
 7. ALL ELECTRICAL ITEMS COVERED BY THIS SPECIFICATION SHALL BE U.L. LABELED AND LISTED FOR THEIR SPECIFIC USE.
 8. ELECTRICAL CONTROL ACTORS SHALL NOT CUT OR OTHERWISE ALTER ANY FRAME MEMBERS WITHOUT WRITTEN PERMISSIONS.
 9. ALL PENETRATIONS THROUGH FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRESTOPPED AS REQUIRED BY STATE AND LOCAL ORDINANCES.
 10. PROVIDE ACCESS PANELS WHERE APPLICABLE TO ALLOW FOR MAINTENANCE AND SERVICING OF EQUIPMENT.
 11. BRANCH CIRCUIT WORKING SHALL BE DONE IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
 12. ELECTRICAL SYSTEMS SHALL BE GROUNDED IN COMPLIANCE WITH CURRENT ELECTRICAL CODE.
 13. MATERIALS AND FINISHES SHALL BE APPROVED AND LISTED FOR THEIR EXTENDED USE.
 14. MATERIALS AND FINISHES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 15. ACTUAL ELECTRICAL SYSTEM SHALL BE VERIFIED WITH ACTUAL SITE CONDITIONS AND SHALL COMPLY WITH ALL CURRENT ELECTRICAL CODES.
 16. ALL EXTERIOR OUTLETS TO BE GFCP PROTECTED.
 17. ALL UNDERGROUND WIRING CONDUIT SHALL BE THWN RATED WITH A MINIMUM 300V INSULATION.



ELECTRICAL RISER DIAGRAM



ROOFTOP DECK ELECTRICAL PLAN

E1.0

1/4" = 1'-0"



ELECTRICAL LEGEND

- 120V quad receptacle
- 120V duplex receptacle
- ground fault circuit interrupter protected receptacle
- waterproof receptacle
- firewalling receptacle
- 240V receptacle
- tabletop receptacle
- laboratory receptacle
- data receptacle
- single pole switch
- 3 way switch
- electrical panel
- wall sconce
- wall mounted sconce
- ceiling concealed fixture
- wall mounted floodlight
- track light
- recessed fixture
- bay window fixture
- ceiling fan
- electric motor
- exhaust fan light combination
- exhaust fan
- board exhaust fan light combination
- smoke detector
- exit emergency fixture w/ high bay wired w/ battery backup
- emergency light fixture w/ high bay wired w/ battery backup
- remote emergency panel
- emergency light
- door chime
- security camera
- camera
- high bay fixture
- data patch panel
- LED strip light
- w/ emergency LED strip light
- LED strip night light
- LED strip night light
- LED wall puck

SQUARE FOOTAGE

Existing: 3,429
 Rooftop Deck: 420
 Storage: 110
Total: 3,959

(2 - 15 - 2021)
 JOHN F. SPALDING
 REGISTERED ARCHITECT
 No. AR11600013

ELECTRICAL PLANS

E1.0

Documentation

These withdrawal drawings are for the general scope of work to be performed in terms of design concept. The scope of these drawings includes, but is not limited to, building systems, mechanical, electrical, and plumbing systems. These drawings are not intended to serve as documentation necessary to perform the work. Individuals who are not registered architects, engineers, and plumbers shall provide all required documentation for the purpose of completing the work.

Plan For: H&A Properties
 Location: 2002 Miami St., South Bend, IN

SPALDING DESIGN GROUP

PKW: 574-255-0122
 FAX: 574-255-0186
 109 LINCOLN WAY EAST
 MISHAWAKA, IN 46541

FILE	DATE
2021-01-14	12-13-2021
DESIGN BY	AKC/ML/BJ
MDP	JFD

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