



**Michele Gelfman,
President**

**HISTORIC
PRESERVATION
COMMISSION
OF
SOUTH BEND
AND
ST. JOSEPH
COUNTY**

Phone: (574) 235-9371

E-mail: SBSJCHPC@southbendin.gov

**CERTIFICATE
OF
APPROPRIATENESS
RETROACTIVE
ADMINISTRATIVE APPROVAL**

The Historic Preservation Commission of South Bend and St. Joseph County has approved the following work:

Rehabilitation of existing structure, Stage 1. -- Including:

1. Removal and disposal of debris,
2. Repair roof sheathing and replace shingles,
3. Remove existing deck in courtyard and dispose debris,
4. Replace front porch framing, roof sheathing, fascia, and soffit (like-in-kind, wood for wood)
5. Replace front porch roof shingles, flashing, and rip edge,
6. Replace wood window frame, rotted studs and sheathing,
7. Replace house wrap and wood shakes.

Self, Contractor

721 LINCOLNWAY
SOUTH BEND , IN, 46618
Edgewater Place
Application No. 2019-0822

in the County of St. Joseph; State of Indiana; which is:

Located in a Local Historic District Ord No. 6846-80

A Local Historic Landmark Edgewater Place

and found this application to be appropriate according to the Standards pertaining to Local Historic Landmarks and/or Local Historic Districts. Regulations pertaining to the Historic Preservation Commission are found in Chapter 21 (Zoning), South Bend Municipal Code and Chapter 26 of the St. Joseph County Code.

The issuance of this certificate does NOT in any manner, release the recipient from the responsibility of complying with the requirements of the zoning ordinances, building codes, safety codes, ADA or other requirements of the City of South Bend, the County of St. Joseph, the State of Indiana, or the United States Federal Government.

This certificate is good for one year from the date of issuance and is effective from the date entered herein. Plans are on file and open for public inspection at the office of the Historic Preservation Commission of South Bend and St. Joseph County, 227 West Jefferson Blvd., Suite 1400 S, South Bend, Indiana, during normal business hours.

THIS CERTIFICATE IS NOT TRANSFERABLE

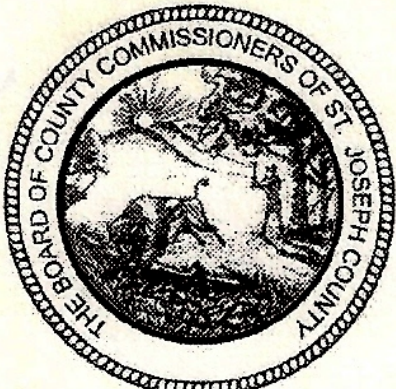
NAME OF APPLICANT: **David & Madeline Maldonado**

DATE CERTIFICATE
TAKES FORCE: **8/22/2019**

DATE CERTIFICATE
EXPIRES: **8/22/2020**

CERTIFICATE ISSUED BY:
**Adam Toering
Historic Preservation Specialist**

**POST IN A CONSPICUOUS PLACE ON THE STREET SIDE
OF THE PROJECT UNTIL COMPLETION OF ALL WORK.**



ELICIA FEASEL

**Historic Preservation
Administrator**



AUG 22 2019

MA
Rec. 065602

HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

County—City Building, South Bend, IN 46601
http://www.southbendin.gov/government/department/community-investment
Phone: 574/235.9371 Fax: 574/235.9021
Email: hpcsbsjc@southbendin.gov

Michele Gelfman, President

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation
Administrator

APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS

OFFICE USE ONLY >>>>>> **DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX** <<<<<<< **OFFICE USE ONLY**

Date Received: 8/22/2019 Application Number: 2019 — 0822

Past Reviews: YES (Date of Last Review) _____ NO

Staff Approval authorized by: As Taring Title: H. P. Spindler

Historic Preservation Commission Review Date: ac

Local Landmark Local Historic District (Name) Edgewater

National Landmark National Register District (Name) _____

Certificate Of Appropriateness:
 Denied Tabled Sent To Committee Approved and issued: 8/22/2019

Address of Property for proposed work: 721 Lincolnway E South Bend 46618
(Street Number—Street Name—City—Zip)

Name of Property Owner(s): David & Madeline Maldonado Phone #: 601.569.6699

Address of Property Owner(s): 1704 College Manor Dr. Goshen 46526
(Street Number—Street Name—City—Zip)

Name of Contractor(s): David Maldonado, owner Phone #: 601.569.6699

Contractor Company Name: N/A

Address of Contractor Company: N/A
(Street Number—Street Name—City—Zip)

Current Use of Building: vacant single family
(Single Family—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)

Type of Building Construction: wood frame, brick
(Wood Frame—Brick—Stone—Steel—Concrete—Other)

Proposed Work: (more than one box may be checked) Landscape New Replacement (not in-kind) Demolition

Description of Proposed Work: remove existing siding shakes, replace planks, replace barrier
install new cedar shake siding, replace existing front porch frame and roof shingles, repair existing window frames, replace broken window panes, replace trim with new like kind, patch existing roof, seal and paint house, replace entry door

Owner e-mail: dm-fcc@hotmail.com and/or Contractor e-mail: dm-fcc@hotmail.com

X _____ and/or X _____
Signature of Owner Signature of Contractor

By signing this application I agree to abide by all local regulations related to project and to obtain a Building Department Permit, if applicable.

—APPLICATION REQUIREMENTS ARE LISTED ON REVERSE SIDE—

721 Lincoln Way East
Scope of Work List
Target completion 3 months

STAGE 1

Tasks completed:

- removal and disposal of debris in garage and basement ✓

General tasks:

- repair 2' x 3' roof sheathing and replace shingles ✓
- remove existing deck in courtyard and dispose of debris

Front wall tasks (north wall):

- replace front porch framing, roof sheathing, fascia and soffit ✓
- replace front porch roof shingles, flashing and drip edge ✓
- replace wood window frame, rotted studs and sheathing ✓
- replace house wrap and wood shakes ✓

East wall tasks (above garage):

- repair wood window frame
- install missing window
- replace vinyl window with wood window
- replace house wrap and wood shakes

Rear wall tasks (south wall):

- Install 3 missing windows
- replace rotted studs and sheathing at sw corner
- replace house wrap and wood shakes

Courtyard wall (west side LWE):

- replace existing door with window
- replace house wrap and wood shakes
- remove paint from existing window panes
- replace vinyl window with wood window

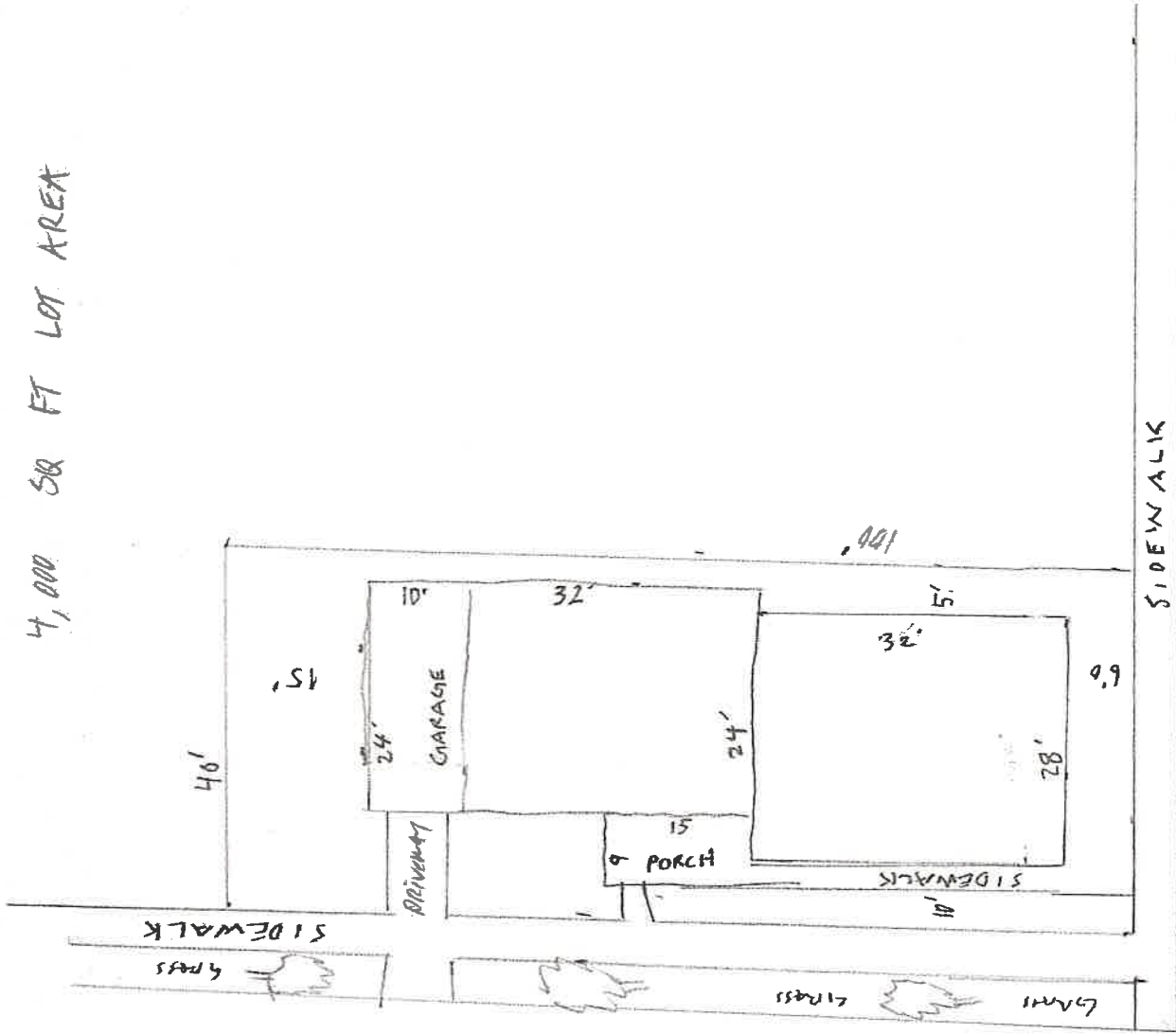
Waterproof and paint all walls

Repair existing fascia as needed and paint

Replace garage doors

STAGE 2

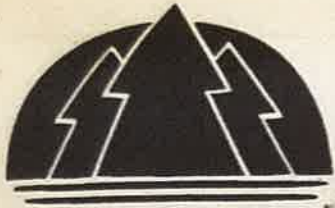
4,000 SQ FT LOT AREA



LINCOLN WAY EAST

1" = 20'





SURREY
Cedar Ltd.

Tel: 604.534.9936

Fax: 604.514.3408

23867 Fraser Hwy, Langley, BC V2Z 7K5
Toll Free 1 (888) 534-9936
www.surreycedar.com

NUMBER 3&4 SHINGLES

MADE IN CANADA



NOT FOR ROOF APPLICATION
RECOMMENDED FOR DECORATIVE USE ONLY
CAN BE USED FOR UNOCCUPIED BUILDINGS

9' X 150' ROLL

- Air Infiltration Barrier
- Water-Resistive Barrier

INSTALLATION STEPS

Residential and Light Commercial Applications

Note: Alternate installation details may be used if approved in writing by Perma "R" Products Inc. prior to installation

1. Install building wrap over structural sheathing, over insulation board or directly to studs.
2. Begin by aligning the bottom edge of the roll with the base of the wall, approximately 2 ft. around the corner, fastening securely to structural sheathing, through insulation boards to studs or directly to studs.
3. Lowe's Housewrap is installed after wall framing is completed and before or after windows and doors are installed. The printed side is installed facing the outside. The roll is placed approximately 6 inches from the starting corner and fastened to the sheathing with corrosion-resistant staples, with corrosion-resistant nails or the same with plastic washer heads, spaced a minimum of 6 inches (152 mm) vertically. The material is unrolled around the building and fastened with nails or staples spaced between 36 and 48 inches (914 to 1219 mm) on center at the top and in the field of material. The material can either be attached 12 inches (305mm) above the sill plate (left unattached below for installation of counter flashing) or tacked with nails or staples approximately 48 inches along the sill plate to secure before counter flashing is installed. A minimum of 6 inches (152mm) of overlap must be provided for vertical seams, and 2 inches (51mm) for horizontal

Compliance: See ICC-ES, ESR2514 for IBC, IECC and IRC Compliance
 ASTM D 226, Type I (Specification for Building/Roofing Paper)
 ASTM E 1677, TYPE I
 ASTM E 2556, Type I
 HUD/FHA UU-B-790a - Equivalent to Grade D/Type 15 Building Paper



Barrier ive Barrier ON STEPS

Commercial Applications

- except where the manufacturer's installation instructions specify a different overlap dimension. Use of self-adhering insulation sheathing (non cementitious EIFs application), the house wrap must be fastened with large-headed nails long enough to penetrate through the insulation into the framing studs.
4. At window rough openings, make a modified "T" cut in the building wrap. Use of self-adhering seal window, door and other wall penetrations is recommended.
5. When the end of a roll is reached, first attach the loose end of the building wrap to a stud or structural sheathing. Seams must be overlapped to a minimum of 6 in. for vertical seams and 2 in. for horizontal seams. Upper courses must overlap lower courses in shingle fashion. Sealing of building wrap seams is optional.
6. Many common adhesives and sealants are compatible with Lowe's Housewrap. Check label on adhesives and sealants for compatibility.

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ESR2514
Equivalent to Grade D/Type 15 Building Paper

Equivalent to Grade D/Type 15 Building Paper

Contains ultraviolet stabilizers

Resistant to mold and mildew

Resistant to UV rays









7
2
5



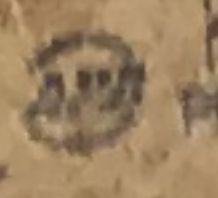






NORBORD
APA

RATED WEATHERING
28/16
SHEAR WALL BRACING
EXPOSURE 1



THICKNESS 0.619 in
PS 2-10
MFG 3/06
2/16

501 STRENGTH
L RESIST