

# STAFF REPORT

## CONCERNING APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS



**Date:** September 11, 2019

**Application Number:** 2019-0830

**Property Location:** 605 Rex Street

**Architectural Style/Date/Architect or Builder:** Gabled-front / 1899 or 1905

**Property Owner:** Joan M. Downs

**Landmark or District Designation:** Chapin Park Local (Ordinance #9574-05) and National Historic District

**Rating:** Contributing

**DESCRIPTION OF STRUCTURE/SITE:** The house located at 605 Rex is a gable-front one and a half-story structure with original shingles in the gable and clapboard siding and corner boards. There is a full width screen enclosed porch with wood supports set on brick piers and rail with stone caps. There is wood and chain link fence along the side yard on the west and a stockade fence along the east side.

**ALTERATIONS:** Original second floor street-facing window (described in the survey card as “very long paired windows in gable”) was replaced sometime after it was photographed in 1987. COA 2008-0903 allowed for the installation of the wooden and chainlink fence around the rear of the property. COA 2011-0607 allowed for roof, soffit, and gutter repair following ice melt damage. COA 2018-0530A allowed for the replacement of the second story front façade window, as well as the installation of new railings at each of the entrances. RME 2018-0530B allowed for the construction of custom wooden storm windows.

**APPLICATION ITEMS:** “See attached sheets.”

“Exterior work at 605 Rex Street will include:

Back of the house:

- replacement of the missing skirt board around the back of the house,
- reframing of the back door and insertion of new historically appropriate door to match the existing kitchen door (single pane glass half the door’s height approximately with coffers below),
- construction of a small deck to make access to the back kitchen door possible (porch to be low and have low historically appropriate railing and 2-3 steps to the garden, with lattice below porch floor, see drawings),
- construction of a window immediately to the east of the back door to add light to the interior of the kitchen / mudroom, wi(n)dow will measure approximately 1 x 2 feet and be double hung wood clad by Marvin.

East side of the House:

- addition of a simple metal decorative railing to the house at the front kitchen door (see specs),
- addition of a railing to the front porch on the house side of the door to the screen porch we will add a simple railing (see drawings),
- reconstruction of the entrance wall to the screen porch to include proper siding but retain the general plan which is currently there with windows above a low wall,
- replacement of the stylistically inappropriate second floor front window (see photo) new window will be good clad double hung window to match existing windows from Marvin Windows (see specs),
- construction of a small garden shed along the fence in the back garden which is closest to the northeast corner of the house (see drawings),

**DESCRIPTION OF PROPOSED PROJECT:** Applicant seeks a Certificate of Appropriateness for improvements on the structure including:

1. Modifications to the rear (north) of the house, including:

- a. Replacement of the missing skirt board (with wood),
  - b. Replacing the existing rear door with a historically appropriate half-lite door,
  - c. Installing a new wooden 3' x 2' window in the wall beside the rear door,
  - d. Constructing a new treated deck with steps, railings, and square ballisters,
2. Modifications to the East side of the house, including:
    - a. Addition of simple metal railings on both the front entrance steps as well as the kitchen entrance steps,
    - b. Reconstruction of the east wall enclosing the front porch by:
      - i. Reconstructing the lower wall sections and section beside windows to replicate the siding pattern of the remainder of the house,
      - ii. Reconfiguring the windows and door enclosures (see schematics – screen door and window size changes are minimal),
  3. Replacement of the upstairs gable window (currently 6 over 6, vinyl[?]), to be replaced with wood 1 over 1 window, manufacturer to be determined).

**SITE VISIT REPORT:** N/A

**STANDARDS AND GUIDELINES: CHAPIN PARK**

**General Definitions**

**(B) PRESERVATION GUIDELINES**

**(b2) Rehabilitation (ADOPTED)**

Maintaining the existing character of the district, and whenever possible returning it to its original condition. Any rehabilitation would not require the removal of all non-original materials but would encourage the removal of all such materials which are incompatible with the defined elements of preservation for the district. **The design of new construction or alteration would not require the duplication of the original design and construction, but should be compatible with existing structures and the district's defined elements of preservation. The use of original materials or construction techniques would be encouraged, but contemporary methods and materials would be acceptable when compatible.**

**II. EXISTING STRUCTURES**

**C. WINDOWS AND DOORS**

Window and door frames are in most cases wood and vary depending upon the style of the home. Many are double-hung windows with wood trim and sills. Brick structures have stone sills and brick lintels. In some cases where aluminum siding has been applied, the window and door trim has been covered. About half of the structures in the district have aluminum storm windows; the other half have wood storm windows.

**Required**

**Original windows and doors shall be retained including sashes, lintels, sills, shutters, decorative glass, pediments, hoods and hardware. When deteriorated beyond repair, they shall be replaced with units and trim resembling the original.**

**Recommended**

**Wood storm windows and doors painted or finished to match the original should be used but should not damage existing frames. If new sashes or doors are installed, the existing or original materials, design and hardware should be used.** When metal storm doors are used, they should be painted, anodized or coated to match the existing. When awnings are used, they should be of canvas material.

**D. ENTRANCES, PORCHES AND STEPS**

Most houses in the district have either an open or enclosed porch across the front. Most porches have either hip or gabled roofs or are covered by the main roof of the house.

**Required**

**When deteriorated beyond repair, existing or original porches, stoops, patios and steps, including handrails, balusters, columns, brackets, tiles and roof decorations, shall be retained or replaced by replicas of the same design or by a design more in keeping with the historic period of the structure.**

Porches and additions reflecting later architectural styles and which are important to the building's historical integrity shall be retained.

**Recommended**

When enclosing porches for heat conservation or for other reasons, it should be done in a manner that does not alter the architectural or historical character of the building.

**Not Recommended**

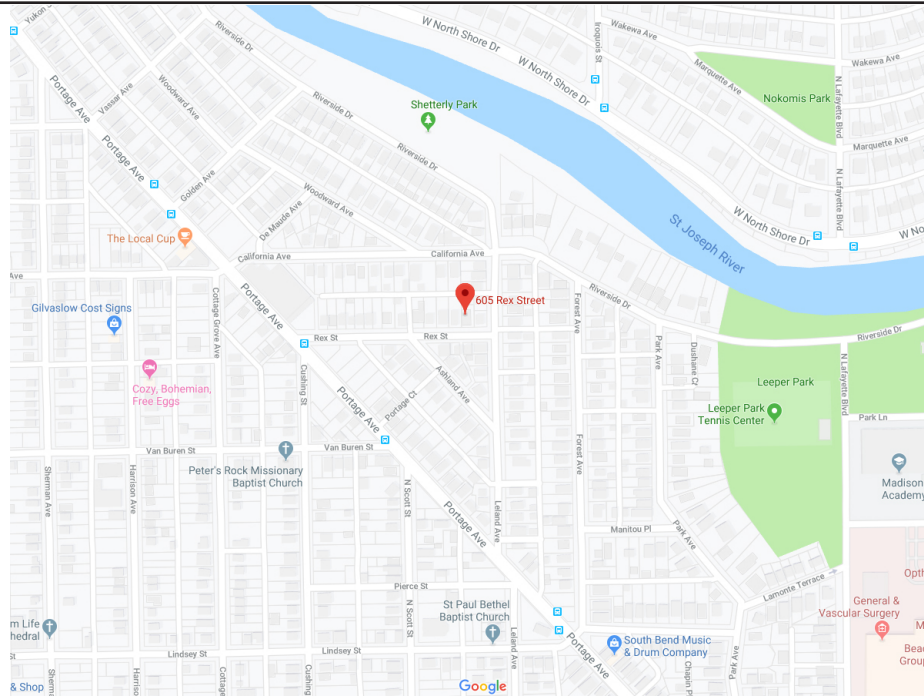
Original porch details should not be replaced with materials representing a different period or style from the original.

**STAFF RECOMMENDATION:** Staff recommends approval of the project, as it conforms to the Standards & Guidelines of the Chapin Park Local and National Historic District.

Written by  
Adam Toering  
Historic Preservation Specialist  
Approved by  
Elicia Feasel  
Historic Preservation Administrator

# HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

LOCATION MAP - Map showing location of the property and surrounding area (Google Maps)



AERIAL MAP - highlighted property on map



Sanborn 1917

1945

1960

MACOG 2019

SURVEY CARD PHOTOS - 1987



9. Common Name

10. Visible

Yes  No



**HISTORIC PRESERVATION COMMISSION  
OF SOUTH BEND AND ST. JOSEPH COUNTY**

FRONT PICTURE (SOUTH)- Picture of the front of the building, September 11, 2019.



SIDE PICTURE (South West) - Picture of the South West of the building, September 11, 2019





**HISTORIC PRESERVATION COMMISSION  
OF SOUTH BEND AND ST. JOSEPH COUNTY**

PROJECT AREA (South East) - Picture of the side of the building, May 2018



PROJECT AREA (North side) - Door at left to be replaced, new window added. May, 2018





# HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

County—City Building, South Bend, IN 46601  
http://www.southbendin.gov/government/department/community-investment  
Phone: 574/235.9371 Fax: 574/235.9021  
Email: hpcbsbjc@southbendin.gov

AUG 30 2019

REC 065606

Timothy S. Kluszczinski, President

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation  
Administrator

## APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS

**OFFICE USE ONLY>>>>>>DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX<<<<<<OFFICE USE ONLY**

Date Received: \_\_\_\_\_ Application Number: \_\_\_\_\_

Past Reviews:  YES (Date of Last Review) \_\_\_\_\_  NO

Staff Approval authorized by: \_\_\_\_\_ Title: \_\_\_\_\_

Historic Preservation Commission Review Date: \_\_\_\_\_

Local Landmark  Local Historic District (Name) \_\_\_\_\_

National Landmark  National Register District (Name) \_\_\_\_\_

Certificate Of Appropriateness:  
 Denied  Tabled  Sent To Committee  Approved and issued: \_\_\_\_\_

Address of Property for proposed work: 605 Rex Street South Bend, IN 46616  
*(Street Number—Street Name—City—Zip)*

Name of Property Owner(s): Joan Downs Phone #: 574-383-6346

Address of Property Owner(s): 849 Forest Ave. South Bend, IN 46616  
*(Street Number—Street Name—City—Zip)*

Name of Contractor(s): \_\_\_\_\_ Phone #: 289-4992

Contractor Company Name: Peacock and Company

Address of Contractor Company: 1147 Mishawaka Ave. South Bend, IN 46616  
*(Street Number—Street Name—City—Zip)*

Current Use of Building: single family home  
*(Single Family—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)*

Type of Building Construction: wood frame  
*(Wood Frame—Brick—Stone—Steel—Concrete—Other)*

Proposed Work:  In-Kind  Landscape  New  Replacement (not in-kind)  Demolition  
*(more than one box may be checked)*

Description of Proposed Work: See attached sheets.

Owner e-mail: jomdowns29@gmail.com and/or Contractor e-mail: ndonovan@peacockandco.com

X Joan Downs and/or X [Signature]  
Signature of Owner Signature of Contractor



## **Exterior work at 605 Rex Street will include:**

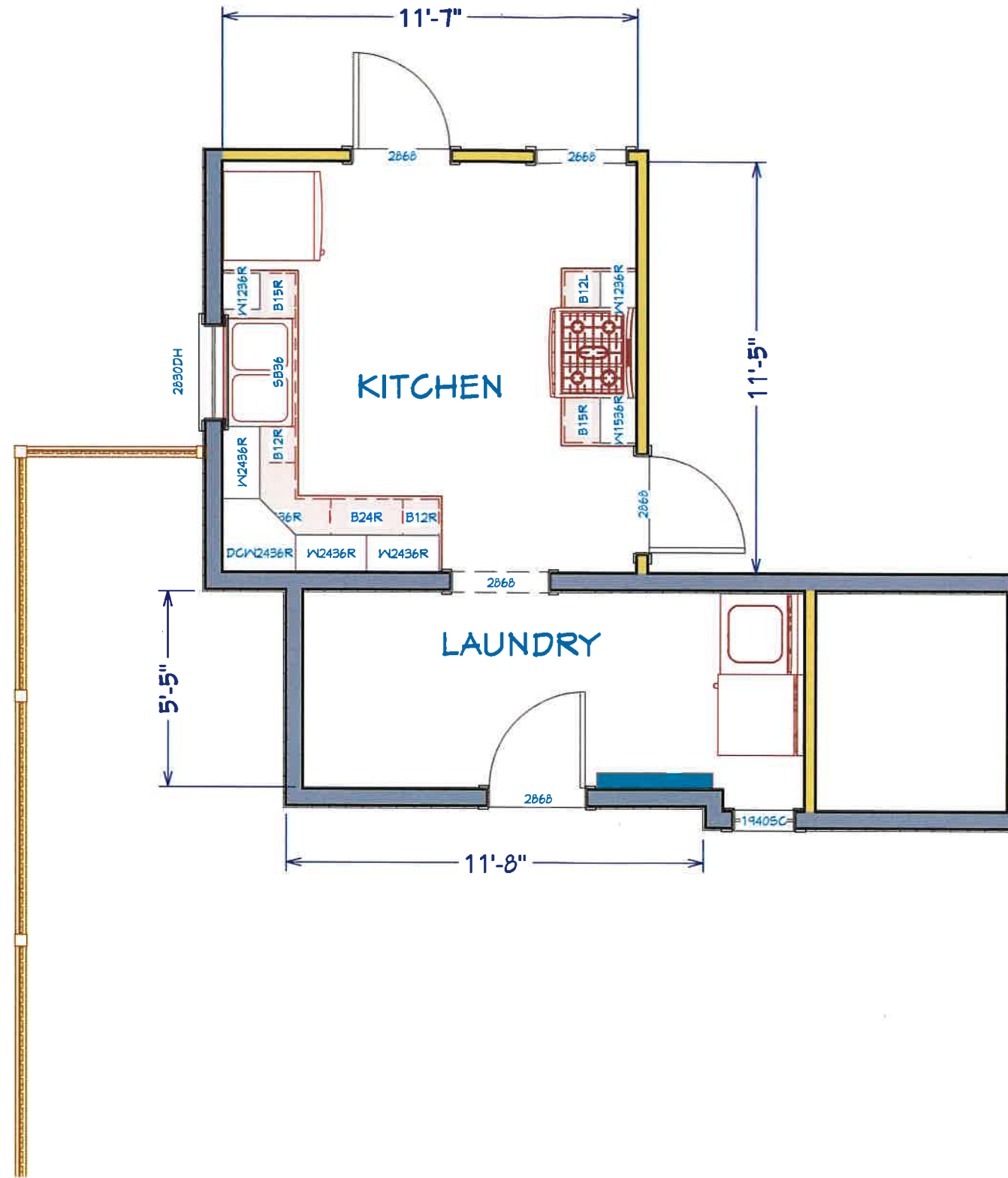
### **Back of the House:**

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- reframing of the back door and insertion of new historically appropriate door to match the existing kitchen door (single pane glass half the door's height approximately with coffer below),
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### **East side of the House:**

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- construction of a small garden shed along the fence in the back garden which is closest to the northeast corner of the house (see drawings),

EXISTING



DRAWN BY: Nick Donovan  
DESIGNER/SALES  
ndonovan@peacockandco.com  
574-281-4992

SHEET TITLE:  
Existing Kitchen Show

PROJECT:  
Downs, Joan  
605 Rex St.  
South Bend, IN 46616

**PEACOCK**  
& COMPANY

DATE:

8/28/2019

SCALE:

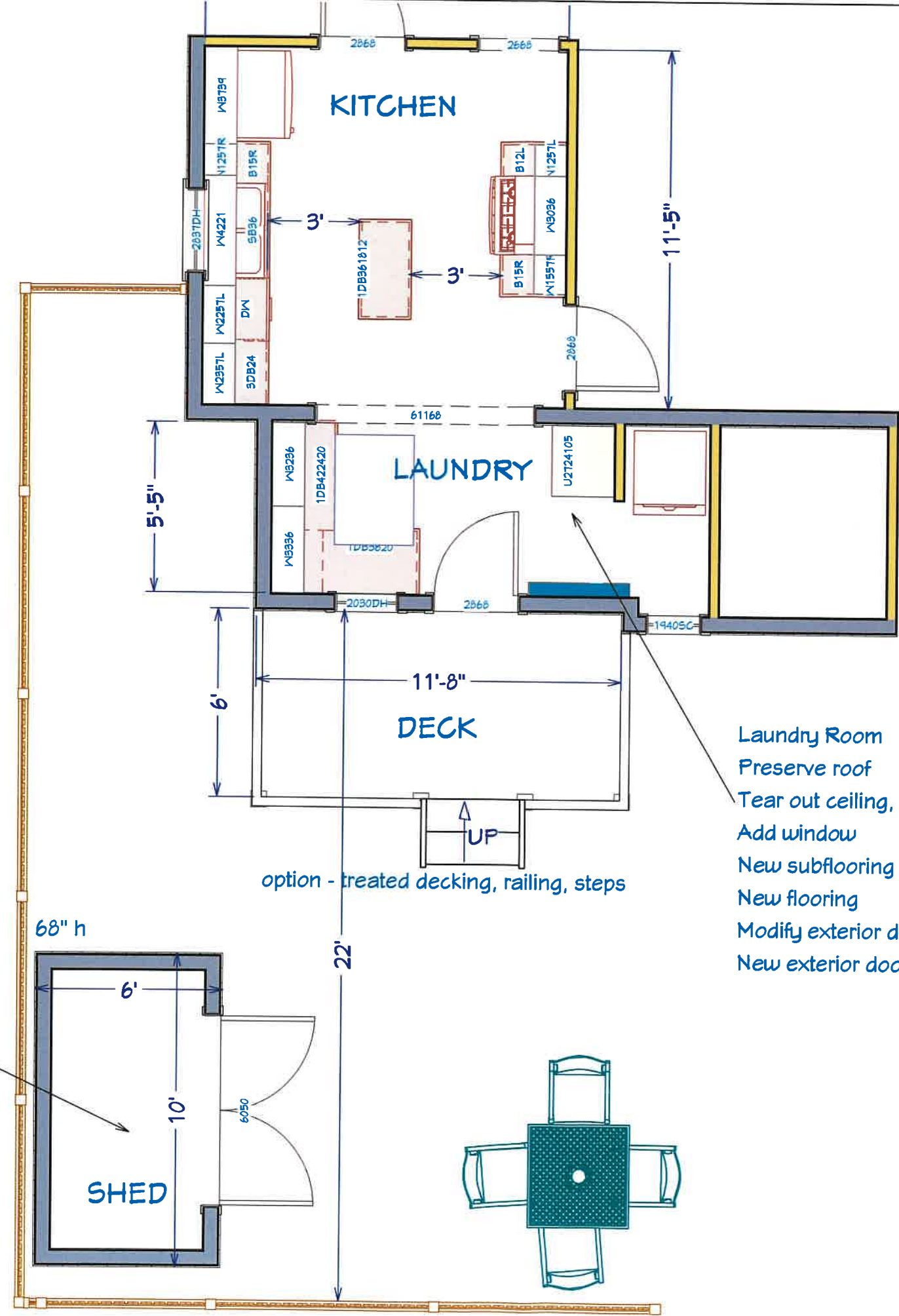
1/4"=1'0"

SHEET:

**A-1**



PROPOSED



Other miscellaneous projects:

- 2 railings at stairs to house
- Screen Room reworked
- Hang existing storm door (front)
- New front door - 32/80 RH in-swing
- 1 wooden storm window at Wendy's bedroom

Shed  
back roof height at tall point  
is equal to fence height  
slight slope to front double doors  
bikes, mower, shovels, rakes

- Laundry Room
- Preserve roof
- Tear out ceiling, seems to be additional ceiling height available
- Add window
- New subflooring even with kitchen
- New flooring
- Modify exterior door opening with new header
- New exterior door



DRAWN BY: Nick Donovan  
DESIGNER/SALES  
rdonovan@peacockandco.com  
514-284-4492

SHEET TITLE:  
New Kitchen, Laundry, Deck

PROJECT:  
Downs, Joan  
605 Rex St.  
South Bend, IN 46616

**PEACOCK**  
& COMPANY

DATE:  
8/28/2019

SCALE:  
1/4"=1'0"

SHEET:  
A-2



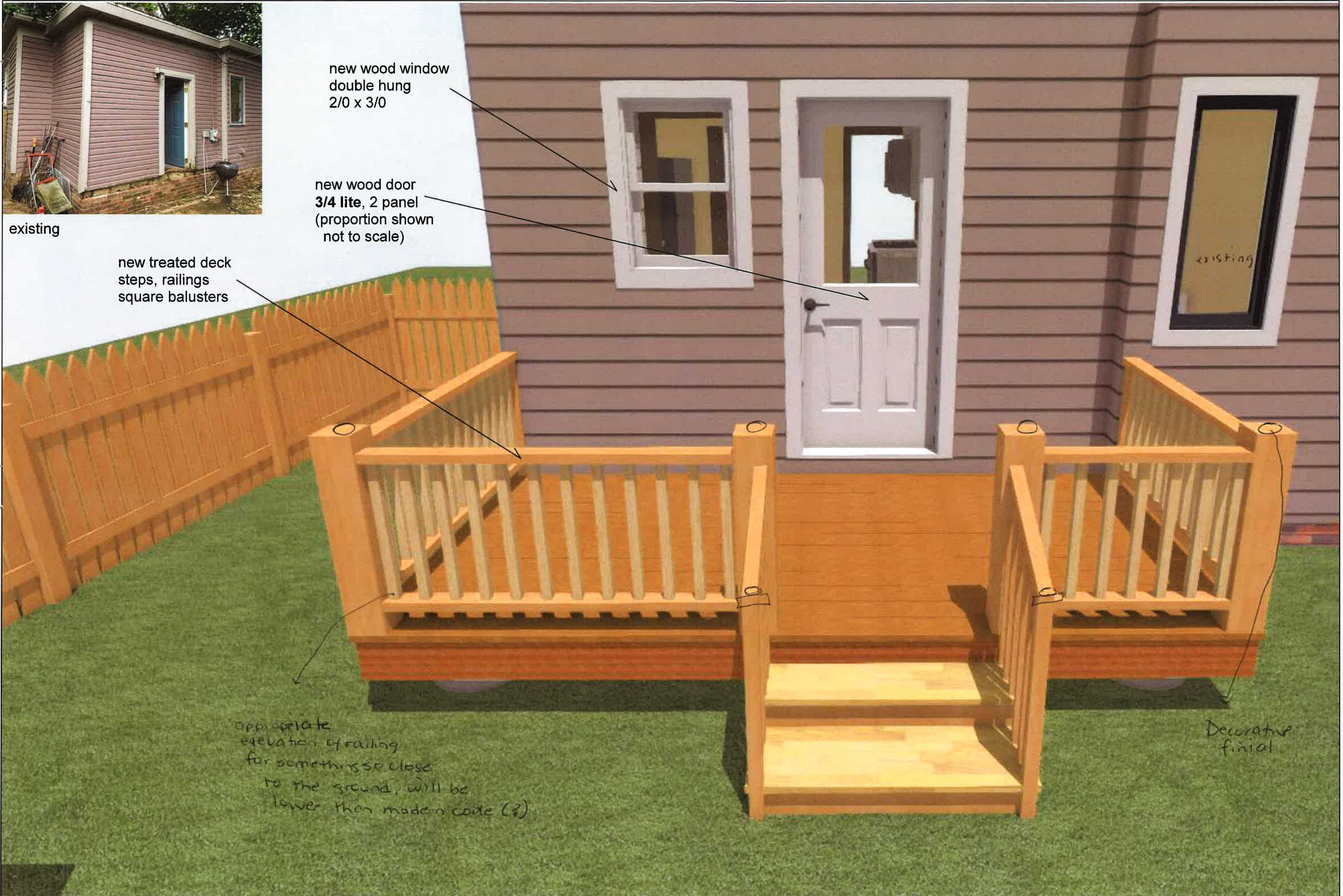


existing

new wood window  
double hung  
2/0 x 3/0

new wood door  
3/4 lite, 2 panel  
(proportion shown  
not to scale)

new treated deck  
steps, railings  
square balusters



appropriate  
elevation of railing  
for something so close  
to the ground, will be  
lower than modern code (?)

Decorative  
finial



DESIGNED BY: NICK DONOVAN  
DESIGNER@SALES  
ndonovan@peacockandco.com  
574-285-4592

SHEET TITLE:  
Back door view

PROJECT:  
Downs, Joan  
605 Rex St.  
South Bend, IN 46616

**PEACOCK**  
& COMPANY

DATE:  
8/28/2019

SCALE:  
1/4"=1'0"

SHEET:

**A-3**





DRAWN BY: NICK DONOVAN  
 DESIGNER/SALES  
 ndonovan@peacockandco.com  
 574-294-4932

SHEET TITLE:  
 Interior Views

PROJECT:  
 Downs, Joan  
 605 Rex St  
 South Bend, IN 46616

**PEACOCK**  
 & COMPANY

DATE:

8/28/2019

SCALE:

1/4"=1'0"

SHEET:

**A-4**





DRAWN BY: Nick Donovan  
DESIGNER/SALES  
ndonovan@peacockandco.com  
514-284-4932

SHEET TITLE:  
Interior Views

PROJECT:  
Downs, Joan  
605 Rex St.  
South Bend, IN 46616

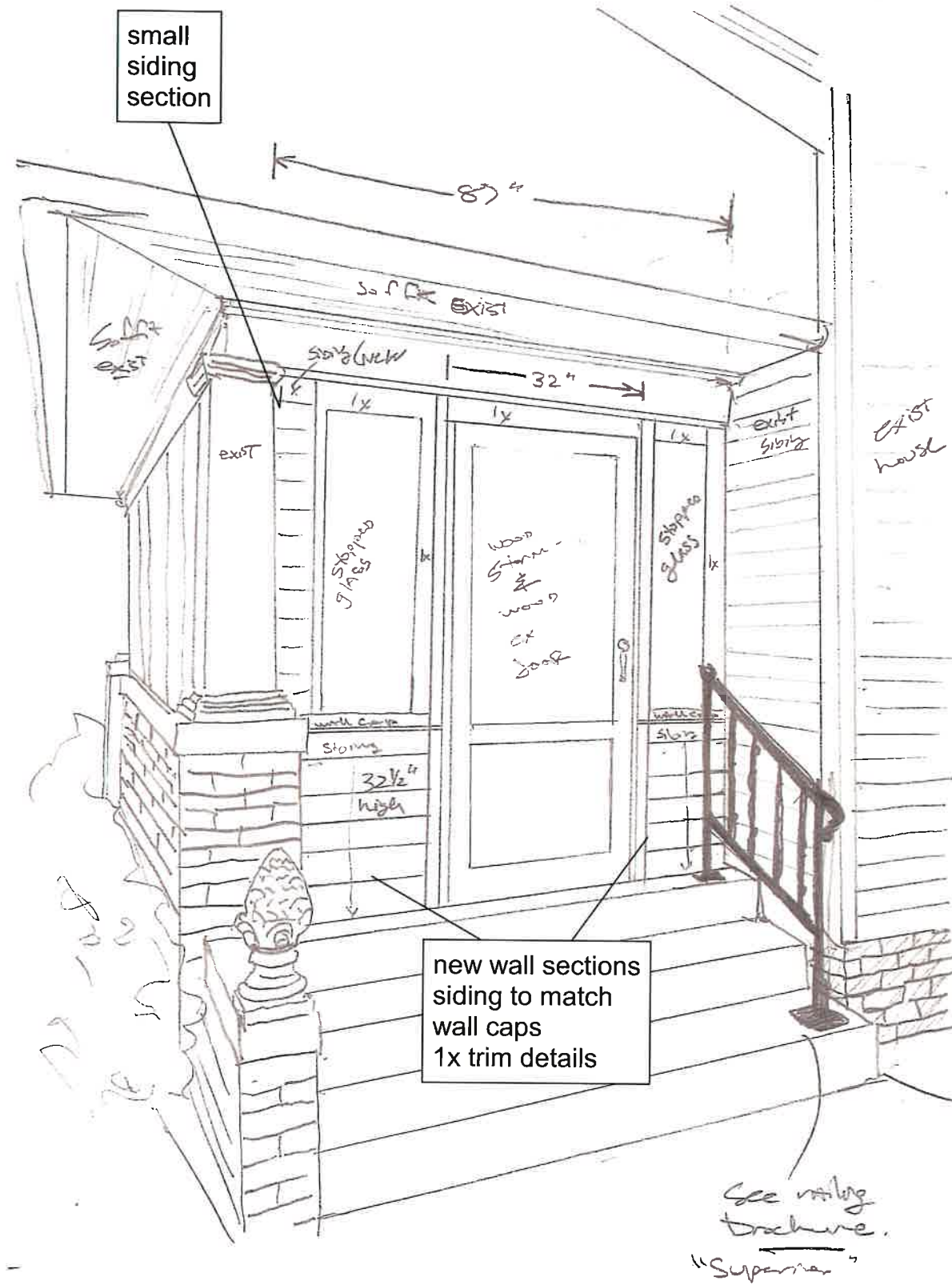
**PEACOCK**  
& COMPANY

DATE:  
8/28/2019

SCALE:  
1/4"=1'0"

SHEET:  
**A-5**





Screen Porch Project:  
 Metal Railing section mounted to existing stairs  
 Reconstruction of entrance wall to include proper siding and trims  
 New wood storm door  
 New wood door & storm door to house



DRAWN BY: NICK DONOVAN  
 DESIGNER/SALES  
 ndonovan@peacockandco.com  
 574.235.4492

Screen Porch Notes

SHEET TITLE:

PROJECT: Downs, Joan  
 605 Rex St.  
 South Bend, IN 46616

PROJECT:

**PEACOCK**  
 & COMPANY

DATE:

8/28/2019

SCALE:

1/4"=1'0"

SHEET:

**A-6**





Side Entry  
 Remove 2" x 4" railing and 4" x 4" post  
 Install new simple black metal railing section to stairs



railing example from  
 North Shore home.



DRAWN BY: Nick Donovan  
 DESIGNER@SALES  
 ndonovan@peacockandco.com  
 574-299-4932

SHEET TITLE:  
 Side Entry Notes

SHEET TITLE:

PROJECT:  
 Downs, Joan  
 605 Rex St.  
 South Bend, IN 46616

**PEACOCK**  
 & COMPANY

DATE:

8/28/2019

SCALE:

1/4"=1'0"

SHEET:

**A-7**



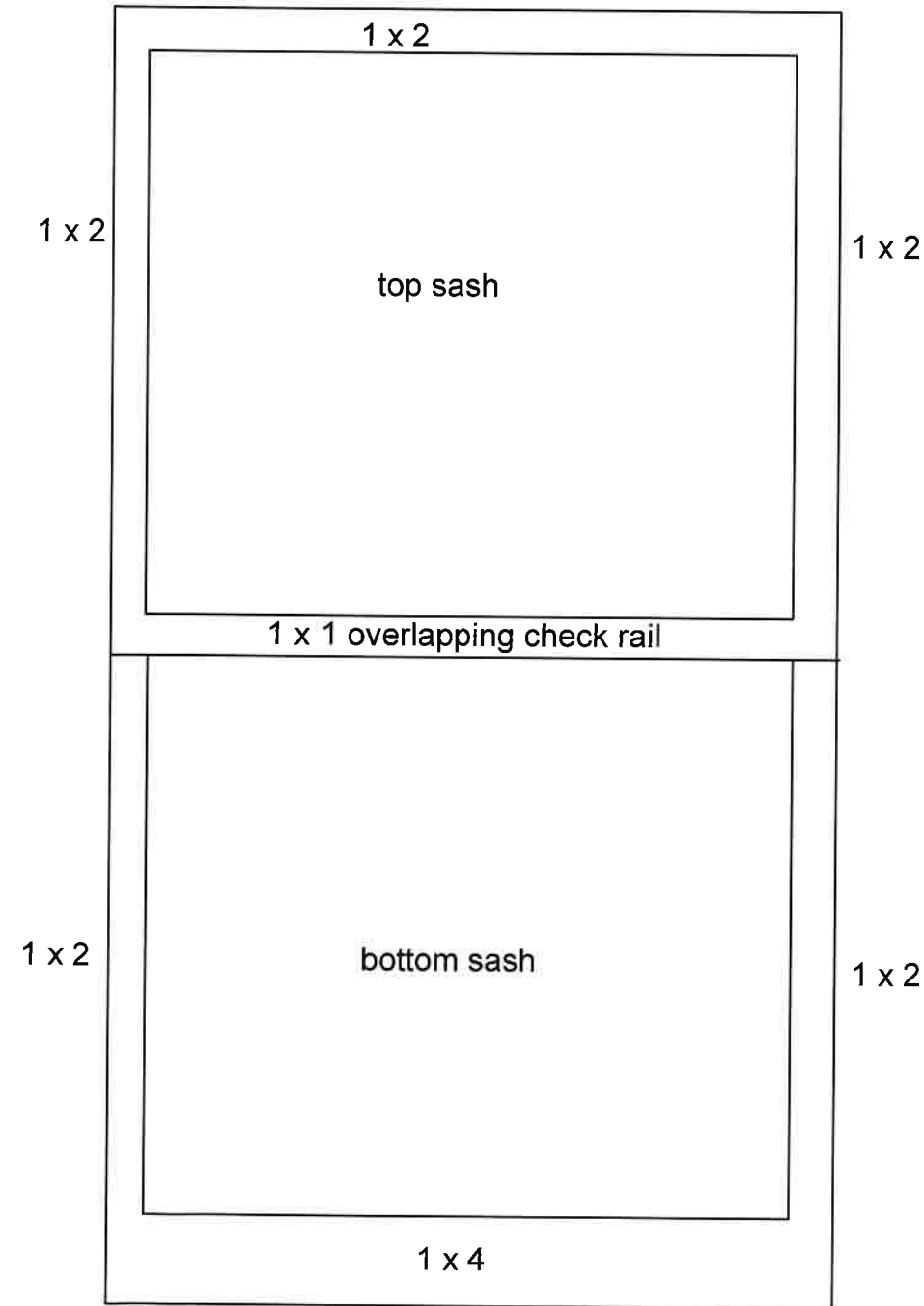


**Downs Window Notes**

Upstairs window RO approx. 36" x 50"  
 Mudroom window RO 24" x 36"

Exterior Trim details to be preserved  
 Window Materials - wood interior, wood exterior, no metal or vinyl cladding

Maintain the following historic window proportions as close as possible, Brand TBD:



DRAWN BY: Nick Donovan  
 DESIGNER/SALES  
 ndonovan@peacockandco.com  
 514-284-4442

Window Notes

SHEET TITLE:

PROJECT: Downs, Joan  
 605 Rex St.  
 South Bend, IN 46616

**PEACOCK**  
 & COMPANY

DATE:

8/28/2019

SCALE:

1/4"=1'0"

SHEET:

**A-8**



**Superior**

Aluminum Residential  
**Railing & Columns**

SERIES  
**600**



**Versatile Railing & Columns for Residential Use**

[www.superioraluminum.com](http://www.superioraluminum.com)





# Custom Aluminum Residential Railings and Columns

SERIES 600

Superior Series 600 Custom Aluminum Railings offer the most design features for the residential or low rise, garden-type apartment market. High quality aluminum extrusions and castings are used to provide maximum strength and support.

The Series 600 streamlined design presents an attractive appearance, while still maintaining the advantages of aluminum—strong, durable, and rust-free. These characteristics make aluminum railings a practical, sound investment for any owner concerned about overall cost.

Superior Series 600 Railings are custom-made to your specifications, and are available in heights from 32" to 42". This railing can be purchased factory assembled, or it can be purchased K-D and assembled at the jobsite.

## Consider the Advantages

**Versatility** - Complete range of sizes, three picket patterns and a wide variety of scrolls.

**Durability** - All aluminum construction, plus electrostatic painting or anodizing.

**Easy Installation** - Unique, no-weld design, utilizing cast aluminum fittings.

**Standard Railing** - Available in 32", 36" or 42" heights.

**Step Rails** - Furnished with swivel fittings - will adjust to any step angle.



Series 600 Railing with Decorative Inserts

Specify Superior Aluminum columns, inserts, and scrolls to add even more versatility to the Series 600 Railing.



Series 600 Railing with Superior Square Smooth Columns



Series 600 Railing with Series 600 Decorative Columns



Series 600 Railing with Superior Panel Columns



Series 600 Railing with Series 600 Decorative Columns

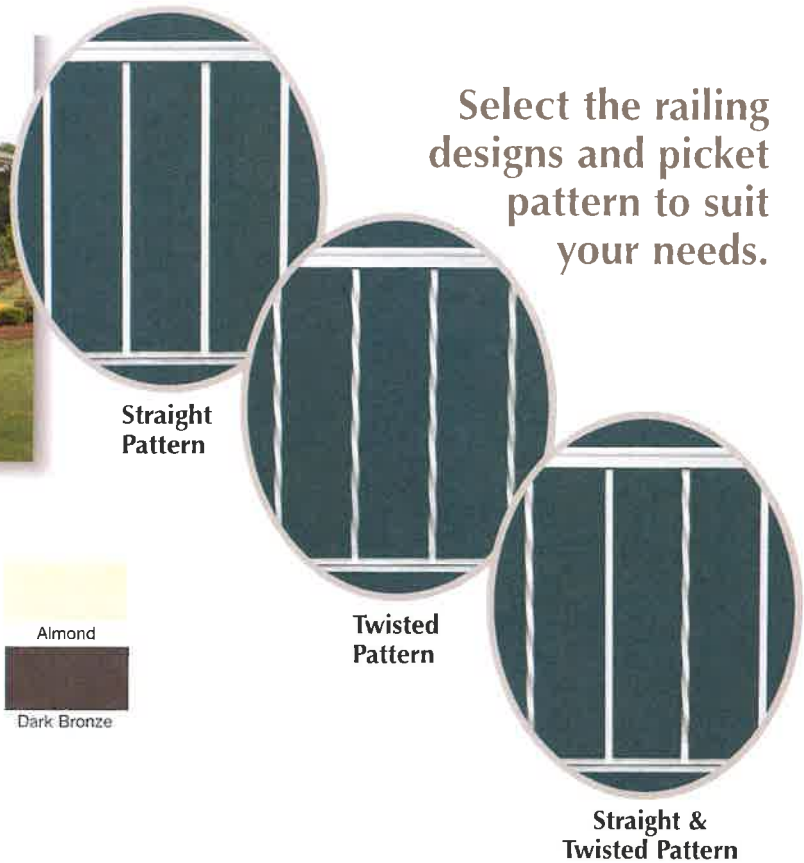




Series 600 Railing with Superior Round Fluted Columns

## Finishes

Seven decorative finishes add a distinctive touch to any building. Whether baked-on enamel or anodized, these finishes are guaranteed to endure for years of continued service and maintenance-free beauty.

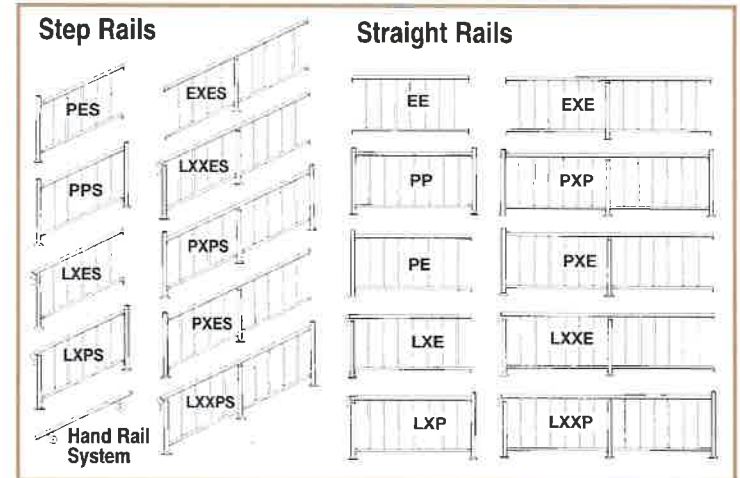


Select the railing designs and picket pattern to suit your needs.



Series 600 Railing with Superior Square Panel Columns.

## Design Selections



## Specifications

**MATERIALS** - All rails and posts shall be formed from 6063-T6 extruded aluminum alloys. All railing accessories shall be cast from ANSI 713 alloy. All exposed fasteners used in the system shall be aluminum or stainless steel.

**INSTALLATION** - The railing system shall consist of 1-1/2" square posts that can be either base mounted or embedded into concrete. The top rail shall be a minimum 1-1/2" wide and the bottom rail a minimum of 1-3/8" wide. Pickets shall be 1/2" square on approximately 6", 4", or 3" centers and shall run between the top and bottom rail. The rail shall be continuous lengths up to 16'. The railing system will adapt to step railing requirements by specifying a rectangular hole in the bottom rail.

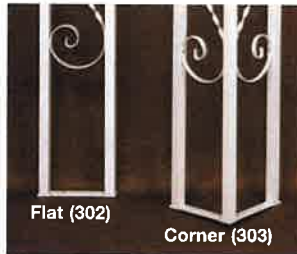
**SCOPE OF WORK** - Superior Series 600 Railing shall be manufactured and supplied by Superior Aluminum Products, Inc., 555 E. Main St., Russia, Ohio 45363.



# Superior Aluminum Decorative Columns for Beauty and Strength

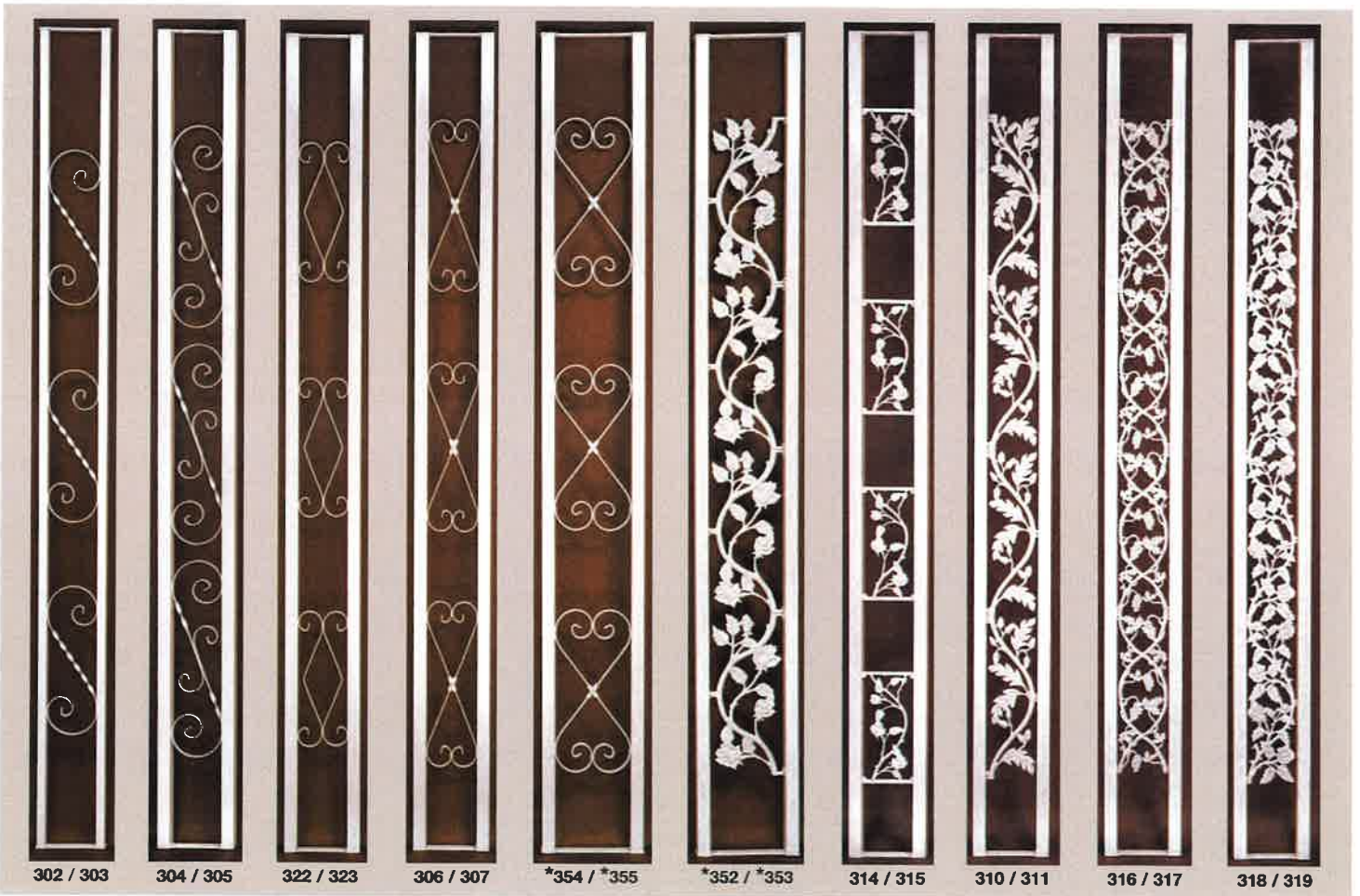
Use Superior Aluminum Columns to add architectural interest to any home, apartment, or small commercial building. Period or Contemporary. Old or New World look. There's a Superior column design to meet a wide spectrum of needs and tastes.

The delicate beauty of Superior Aluminum columns belies their rugged strength. A standard (8') 1-1/2" flat column, for example, can support up to 2,500 lbs. A 1-1/2" standard height corner column can support up to 6,500 lbs.! With Superior Aluminum Columns you get elegance and strength combined.



To order, use numbers shown below. Even numbers (302, 304, etc.) are flat columns; odd numbers (303, 305, etc.) are for corner columns.

Superior Series 900  
Railing with Series 600  
Decorative Columns.



## Ten Attractive Designs

All columns shown above are available in 1" Square Extruded Tube by 8" wide overall and in 1-1/2" Square Extruded Tube by 9" wide overall. The 352/353 and 354/355 designs are also available in 1-1/2" Square Extruded Tube by 12" wide overall and available with 2" or 2-1/2" square tubing.

Standard columns are fabricated 8 ft. high with top and bottom brackets. Custom heights are available as required. The 9" columns are available in all colors, while the 8" columns are available in white, black, anodized and mill.

**NOTE:** Designs (352, 353, 354, and 355, marked with an asterisk), are shown as a 12" wide column.

**NOTE:** No. 302 & 303 designs are shown in the 1" Extruded Tube size by 8" wide, however, it is also available in the standard 1-1/2" x 9" size.

**Superior Aluminum Products, Inc.**

555 E. MAIN STREET, P.O. BOX 430, RUSSIA, OHIO 45363

Phone (937) 526-4065

Fax (937) 526-3904

Our Website: [www.superioraluminum.com](http://www.superioraluminum.com)

E-mail address: [info@superioraluminum.com](mailto:info@superioraluminum.com)