

# STAFF REPORT

## CONCERNING APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS



**Date:** August 13, 2019

**Application Number:** 2019-0805

**Property Location:** 819 Park Avenue

**Architectural Style/Date/Architect or Builder:** “Calvert House” Gabled-T / Spindlework / 1890

**Property Owner:** Jim and Tracy Hickey

**Landmark or District Designation:** Chapin Park Local (Ordinance #9574-05) and National Historic District

**Rating:** *Outstanding*

**DESCRIPTION OF STRUCTURE/SITE:** Two story Gabled-T (irregular plan) on a brick foundation. A central brick chimney punctuates the asphalt-shingled cross-gabled roof that has molded cornice rake. A flat dormer is at the rear. The walls are wood clapboard with fish-scale and chisel shingles in the front gables. The street-facing façade has a full-width front porch with spindle columns and balustrade, as well as a gable over the entrance with shingles. The windows are one-over-one double-hung; the second-story windows have a bracketed projecting entablature with dentils.

**ALTERATIONS:** The full-length rear addition is rumored to be a later addition, but the 1899 Sanborn map shows the house in the current configuration. The 1932 Assessor Card indicates that the property was remodeled in 1907 and 1921, and that the property was listed as a ‘Duplex residence’. At some point a stairwell was added to access the second story (when the structure was subdivided into multiple units). The rear garage was constructed sometime prior to 1917.

**APPLICATION ITEMS:** *“Replace window at back of house with French Door in order to have direct entrance and exit to and from backyard. Placement of door is in part of house that was an earlier addition and not original to the house. Door is facing 1 car garage and cannot be seen from alley.”*

**DESCRIPTION OF PROPOSED PROJECT:** Applicant seeks a Certificate of Appropriateness for changes on the structure:

1. Remove a one-over-one window at the rear of the structure,
2. Install Andersen 400 Series FWH6068 patio doors,
  - a. Vinyl covered exterior,
  - b. 6’0” W x 6’8” H
3. Install steps to newly installed back entrance
  - a. Applicant was encouraged to consider a wooden stepped option, as it is an interim solution.

The rear addition does not exhibit the same ‘original’ windows as the remainder of the house. The rear of the property is private and enclosed, and not visible from the alley. To enter the back yard, the resident must exit the front of the structure and walk around the side of the house (or go upstairs and exit down the rear stair well). The applicant desires to create access directly from the house to the rear yard.

Andersen patio doors are available in four product lines (arranged from most inexpensive to most expensive): 200 Series, 400 Series Frenchwood, A-Series, and E-Series. The applicant selected the 400 Series Frenchwood, which is a vinyl-clad wood door. Staff would prefer to see an aluminum-clad patio door selected in lieu of the 400 Series Frenchwood.

The applicant indicated that there is interest and desire to construct a rear patio / porch (connecting the existing stairwell access to the new proposed entrance), but that the current application is for a temporary stair access. The

applicant expressed interest in returning to the Commission with plans for a new patio in subsequent years once funding was secured for that project.

**SITE VISIT REPORT:** N/A

**STANDARDS AND GUIDELINES: CHAPIN PARK**

**II. EXISTING STRUCTURES**

**A. BUILDING MATERIALS**

Original exterior building materials in the district include brick, stucco, clapboard, wood shingles, and brick or stone masonry. In some instances, vinyl, composite and aluminum siding have been applied over the original material.

**Required**

Original exterior building materials shall be retained when possible. Deterioration of wood materials shall be prevented through repair, cleaning and painting. The existing architectural detail around windows, porches, doors and eaves shall be retained or replaced by replicas of the same design when deteriorated beyond repair.

Masonry, including brick and stucco structures, shall be maintained, and properly cleaned only when necessary to halt deterioration or to remove stains and shall be done in a method acceptable for the preservation of the surface: i.e. low-pressure water and soft natural bristle brushes. Brick or masonry mortar joints should be repointed only when there is evidence of moisture problems, or when sufficient mortar is missing to allow water to stand in the mortar joint. Existing mortar shall be duplicated in composition, color, texture, joint size, method of application and joint profile.

When repairing stucco, stucco mixture shall be used. A professional shall make a study of the old stucco, to determine the exact mixture and underlayment used in the original work. Some repair methods are not compatible with the original techniques and may cause early disintegration of the repair work and the original work.

Ample ventilation must be afforded the structure when siding is installed, in order to prevent increased deterioration of the structure from moisture and insects.

**Recommended**

**Whenever possible, the original building materials should be restored. When maintaining or repairing original siding is not feasible, aluminum, vinyl or composite siding may be used. When used over wood surfaces, this siding should be the same size and style as the original wood. Every effort should be made to retain the original trim around windows, doors, cornices gables, eaves and other architectural features.**

Property owners should contact the Historic Preservation Commission of South Bend and St. Joseph County prior to initiating any restoration or rehabilitation effort. [ Address and contact information is listed in the front of the Guidebook.] The Commission is an invaluable source of information about all facets of rehabilitation and restoration – materials, methods, contractors and the like.

**Prohibited**

Wood siding shall not be resurfaced with new materials that is inappropriate or was unavailable when the building was constructed, such as artificial stone, brick veneer, asbestos or asphalt shingles.

Sandblasting or the use of harsh detergents shall not be used on masonry including brick, stucco, limestone, flagstone and sandstone. This method of cleaning erodes the surface material and accelerates deterioration.

Repointing shall not be done with a mortar of high Portland cement content which can often create a bond that is stronger than the building material. Usage of Portland cement can cause deterioration as a result of the differing coefficient of expansion and porosity of the historic masonry unit and the mortar. This most often results in serious damage to adjacent brick.

Unpainted masonry surfaces shall not be painted unless they had been painted originally. Paint shall not be removed from masonry surfaces by any means that damage the surface.

**Not Recommended**

Waterproof or water repellent coatings or surface consolidation treatments should not be used on masonry surfaces unless required to solve a specific problem that has been studied and identified. Coatings are frequently unnecessary and expensive, and can accelerate deterioration of the masonry. Mortar joints, which do not need repointing, should not be repointed. Wood siding should not be power-washed.

**C. WINDOWS AND DOORS**

Window and door frames are in most cases wood and vary depending upon the style of the home. Many are double-hung windows with wood trim and sills. Brick structures have stone sills and brick lintels. In some cases where aluminum siding has been applied, the window and door trim has been covered. About half of the structures in the district have aluminum storm windows; the other half have wood storm windows.

**Required**

**Original windows and doors shall be retained including sashes, lintels, sills, shutters, decorative glass, pediments, hoods and hardware. When deteriorated beyond repair, they shall be replaced with units and trim resembling the original.**

**Recommended**

**Wood storm windows and doors painted or finished to match the original should be used but should not damage existing frames. If new sashes or doors are installed, the existing or original materials, design and hardware should be used. When metal storm doors are used, they should be painted, anodized or coated to match the existing.** When awnings are used, they should be of canvas material.

**D. ENTRANCES, PORCHES AND STEPS**

**Most houses in the district have either an open or enclosed porch across the front. Most porches have either hip or gabled roofs or are covered by the main roof of the house.**

**Required**

**When deteriorated beyond repair, existing or original porches, stoops, patios and steps, including handrails, balusters, columns, brackets, tiles and roof decorations, shall be retained or replaced by replicas of the same design or by a design more in keeping with the historic period of the structure.**

**Porches and additions reflecting later architectural styles and which are important to the building's historical integrity shall be retained.**

**Recommended**

**When enclosing porches for heat conservation or for other reasons, it should be done in a manner that does not alter the architectural or historical character of the building.**

**Not Recommended**

**Original porch details should not be replaced with materials representing a different period or style from the original.**

**III. NEW CONSTRUCTION**

New construction includes any new building or structure built within the boundaries of the historic district, or any new addition to an existing building. New construction should be designed considering the appearance, scale, styles and setbacks of the other buildings in the neighborhood. New work may be contemporary or may suggest motifs from historic buildings in the district.

**A. HEIGHT AND PROPORTION**

The majority of the structures in the district are two stories in height and have square or rectangular plans. There are several houses that have L- or T- shaped or rambling ground plans. There are a few single-story cottages and one- and one-and-a-half story bungalows. The most prevalent façade proportions are between a 1:1 and 1:2 height to width ratio.

**Required**

The height of a new structure and its height to width proportions shall be consistent with adjacent buildings in the district. The building height shall be no greater than that of the tallest existing structure and no less than that of the lowest existing structure in the same block. Façade proportion shall be established by permitting no structure with a façade wider or narrower than those existing in the same block. Additions to the existing buildings shall be related in height and proportion to the existing structure.

**Recommended**

Design of new construction should be compatible in character and mood to the building or neighborhood.

**Prohibited**

Additions that would add new height or change the existing façade of a building, and change its scale and architectural character shall not be considered.

**Not Recommended**

New stories should not be added nor existing stories be removed which would destroy important architectural details, features and spaces of the building. Any style or period of architecture that is incompatible with the existing should not be permitted in the new additions.

**B. BUILDING MATERIALS**

**Wall materials in the district range from brick, stucco and wood clapboard and shingles, to aluminum, vinyl and fiberboard / composite siding.**

**Required**

**Exterior materials used on a new structure shall be compatible in scale, texture and color (as pertains to masonry) with adjacent structures. Materials used on an addition to an existing structure shall related to the existing or original materials of that structure. Also, as much of the original structure as possible shall be retained so that the addition could be removed without damage to the basic structure and appearance of the building.**

**Recommended**

**Alternative or composite siding may be used when it is the only feasible alternative. This siding should be compatible with the original size and style and with the materials of other buildings in the district.**

**Prohibited**

**Inappropriate materials such as asbestos, asphalt, cast stone or artificial brick shall not be used.**

**Not Recommended**

**Glass blocks should not be used. Concrete block should not be used for anything other than the foundations.**

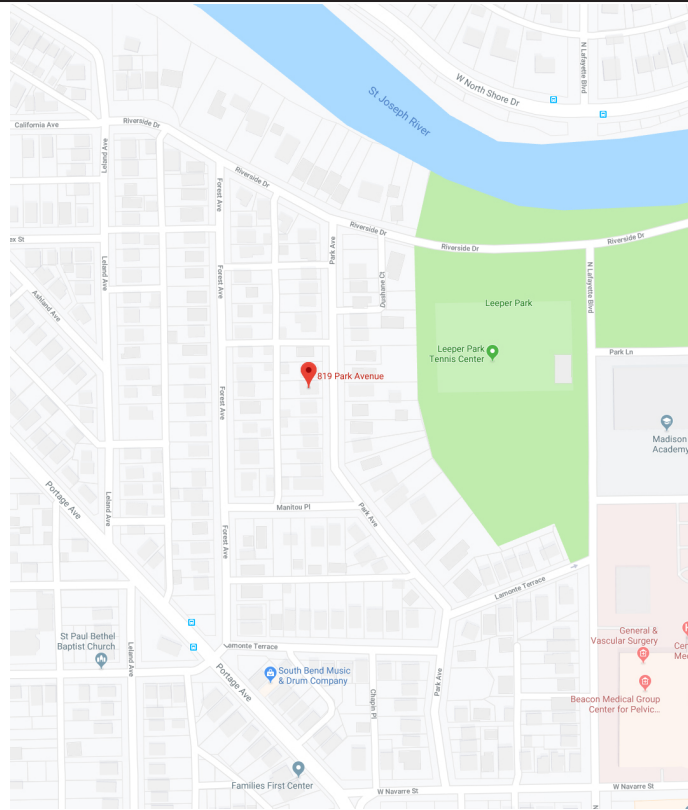
**STAFF RECOMMENDATION:** Staff recommends approval of the project, with the condition that final product selection of the proposed door be remanded to staff, as well as final design of the 'temporary' steps.

Prepared by  
Adam Toering  
Historic Preservation Specialist

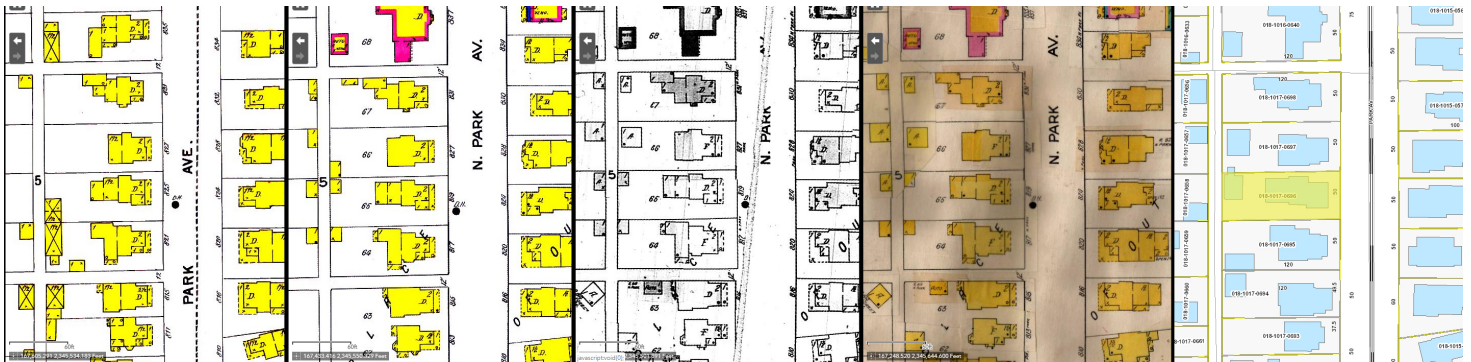
Recommendation by  
Elicia Feasel  
Historic Preservation Administrator

# HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

LOCATION MAP - Map showing location of the property and surrounding area (Google Maps)



AERIAL MAP - highlighted property on map



Sanborn 1897

1917

1945

1960

MACOG 2019



**HISTORIC PRESERVATION COMMISSION  
OF SOUTH BEND AND ST. JOSEPH COUNTY**

FRONT PICTURE (EAST) - Picture of the front of the building, August 2019.



REAR PICTURE (WEST) - Picture of the rear of the building, August 2019.







# HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

County—City Building, South Bend, IN 46601  
http://www.southbend.in.gov/government/departments/community-investment  
Phone: 574/235.9371 Fax: 574/235.9021  
Email: hpcbsjc@southbend.in.gov

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation  
Administrator

## APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS

**OFFICE USE ONLY** >>>>>> **DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX** <<<<<<< **OFFICE USE ONLY**

Date Received: 8/5/2019 Application Number: 2019 - 0805

Past Reviews:  YES (Date of Last Review) \_\_\_\_\_  NO

Staff Approval authorized by: \_\_\_\_\_ Title: \_\_\_\_\_

Historic Preservation Commission Review Date: 8/19/2019

Local Landmark  Local Historic District (Name) Chapin Park

National Landmark  National Register District (Name) Chapin Park

Certificate Of Appropriateness:  Denied  Tabled  Sent To Committee  Approved and issued: \_\_\_\_\_

Address of Property for proposed work: 819 Park Ave.  
(Street Number—Street Name—City—Zip)

Name of Property Owner(s): Tracy Hickey Phone #: 574-298-7655

Address of Property Owner(s): 819 Park Ave South Bend 46616  
(Street Number—Street Name—City—Zip)

Name of Contractor(s): Craig Harris Phone #: 574-215-9663

Contractor Company Name: Craig Harris Carpentry

Address of Contractor Company: 17344 state Rd 4 Goshen IN 46528  
(Street Number—Street Name—City—Zip)

Current Use of Building: Single - Family  
(Single Family—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)

Type of Building Construction: Wood Frame Door  
(Wood Frame—Brick—Stone—Steel—Concrete—Other)

Proposed Work: (more than one box may be checked)  Landscape  New  Replacement (not in-kind)  Demolition

Description of Proposed Work: Replace window at back of house with French Door in order to have direct entrance and exit to and from backyard. Placement of Door is in part of house that was an earlier addition and not original to house. Door is facing 1 Car Garage and can not be seen from Alley.

Owner e-mail: thickey2016@gmail.com and/or Contractor e-mail: \_\_\_\_\_

X Tracy Hickey and/or X \_\_\_\_\_  
Signature of Owner Signature of Contractor

By signing this application I agree to abide by all local regulations related to project and to obtain a Building Department Permit, if applicable.

—APPLICATION REQUIREMENTS ARE LISTED ON REVERSE SIDE—

AUG 05 2019 Rec 757996 MA



Andersen Windows - Abbreviated Quote Report

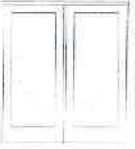



Project Name: Craig's Carpentry/Park Ave

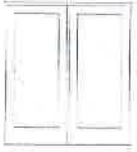
Quote #: 23498  
Dealer: Leatherman Supply Inc  
2423 Peddlers Village Road  
Goshen, IN 46528  
574-533-0597  
Sales Rep: Jason Dreier  
Created By:

Print Date: 06/27/2019

Quote Date: 06/27/2019 iQ Version: 19.0  
Customer: Craig's Carpentry  
Billing: 17346 SR 4  
Address: Goshen, IN 46528 United States  
Phone: 574-215-9663 Fax:  
Contact:  
Trade ID: 809967 Promotion Code:

Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
 Viewed from Exterior	0001	1 FWH6068 (PALR)	Active and Passive Handling	\$ 3335.54	\$ 3335.54
RO Size = 6' 0" W x 6' 8" H Unit Size = 5' 11 1/4" W x 6' 7 1/2" H					
400 Series Unit, Inswing, PALR Handing, White/PI White, High Performance Low-E4 Tempered Glass, Factory Applied White Hinges Gliding Insect Screen, White Track, Double Screen, 5 1/4", White Hardware Trim Set, FWH/FWO, Active/Passive, Tribeca - White Hardware, Construction Active Trim Set Hardware, Construction Passive Trim Set  U-Factor: 0.30, SHGC: 0.24					

 Viewed from Exterior	0002	1 FWH6068 (SAR)	Stationary/Active	\$ 2371.31	\$ 2371.31
RO Size = 6' 0" W x 6' 8" H Unit Size = 5' 11 1/4" W x 6' 7 1/2" H					
400 Series Unit, Inswing, SAR Handing, White/PI White, High Performance Low-E4 Tempered Glass, Factory Applied White Hinges Gliding Insect Screen, White Hardware Trim Set, FWH/FWO, RH, Tribeca - White  U-Factor: 0.30, SHGC: 0.24					



Viewed from Exterior

Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
0003	1	FWH6068 (PALR)	Active and Passive Handing No Screen	\$ 2764.87	\$ 2764.87
RO Size = 6' 0" W x 6' 8" H Unit Size = 5' 11 1/4" W x 6' 7 1/2" H 400 Series Unit, Inswing, PALR Handing, White/Pl White, High Performance Low-E4 Tempered Glass, Factory Applied White Hinges Hardware Trim Set, FWH/FWO, Active/Passive, Tribeca - White Hardware, Construction Active Trim Set Hardware, Construction Passive Trim Set U-Factor: 0.30, SHGC: 0.24					



Viewed from Exterior

0004	1	FWH6068 (SAR)	Stationary/Active No Screen	\$ 2220.33	\$ 2220.33
RO Size = 6' 0" W x 6' 8" H Unit Size = 5' 11 1/4" W x 6' 7 1/2" H 400 Series Unit, Inswing, SAR Handing, White/Pl White, High Performance Low-E4 Tempered Glass, Factory Applied White Hinges Hardware Trim Set, FWH/FWO, RH, Tribeca - White U-Factor: 0.30, SHGC: 0.24					

Customer Signature \_\_\_\_\_

Total Load Factor  
2.775

Subtotal	\$ 10,692.05
Tax ( 7.000%)	\$ 748.44
Grand Total	\$ 11,440.49

Dealer Signature \_\_\_\_\_

\*\* All graphics viewed from the exterior

\*\* Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.





**Andersen Windows - Abbreviated Quote Report**  
**Project Name: Craig's Carpentry/Park Ave**



Quote #: 23498  
 Dealer: Leatherman Supply Inc  
 2423 Peddlers Village Road  
 Goshen, IN 46528  
 574-533-0597  
 Sales Rep: Jason Dreier  
 Created By:

Print Date: 06/27/2019

Quote Date: 06/27/2019 iQ Version: 19.0  
 Customer: Craig's Carpentry  
 Billing: 17346 SR 4  
 Address: Goshen, IN 46528 United States  
 Phone: 574-215-9663 Fax:  
 Contact:  
 Trade ID: 809967 Promotion Code:

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0002	1	FWH6068 (SAR)	Stationary/Active	\$ 2371.31	\$ 2371.31
RO Size = 6' 0" W x 6' 8" H Unit Size = 5' 11 1/4" W x 6' 7 1/2" H 400 Series Unit, Inswing, SAR Handing, White/PI White, High Performance Low-E4 Tempered Glass, Factory Applied White Hinges Gliding Insect Screen, White Hardware Trim Set, FWH/FWO, RH, Tribeca - White U-Factor: 0.30, SHGC: 0.24					



Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
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Customer Signature \_\_\_\_\_

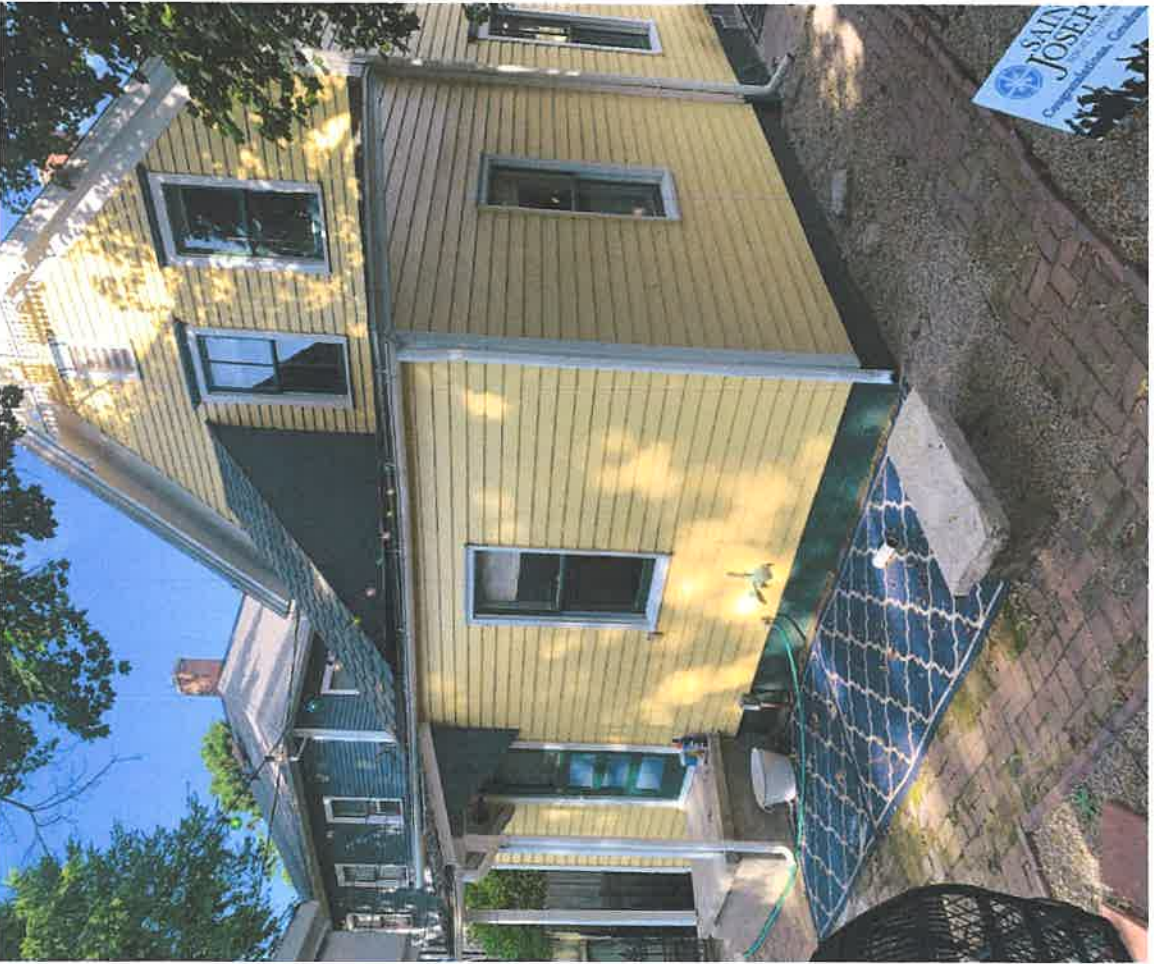
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Subtotal	\$ 10,692.05
Tax ( 7.000%)	\$ 748.44
Grand Total	\$ 11,440.49

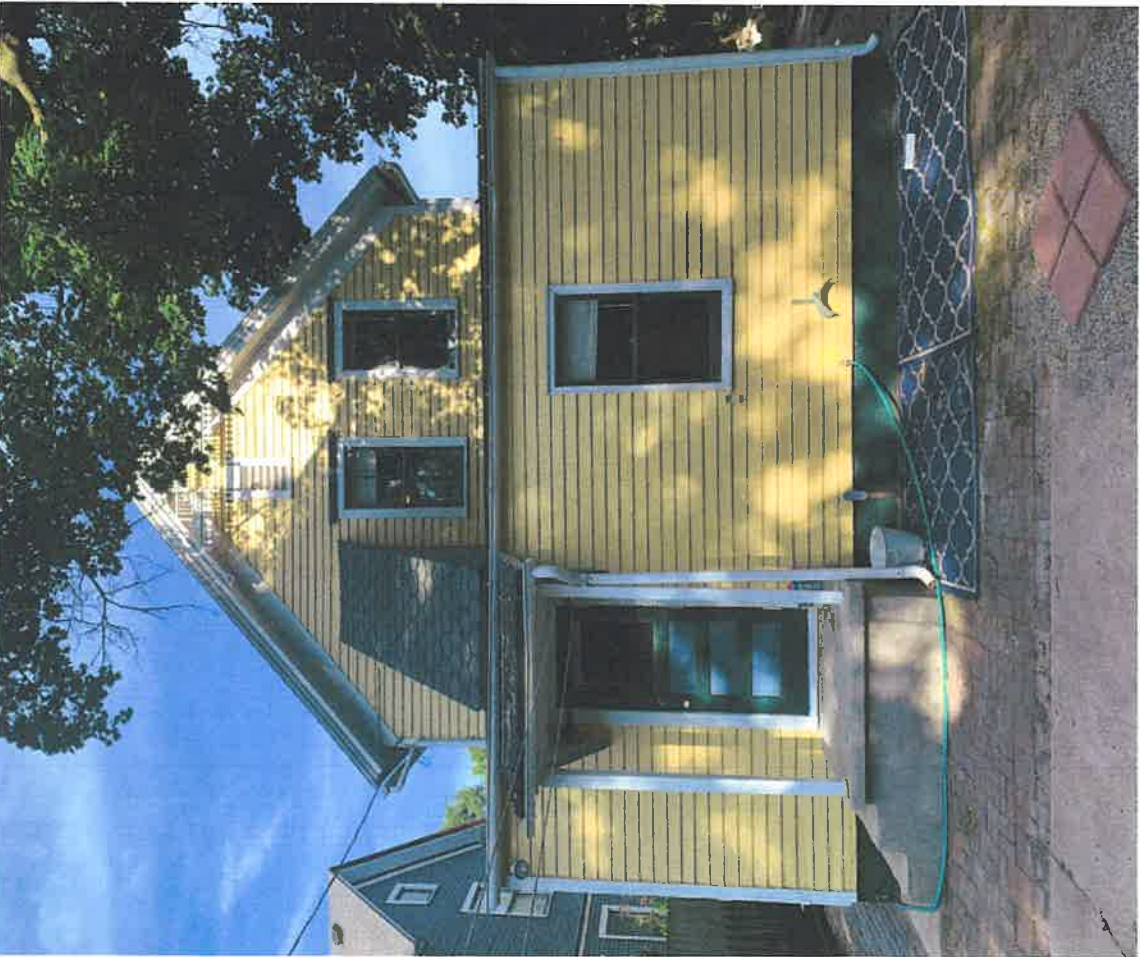
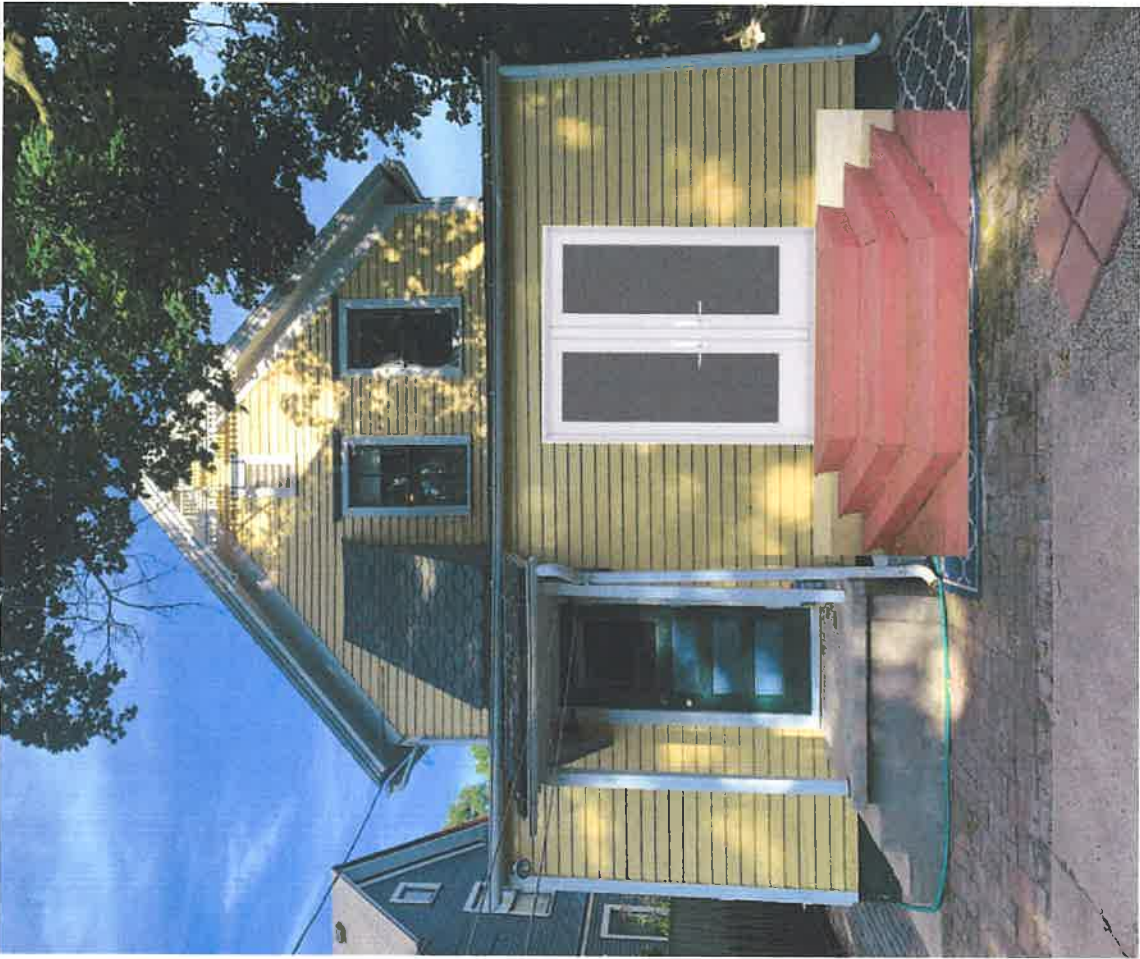
Dealer Signature \_\_\_\_\_

\*\* All graphics viewed from the exterior

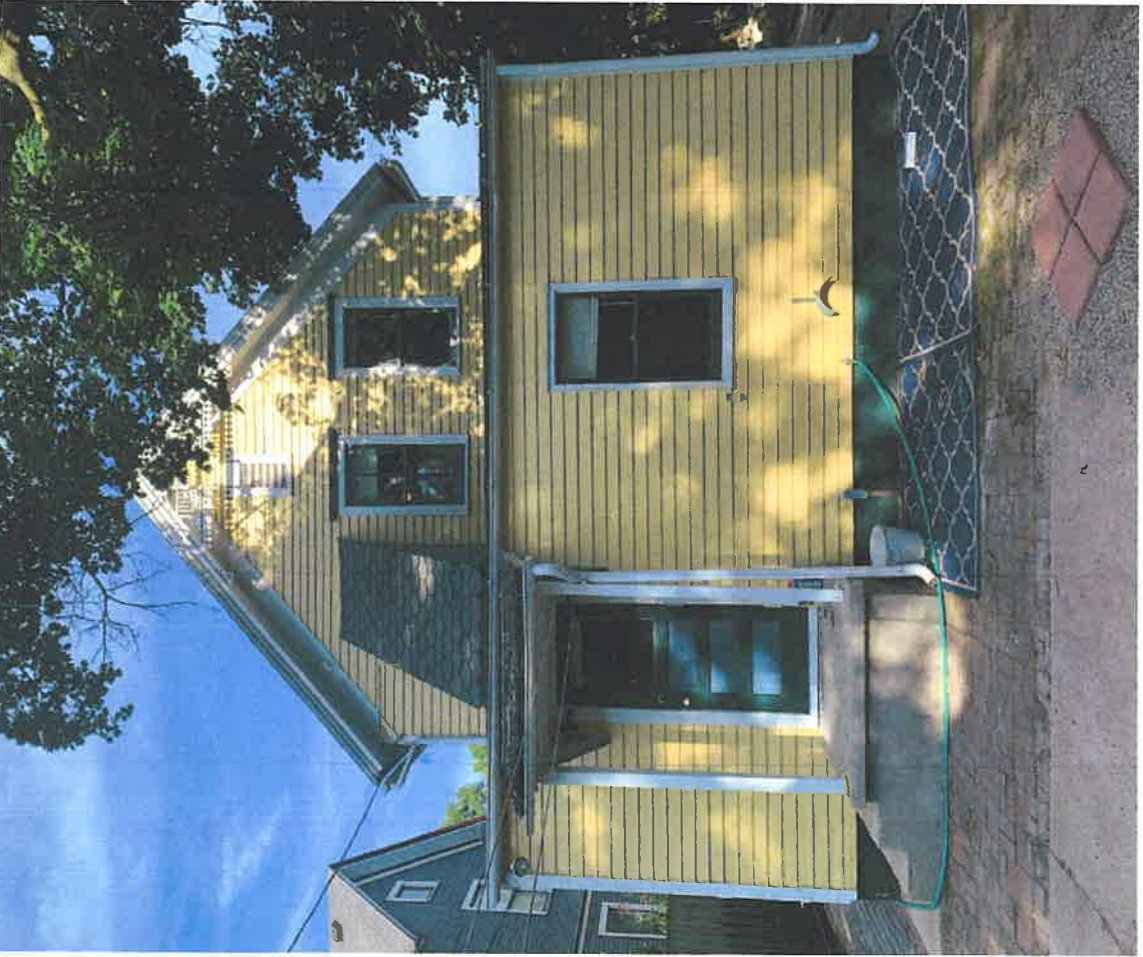
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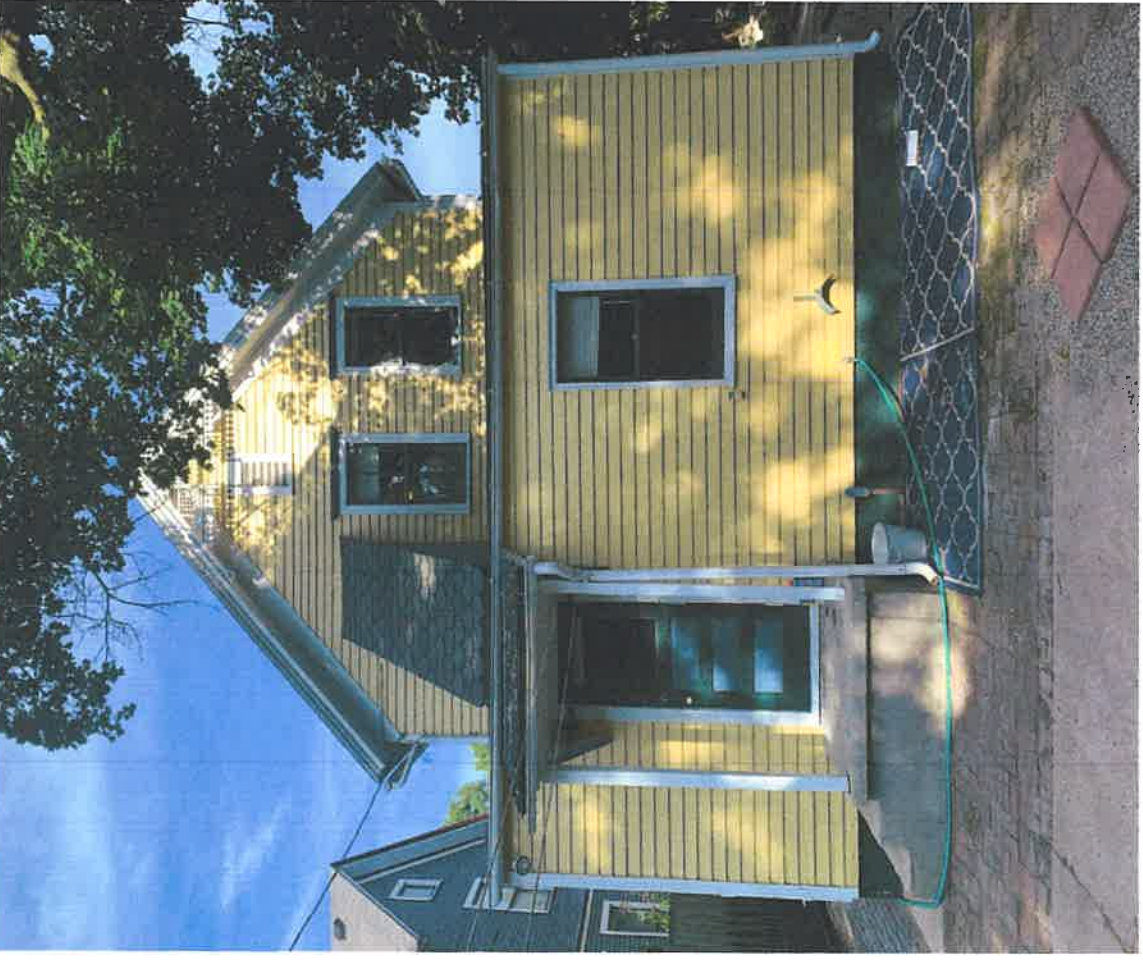




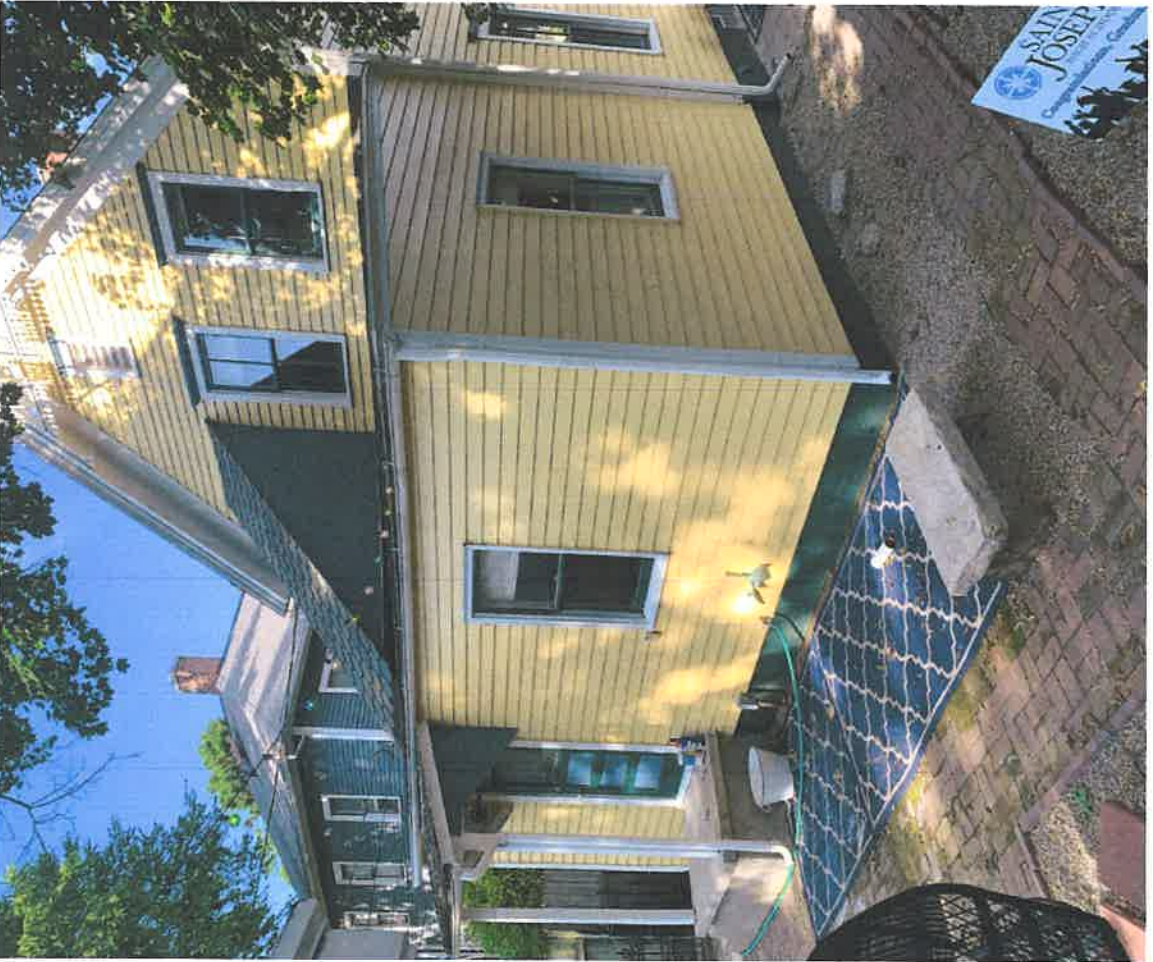




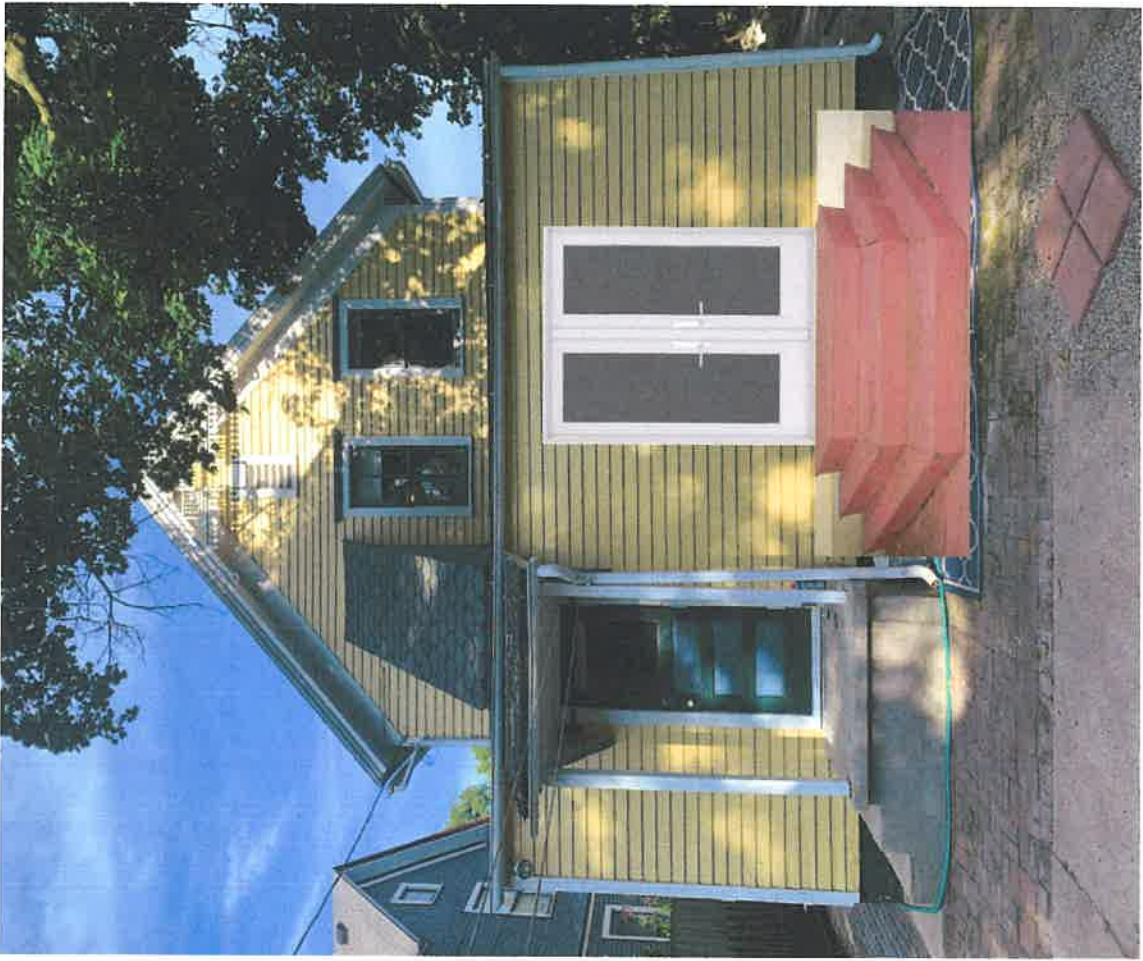














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