

STAFF REPORT

CONCERNING APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS



Date: June 13, 2019

Application Number: 2019-0603C

Property Location: 417 W Navarre Avenue

Architectural Style/Date/Architect or Builder: Queen Anne / 1919

Property Owner: Peter and Virginia Wallace

Landmark or District Designation: Chapin Park Local (Ordinance #9574-05)
and National Historic District

Rating: *Outstanding*

DESCRIPTION OF STRUCTURE/SITE: Three story Queen Anne (irregular plan) on a brick foundation. Two chimneys punctuate the roof line and have decorative vertical brick string course, polygonal appearance due to central pinching. The wood shingles decorate the exterior as well as the peaks on the second story, with clapboard elsewhere. Considerable decoration is on the west face of the second story. The roof is hipped with gables, barge board on the gables, and has a molded cornice. The south face has an enclosed brick porch with wall and pillars, stone sills, and double-hung sashes. The front entrance was formerly composed of wood double-leaf multi-paned doors with glass in upper quarter. Original screened French doors exist.

ALTERATIONS: Administrative Approval #2019-0603 allowed for trimming overgrown vegetation from the fence-line, deck, and exterior grounds of the house. AA 2019-0402A allowed for the repair and reconstruction of both chimneys with existing material. Exterior doors were removed and replaced without permit or approval in the summer of 2018. RME #2018-0725A allowed for trimming overgrown vegetation from the fence-line, deck, and around the house. RME #2018-0517A allowed for the removal and replacement of the roof. COA #2016-0218 allowed for the in-kind repair of rear exterior window stairs and repair wood siding, as well as the trimming of vegetation 18” from the structure. COA #2013-1202A allowed for the in-kind replacement of a 32” x 85” wood frame window.

APPLICATION ITEMS: *“Remove outside basement stair well, removing rear porch, and using existing foundation footprint for addition. Moving existing window to pantry, adding three windows to match existing kitchen windows, adding kitchen / laundry room / using matching siding/trim.”*

DESCRIPTION OF PROPOSED PROJECT: Applicant seeks a Certificate of Appropriateness for changes on the structure:

1. The enclosure of the rear porch, replicating and extending the existing wood siding,
2. New foundation porch masonry to enclose the existing cavity with matching material,
3. The enclosure of the existing basement exterior entrance with a metal hatch door(s),
4. The removal of the northern stair to the exterior porch,
5. The removal of one, and the subsequent addition of two windows to the north façade of the enclosed porch,
6. The removal of the existing north façade window – this window will be moved to the eastern wall of the pantry area,
7. The reinstallation of the existing rear porch door on the western side of the enclosed porch.

The above modifications are to increase/extend the existing kitchen area, as well as mitigate current water infiltration to the structure through the basement entrance. All changes will be executed with like-in-kind materials (wood, concrete, and brick).

The applicant is considering window options and plans to investigate the viability of existing HPC window stock as a potential solution.

SITE VISIT REPORT: Preservation Specialist Toering visited the site on June 10, 2019 to discuss the proposed project and photograph the project areas. Windows and doors described as being re-used are in good/stable condition and would make excellent candidates for transfer to the new locations. The existing basement access creates a water-ingress opportunity as well as a security concern; staff recommends the space be enclosed.

STANDARDS AND GUIDELINES: CHAPIN PARK

II. EXISTING STRUCTURES

A. BUILDING MATERIALS

Original exterior building materials in the district include brick, stucco, clapboard, wood shingles, and brick or stone masonry. In some instances, vinyl, composite and aluminum siding have been applied over the original material.

Required

Original exterior building materials shall be retained when possible. Deterioration of wood materials shall be prevented through repair, cleaning and painting. The existing architectural detail around windows, porches, doors and eaves shall be retained or replaced by replicas of the same design when deteriorated beyond repair.

Masonry, including brick and stucco structures, shall be maintained, and properly cleaned only when necessary to halt deterioration or to remove stains and shall be done in a method acceptable for the preservation of the surface: i.e. low-pressure water and soft natural bristle brushes. Brick or masonry mortar joints should be repointed only when there is evidence of moisture problems, or when sufficient mortar is missing to allow water to stand in the mortar joint. Existing mortar shall be duplicated in composition, color, texture, joint size, method of application and joint profile.

When repairing stucco, stucco mixture shall be used. A professional shall make a study of the old stucco, to determine the exact mixture and underlayment used in the original work. Some repair methods are not compatible with the original techniques and may cause early disintegration of the repair work and the original work.

Ample ventilation must be afforded the structure when siding is installed, in order to prevent increased deterioration of the structure from moisture and insects.

Recommended

Whenever possible, the original building materials should be restored. When maintaining or repairing original siding is not feasible, aluminum, vinyl or composite siding may be used. When used over wood surfaces, this siding should be the same size and style as the original wood. Every effort should be made to retain the original trim around windows, doors, cornices gables, eaves and other architectural features.

Property owners should contact the Historic Preservation Commission of South Bend and St. Joseph County prior to initiating any restoration or rehabilitation effort. [Address and contact information is listed in the front of the Guidebook.] The Commission is an invaluable source of information about all facets of rehabilitation and restoration – materials, methods, contractors and the like.

Prohibited

Wood siding shall not be resurfaced with new materials that is inappropriate or was unavailable when the building was constructed, such as artificial stone, brick veneer, asbestos or asphalt shingles.

Sandblasting or the use of harsh detergents shall not be used on masonry including brick, stucco, limestone, flagstone and sandstone. This method of cleaning erodes the surface material and accelerates deterioration.

Repointing shall not be done with a mortar of high Portland cement content which can often create a bond that is stronger than the building material. Usage of Portland cement can cause deterioration as a result of the differing coefficient of expansion and porosity of the historic masonry unit and the mortar. This most often results in serious damage to adjacent brick.

Unpainted masonry surfaces shall not be painted unless they had been painted originally. Paint shall not be removed from masonry surfaces by any means that damage the surface.

Not Recommended

Waterproof or water repellent coatings or surface consolidation treatments should not be used on masonry surfaces unless required to solve a specific problem that has been studied and identified. Coatings are frequently unnecessary and expensive, and can accelerate deterioration of the masonry. Mortar joints, which do not need repointing, should not be repointed. Wood siding should not be power-washed.

B. ROOFS AND ROOFING

Roof shapes in the district encompass all the various designs found in residential structures: hipped, gabled, gambrel, flat and combinations of these. Roofs are covered with a variety of materials such as asphalt, asbestos, wood and slate shingles as well as clay tiles. Residences in most cases have wood fascias with gutters and downspouts. The fascias of some vinyl- and aluminum-sided houses are covered with the same materials.

Required

The existing shape and type of materials of the roof shall be retained. All architectural features, which give the roof its essential character, shall be retained, including dormer windows, cupolas, cornices, brackets, chimneys, cresting and weather vanes.

Recommended

The original shape and materials of the roof should be restored. Particular effort should be made to retain materials such as slate, tile and other unique materials not commonly found in new construction. Roof covering which is deteriorated beyond repair should be replaced with new material that matches as closely as possible the original in composition, size, shape, color and texture. Gutters and downspouts are often a necessary adjunct in order to prevent deterioration of the structure; they should be maintained whenever possible or replaced with a style comparable and suitable to the architectural period.

Prohibited

Nothing shall be done to change the essential character of the roof as viewed from a street by adding architectural features or large unsightly fixtures, or by using materials inappropriate to the style of the house. The roof shall not be stripped of architectural features important to its character.

Not Recommended

Overhanging eaves, soffit, brackets and gables should not be covered or enclosed when adding siding to a building.

C. WINDOWS AND DOORS

Window and door frames are in most cases wood and vary depending upon the style of the home. Many are double-hung windows with wood trim and sills. Brick structures have stone sills and brick lintels. In some cases where aluminum siding has been applied, the window and door trim has been covered. About half of the structures in the district have aluminum storm windows; the other half have wood storm windows.

Required

Original windows and doors shall be retained including sashes, lintels, sills, shutters, decorative glass, pediments, hoods and hardware. When deteriorated beyond repair, they shall be replaced with units and trim resembling the original.

Recommended

Wood storm windows and doors painted or finished to match the original should be used but should not damage existing frames. If new sashes or doors are installed, the existing or original materials, design and hardware should be used. When metal storm doors are used, they should be painted, anodized or coated to match the existing. When awnings are used, they should be of canvas material.

D. ENTRANCES, PORCHES AND STEPS

Most houses in the district have either an open or enclosed porch across the front. Most porches have either hip or gabled roofs or are covered by the main roof of the house.

Required

When deteriorated beyond repair, existing or original porches, stoops, patios and steps, including handrails, balusters, columns, brackets, tiles and roof decorations, shall be retained or replaced by replicas of the same design or by a design more in keeping with the historic period of the structure.

Porches and additions reflecting later architectural styles and which are important to the building's historical integrity shall be retained.

Recommended

When enclosing porches for heat conservation or for other reasons, it should be done in a manner that does not alter the architectural or historical character of the building.

Not Recommended

Original porch details should not be replaced with materials representing a different period or style from the original.

III. NEW CONSTRUCTION

New construction includes any new building or structure built within the boundaries of the historic district, or any new addition to an existing building. New construction should be designed considering the appearance, scale, styles and setbacks of the other buildings in the neighborhood. New work may be contemporary or may suggest motifs from historic buildings in the district.

A. HEIGHT AND PROPORTION

The majority of the structures in the district are two stories in height and have square or rectangular plans. There are several houses that have L- or T- shaped or rambling ground plans. There are a few single-story cottages and one- and one-and-a-half story bungalows. The most prevalent façade proportions are between a 1:1 and 1:2 height to width ratio.

Required

The height of a new structure and its height to width proportions shall be consistent with adjacent buildings in the district. The building height shall be no greater than that of the tallest existing structure and no less than that of the lowest existing structure in the same block. Façade proportion shall be established by permitting no structure with a façade wider or narrower than those existing in the same block. Additions to the existing buildings shall be related in height and proportion to the existing structure.

Recommended

Design of new construction should be compatible in character and mood to the building or neighborhood.

Prohibited

Additions that would add new height or change the existing façade of a building, and change its scale and architectural character shall not be considered.

Not Recommended

New stories should not be added nor existing stories be removed which would destroy important architectural details, features and spaces of the building. Any style or period of architecture that is incompatible with the existing should not be permitted in the new additions.

B. BUILDING MATERIALS

Wall materials in the district range from brick, stucco and wood clapboard and shingles, to aluminum, vinyl and fiberboard / composite siding.

Required

Exterior materials used on a new structure shall be compatible in scale, texture and color (as pertains to masonry) with adjacent structures. Materials used on an addition to an existing structure shall related to the existing or original materials of that structure. Also, as much of the original structure as possible shall be retained so that the addition could be removed without damage to the basic structure and appearance of the building.

Recommended

Alternative or composite siding may be used when it is the only feasible alternative. This siding should be compatible with the original size and style and with the materials of other buildings in the district.

Prohibited

Inappropriate materials such as asbestos, asphalt, cast stone or artificial brick shall not be used.

Not Recommended

Glass blocks should not be used. Concrete block should not be used for anything other than the foundations.

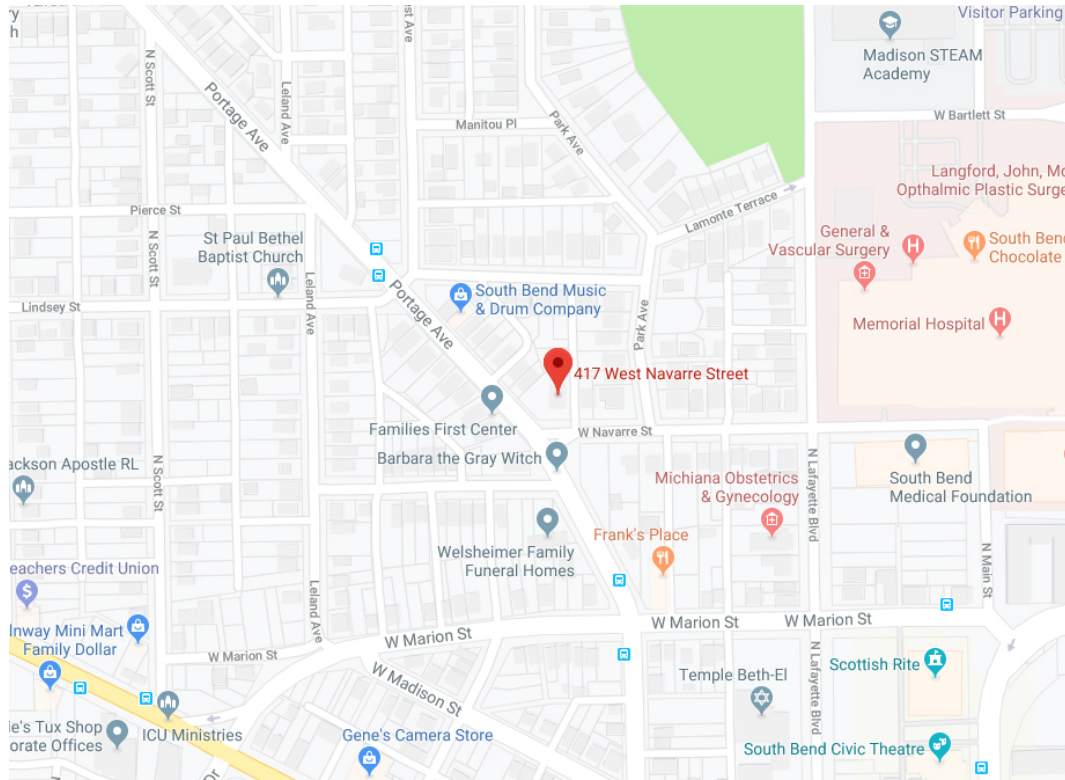
STAFF RECOMMENDATION: Staff recommends approval of the project as submitted, with the request that final window and basement product selection be relegated to staff.

Prepared by
Adam Toering
Historic Preservation Specialist

Recommendation by
Elicia Feasel
Historic Preservation Administrator

HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

LOCATION MAP - Map showing location of the property and surrounding area (Google Maps)



AERIAL MAP - highlighted property on map



Sanborn: 1899

1917

1945

1960

MACOG 2019

**HISTORIC PRESERVATION COMMISSION
OF SOUTH BEND AND ST. JOSEPH COUNTY**

FRONT PICTURE (SOUTH) - Picture of the front of the building, June 2019.



REAR PICTURE (NORTH) - Picture of the rear of the building, June 2019



**HISTORIC PRESERVATION COMMISSION
OF SOUTH BEND AND ST. JOSEPH COUNTY**

SIDE PICTURE (WEST) - Picture of the side of the building, June 2019.



Rear Porch Detail (North) - Window at left to be moved to blank wall at right. June 2019



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HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

County—City Building, South Bend, IN 46601

http://www.southbendin.gov/government/departments/community-investment

Phone: 574/235.9371

Fax: 574/235.9021

Email: hpcsbsjc@southbendin.gov

Michele Gelfman, President

A Certified Local Government of the National Park Service

Elicia Feasel, Historic Preservation
Administrator

APPLICATION FOR A — CERTIFICATE OF APPROPRIATENESS

OFFICE USE ONLY>>>>>DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX<<<<<OFFICE USE ONLY

Date Received: 6/3/2019 Application Number: 2019 - 0603 C

Past Reviews: YES (Date of Last Review) NO

Staff Approval authorized by: _____ Title: _____

Historic Preservation Commission Review Date: _____

Local Landmark Local Historic District (Name) Chepin Park
 National Landmark National Register District (Name) Chepin Park

Certificate Of Appropriateness:
 Denied Tabled Sent To Committee Approved and issued: _____

Address of Property for proposed work: 417 W. Navarre St, South Bend, IN 46616
(Street Number—Street Name—City—Zip)

Name of Property Owner(s): Peter + Virginia Wallace Phone #: 574-485-7023

Address of Property Owner(s): 417 W. Navarre St, South Bend, IN 46616
(Street Number—Street Name—City—Zip)

Name of Contractor(s): Self Phone #: _____

Contractor Company Name: _____

Address of Contractor Company: _____
(Street Number—Street Name—City—Zip)

Current Use of Building: (Single Family)—Multi-Family—Commercial—Government—Industrial—Vacant—etc.)

Type of Building Construction: _____
(Wood Frame—Brick—Stone—Steel—Concrete—Other)

Proposed Work: (more than one box may be checked) Landscape New Replacement (not in-kind) Demolition

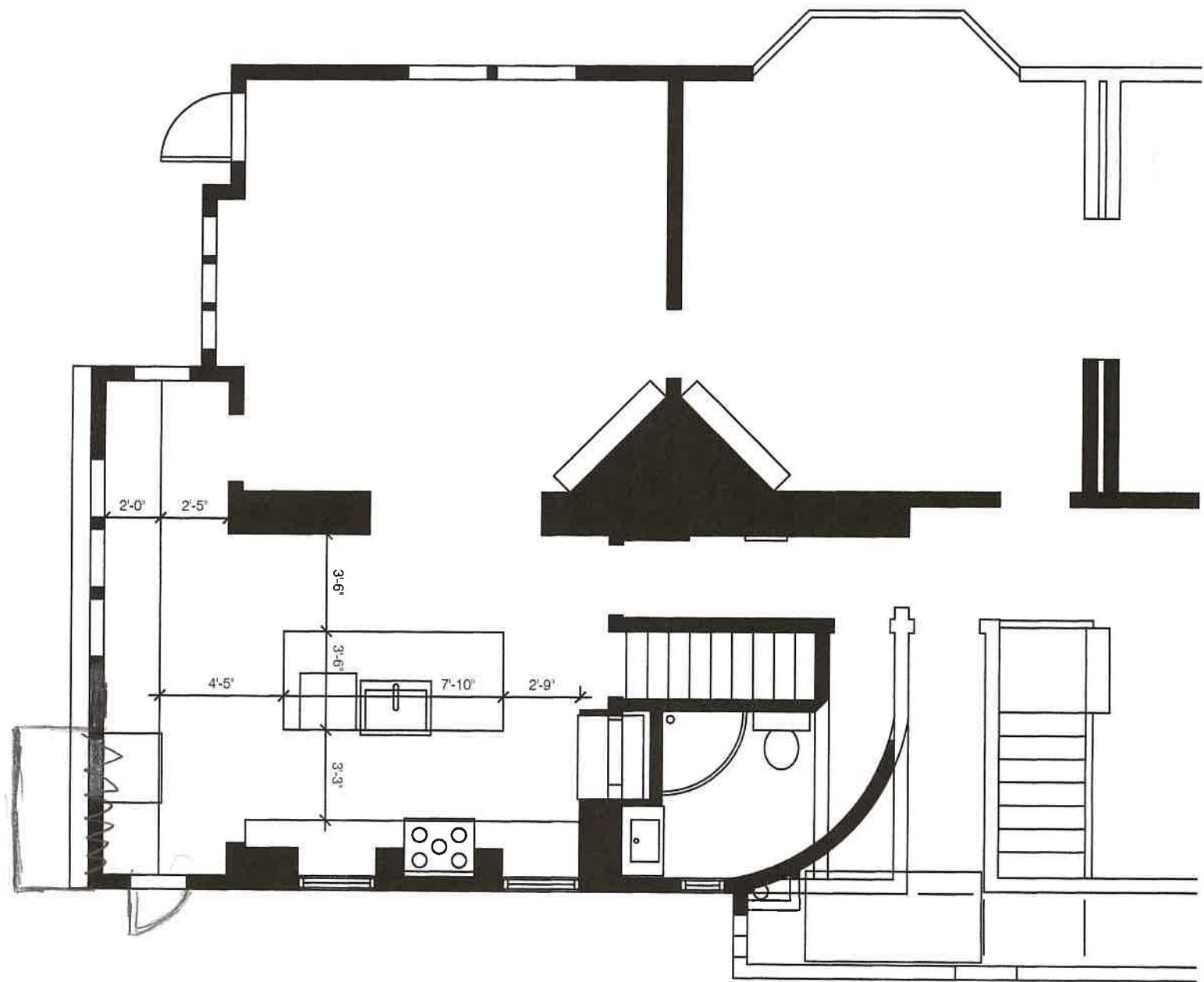
Description of Proposed Work: removing outside basement stair well, removing rear porch, and using existing foundation footprint for addition, moving existing window to pantry, adding three windows to match existing kitchen windows, adding kitchen/laundry room / using matching siding + trim

Owner e-mail: peter@peterwallace.org and/or Contractor e-mail: _____

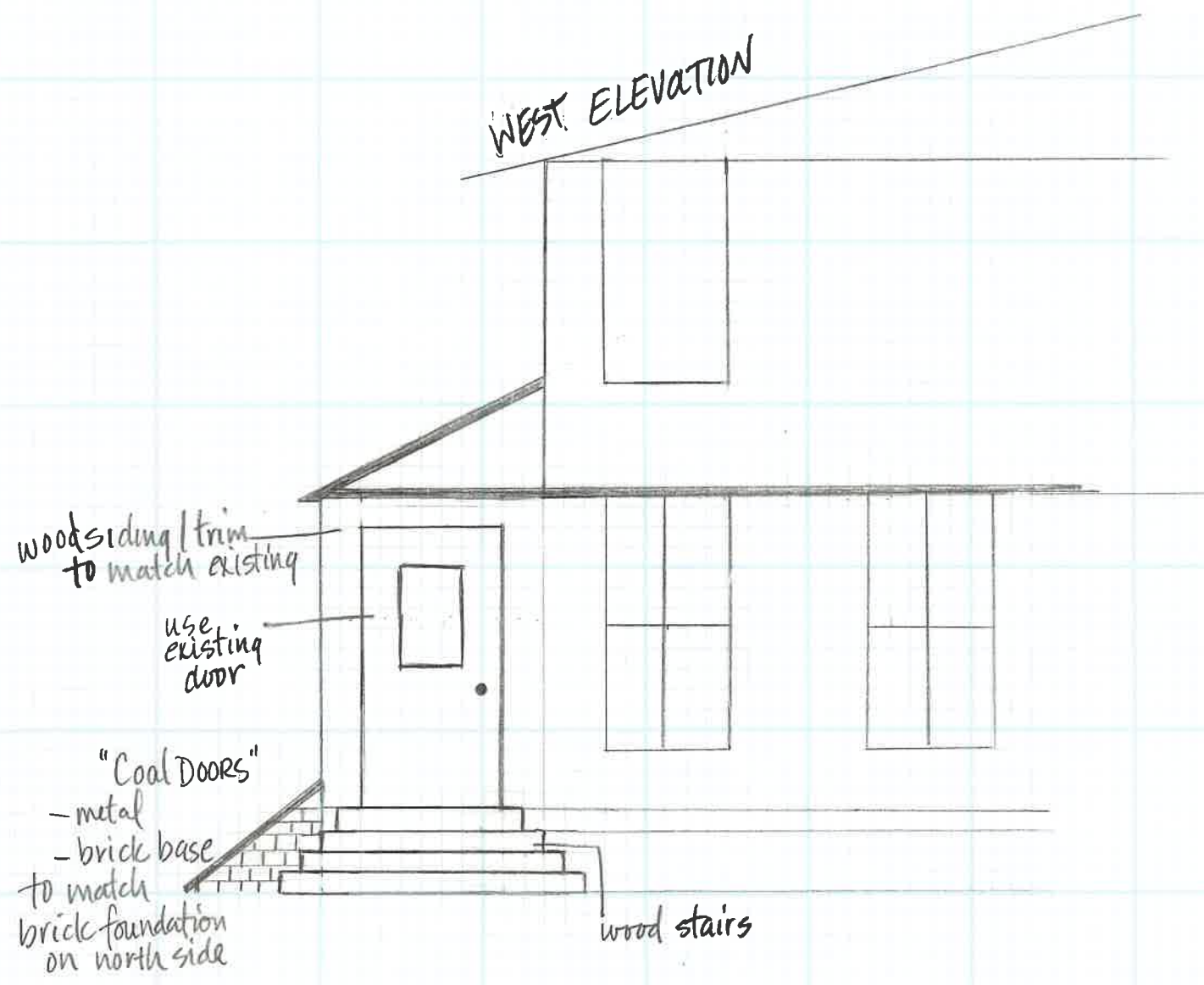
X [Signature] and/or X _____
Signature of Owner Signature of Contractor

By signing this application I agree to abide by all local regulations related to project and to obtain a Building Department Permit, if applicable.

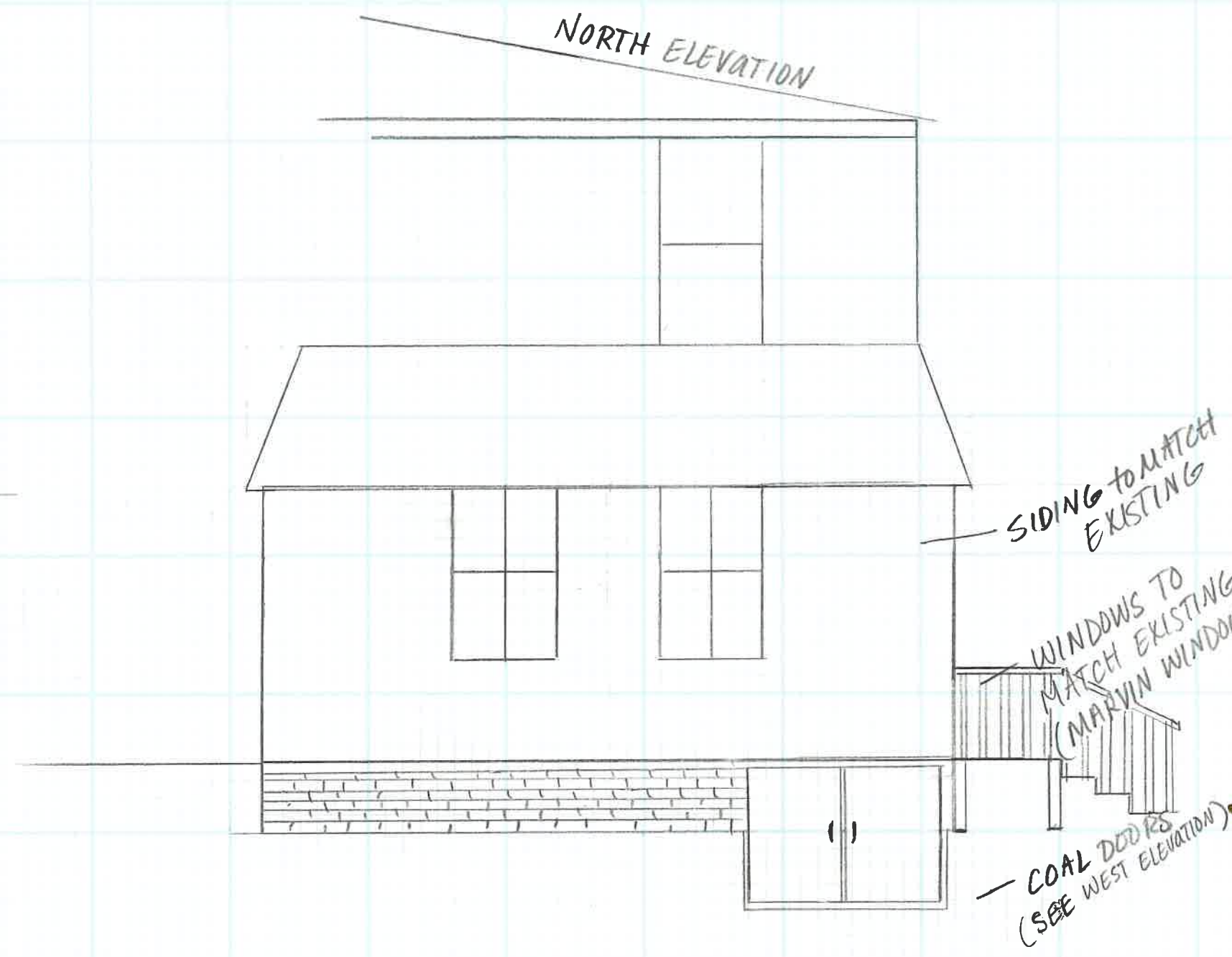
—APPLICATION REQUIREMENTS ARE LISTED ON REVERSE SIDE—



WEST ELEVATION



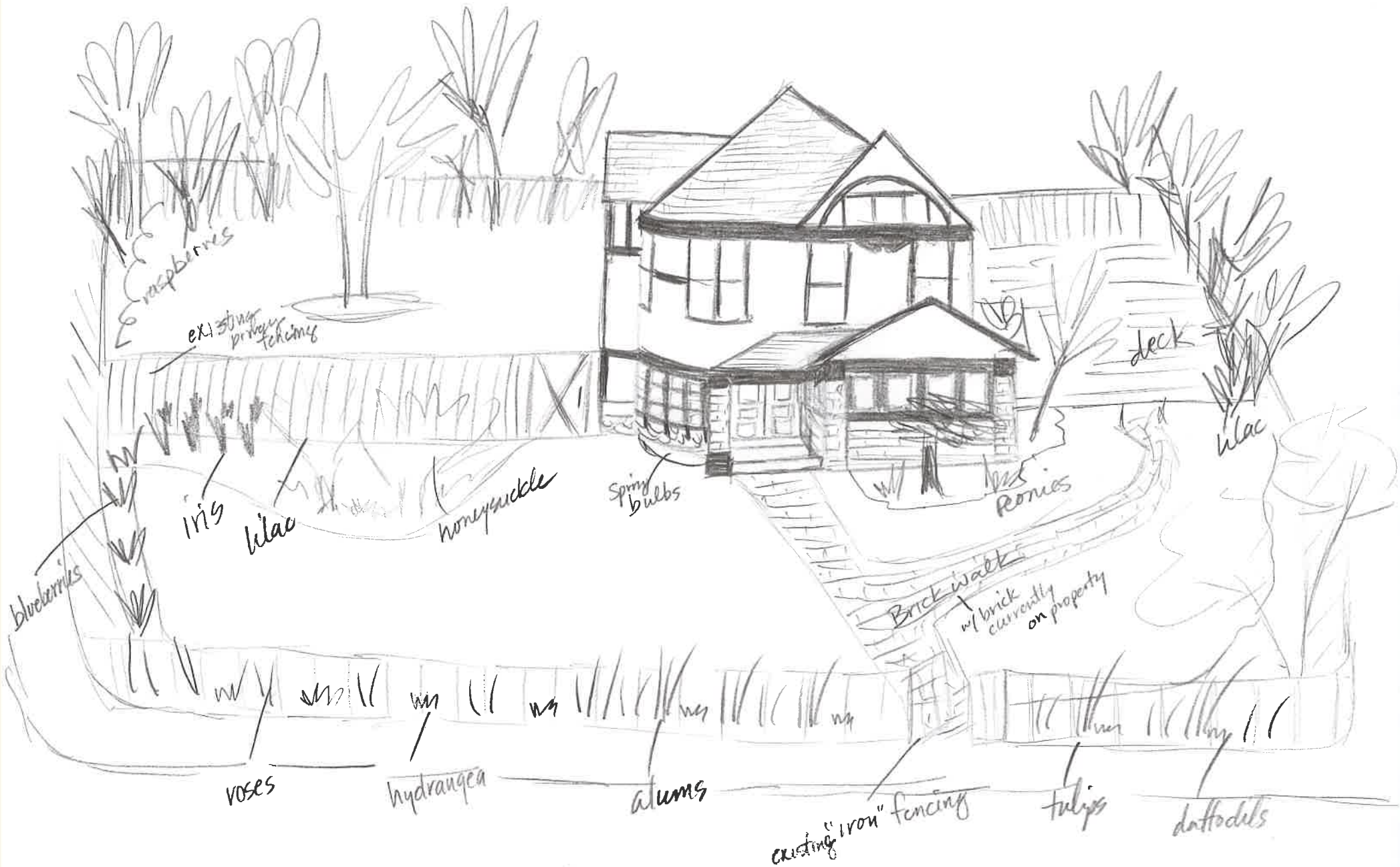
NORTH ELEVATION



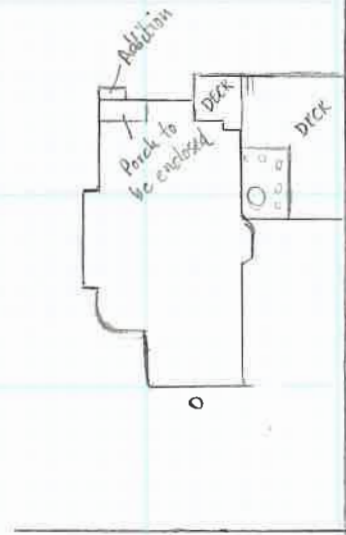




477 W. NAVARRE
SOUTH BEND
PETER + VIRGINIA WALLACE



HPC STAFF NOTE: PRELIMINARY DRAWING, NOT AS PROPOSED



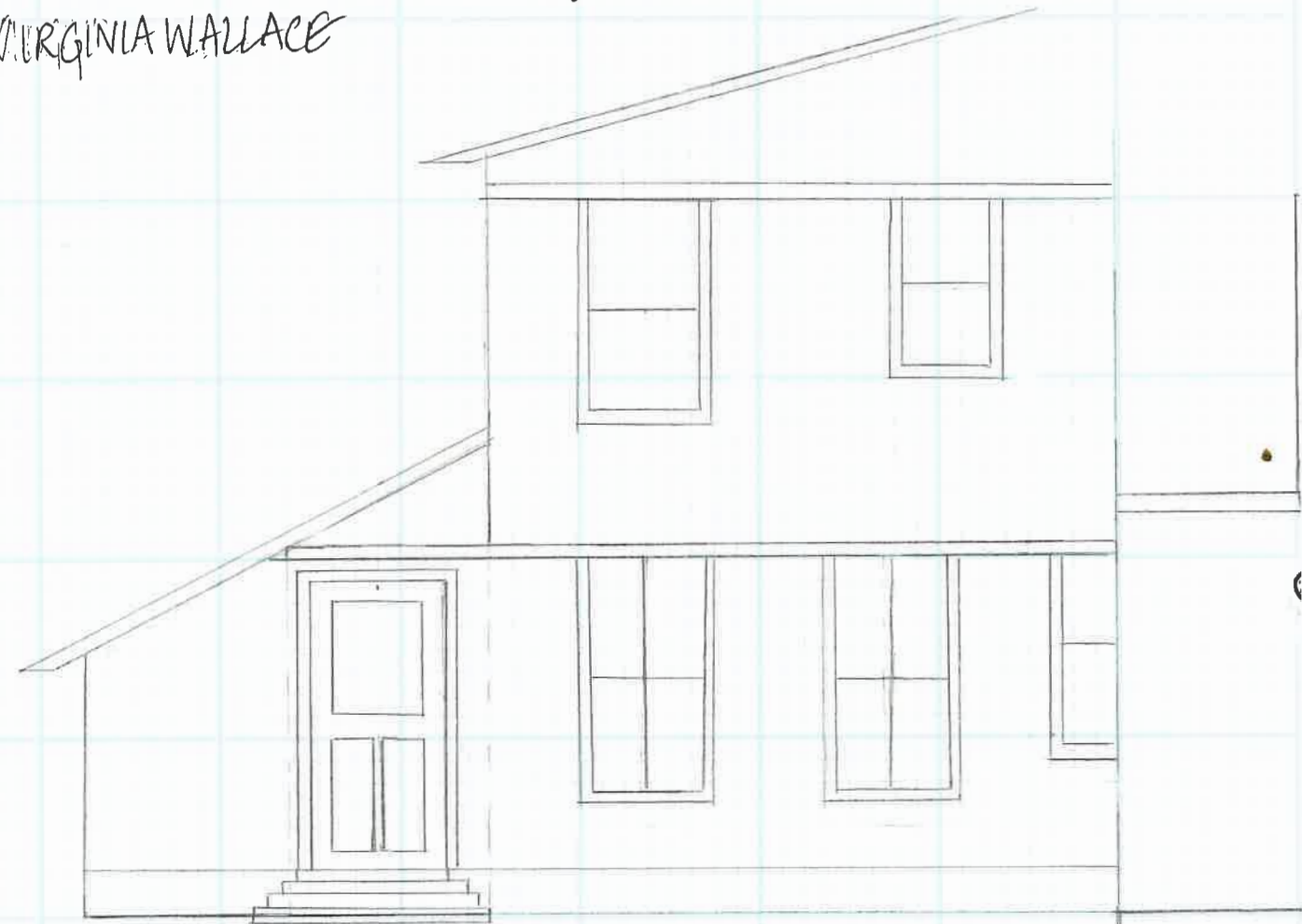
(BACK OF HOUSE)
NORTH SIDE



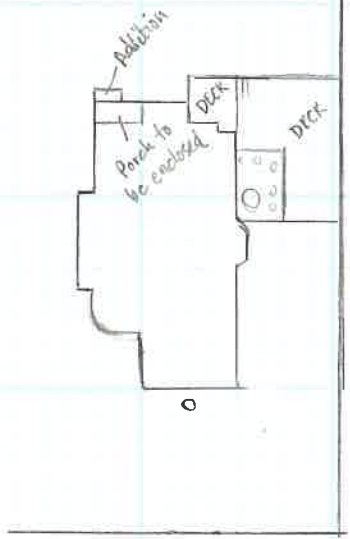
417 W. Navarre
SOUTH BEND

PETER & VIRGINIA WALLACE

WEST SIDE



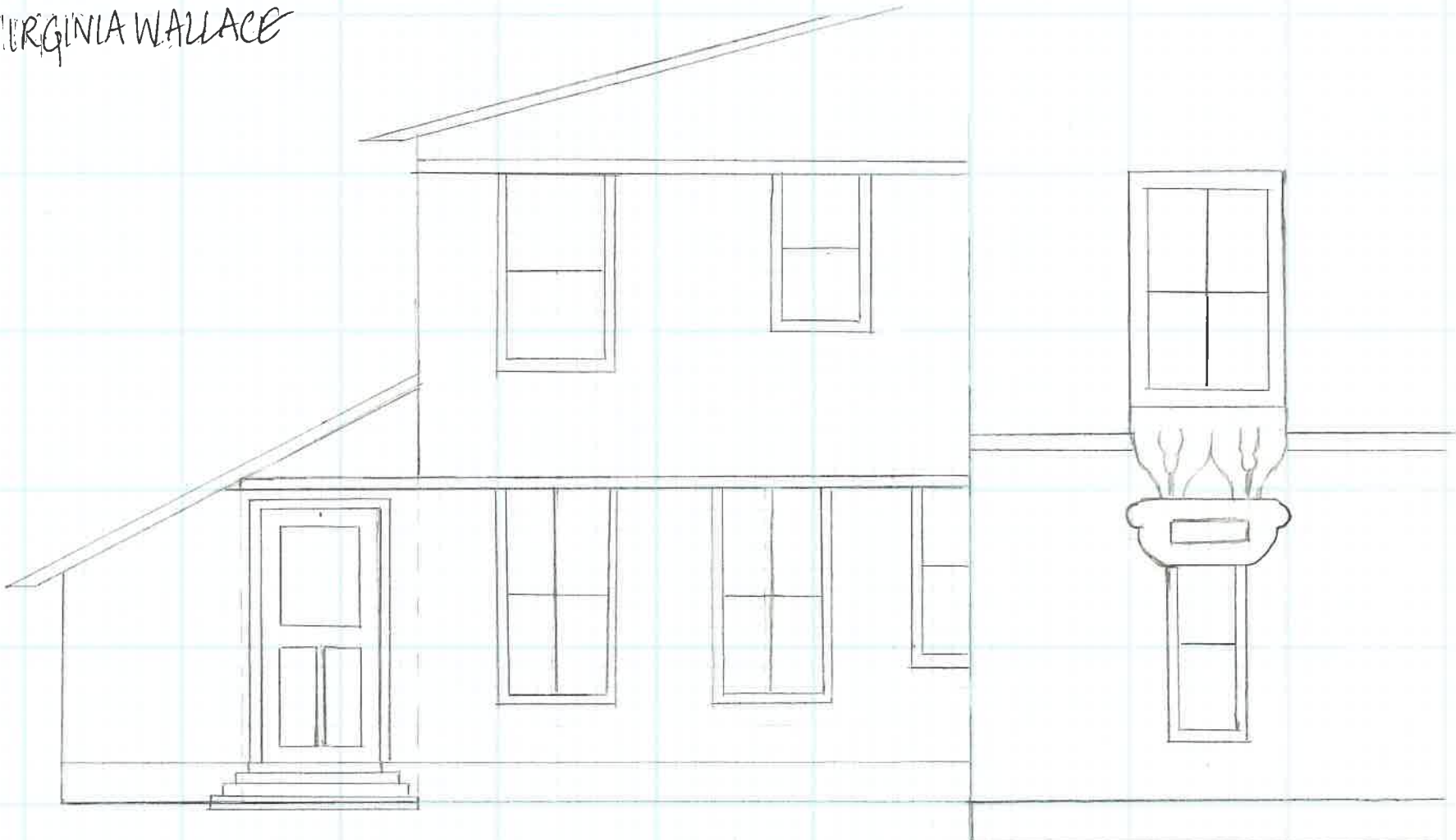
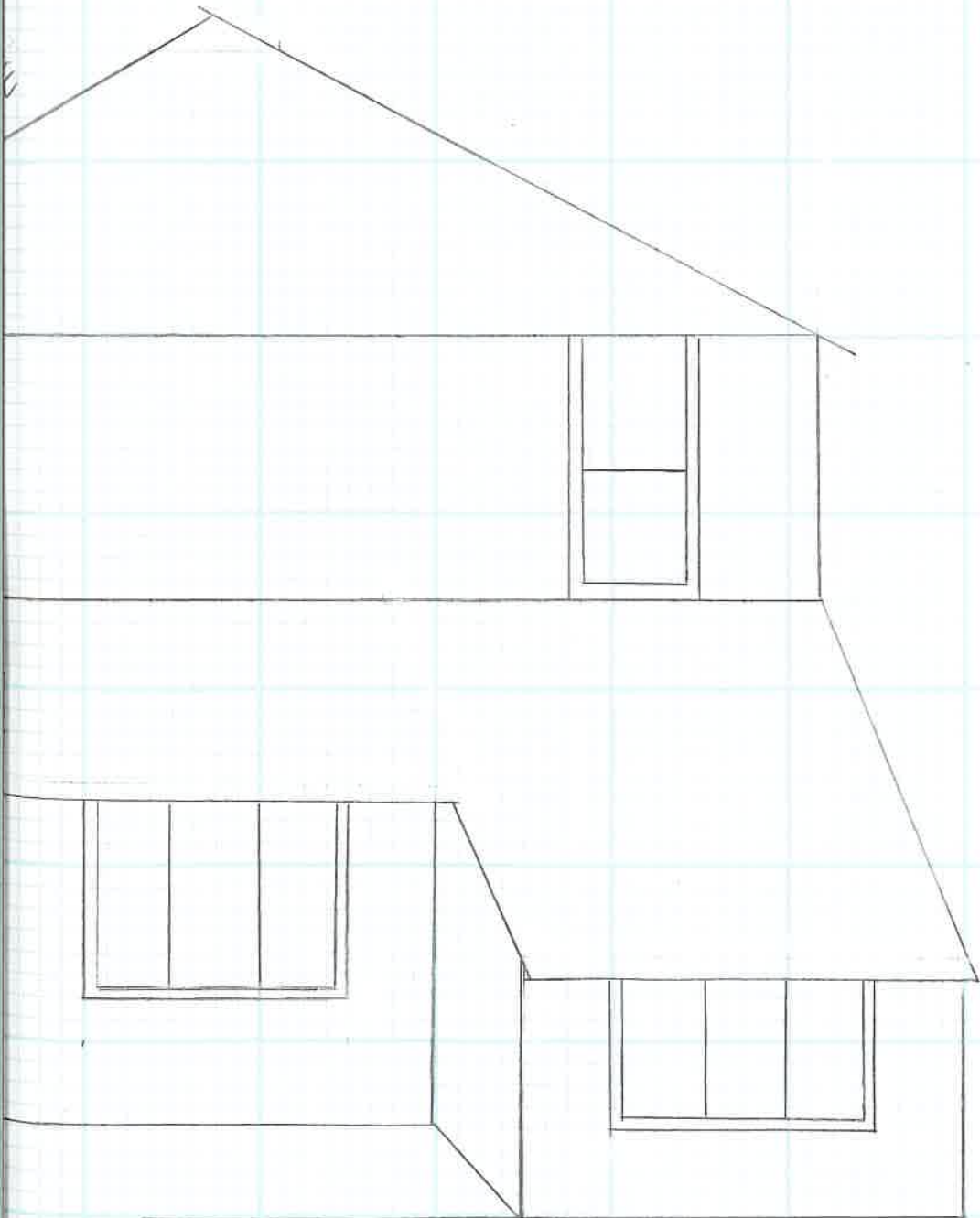
HPC STAFF NOTE: PRELIMINARY DRAWING, NOT AS PROPOSED



417 W. Navarre
SOUTH BEND

PETER + VIRGINIA WALLACE

WEST SIDE





417

















