

STAFF REPORT

CONCERNING APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS



Date: 2 April 2019
Application Number: 2019-0402
Property Location: Leeper Park
Architectural Style/Date/Architect or Builder: Planned landscape/1897/City superintendent Herman Beyer; Landscape Architect George Kessler
Property Owner: City of South Bend, Venues Parks & Arts
Landmark or District Designation: Local Landscape Landmark, Ordinance #8734-96 and National Register of Historic Places, 6/15/2000
Rating: N/A

DESCRIPTION OF STRUCTURE/ SITE: Leeper Park is the first planned public park in South Bend located north of downtown and the medical district. Leeper Park is oriented east/west at the St. Joseph River, divided into three sections, East, Central, and West, by Michigan Street and Lafayette Boulevard. The Eastern section was originally established for the Water Works with the first construction on site being a network of thirty, six-inch artesian wells.¹ “The first land condemned for the future Leeper Park, in June of 1895, was meant to provide a second artesian well field and pumping facility for the lively industries and town population which was growing along the south bend of the St. Joseph River.”² City superintendent Herman Beyer first influenced the design including curvilinear paths, plantings, and water features. The 1911-1915 Parks and Boulevard system and the Leeper Park Plan, designed by celebrated planner and landscape architect George Kessler, embodied early twentieth century ideals grounded in the City Beautiful movement, connecting parks and boulevards as planned elements of a coordinated city plan. Kessler’s Plan for Leeper Park included both formal and informal design elements, adopting existing park features of the Beyer era through a skillful remodel. The association of the park sections with different uses was a result of Kessler’s planning; the West section was deemed for active recreation, the Central section as passive recreation, and the Eastern Section was adopted for its function as a Water Works but also boasts a number of recreation-related features. While the Kessler Plan guided Leeper Park development for the next decade, documentary evidence appears that only some elements of the Kessler design were actually installed.³ Sensitive extensions of Kessler’s Plan continued into the 1920s and 1930s and included Works Progress Administration funded labor for several projects.⁴

Leeper Park East features include: the North Pumping Station, the water reservoir, multiple water well pumps, Ziegler Performing Center with fixed bench seating, signage for the former Garden of Fragrance, the Navarre Cabin, the foundation of the former Powell House, a non-functioning Comfort Station, a swing set/slide, the Sunken (Rose) Garden, the island, and the Works Progress Administration retaining wall and a bridge to the island.

Leeper Park Central features include: West Lagoon (Duck Pond), concrete stairs on embankment, a well house, the Edward B. Reynolds fountain, Lavender Labyrinth, memorials including trees, stones, and plaques.

Leeper Park West features include: backdrop of the former baseball diamond, tennis courts, a recreation building, a parking lot, an odor garden, and raised vegetable gardens with adjoining paths.

¹ Leeper Park Cultural Landscape Report, prepared by Westerly Group for the Historic Preservation Commission of South Bend and St. Joseph County, May 1998.

² Ibid.

³ Ibid.

⁴ Malcolm Cairns, ASLA. “Leeper Park Historic District.” National Register of Historic Places Inventory/Nomination Form, NR-1411. South Bend, St. Joseph County, Indiana, June 15, 2000.

ALTERATIONS:

Throughout

RMEs and COAs for tree trimming, removal, and installation have been approved under the guidance of the City Forester.

RMEs and COAs for sidewalks have been approved.

Leeper Park East

RME 2017-0410 approved "This permit covers only Phase I of the project - drilling a pilot well. Phase II (drilling the actual well and trenching in the piping) will require a separate COA."

COA 2017-0306 approved installation of new stage and new audience seating, landscape beautification and lighting for stage, new benches with concrete pad closer to stage.

RME 2016-1013 approved removal of brush and planting of willow tree near Rose Garden.

The Sunken (Rose) Garden with reflecting pool and statues were removed in the 1960s. RME 2017-1012 approved installation of two small concrete pads with two benches adjacent to Rose Garden. Benches to match those approved through COA 2015-0302A. COA 2017-0228 approved installation of 8' wide crushed limestone walkway connecting the Michigan Street sidewalk with the Sunken Garden, bounded by two, 42" wide flower beds, and irrigation system for entire garden. COA 2015-1002 approved "Within an existing concrete curb (that will remain), the landscaping bed will be enhanced to mimic the reflecting pool formerly within its boundary. New flower beds will be defined using new soil, compost and plantings. A walkway of crushed limestone will pass through the beds. Additional half circle beds will be added to the north and south of the concrete curb. The "three-fates" statues will be repaired pro-bono by a local artist, and then placed into the center of the "pool" bed, where they were originally, in the same back-to-back-to-back style; and the one remaining "cherub" will be nearby, on a footing. That "cherub" will be duplicated from the original, and the new statue also placed nearby in the "pool" bed." COA 2015-0504A approved restoration of Rose Garden and gravel path system by volunteers.

COA 2015-0908 approved "Bartlett Street Roundabout Project Description (114-032b). Project to construct a roundabout at Bartlett and Michigan Street approved per all diagrams and documents submitted. Encroachment to Leeper Park East will be limited to 0.57 acres and all trees removed will be replaced within the park."

The Garden of Fragrance no longer exists, but the signage remains. RME 2015-0422 approved "Rebuild/restack low retaining wall currently located in Leeper Park next to Garden for the Blind. Matching flagstone has been donated by Knepp Sand and Stone and Old Fort Building Supply; and follows material estimate made by a representative of the SB Parks Department. The restacking of the flagstone wall will also require digging away the dirt around loose blocks and backfilling afterwards."

COA 2011-1103A approved "Replace the existing lift station on the south side of the North Pumping Station driveway and relocate it to the north side of the driveway. Screen the new location with landscaping and plantings. Rehabilitate the Garden of Fragrance Braille marker and boulder monument and install new sidewalks and decorative paving. All per diagrams, plans and plant palette submitted and approved."

Wading Pool was filled in and the pergola removed, 1970s.

Circa 1862 vernacular Powell House

Navarre Cabin moved to Leeper Park, 1904; relocated, 1916; relocated again to present site, 1954.

Zoo closed, and structures used for animals were demolished, 1913.

Leeper Park Central

COA 2017-0213B approved "Addition to Leeper Park of a garden labyrinth, 40'-0" diameter center, 80'-0" diameter outer circle per submitted plans. Includes removal and replacement of existing trees specified in plans; removal of DAR memorial tree NOT PERMITTED."

COA 2013-0519 approved "Install a climber and merry-go-round at Leeper Park playground. (Replaces old pieces which were removed.)"

The Mall/Formal Garden, an elongated adaptation of the Kessler design survived well into the 1960s. The Garden and pedestrian walks became grown over, 1980s.

Tennis courts moved from Central to Eastern section, 1916.

1905 Bugbee Fountain removed, unknown date.

1907-08 East Lagoon (Lily Pond) became stagnant and was removed along with the rustic wooden bridge, unknown date.

1907-08 West Lagoon (Duck Pond) was extensively remodeled including a change in configuration from a naturalized shape to a near oval, 1980s and 1990s. The covered shelter and chain link fence are not original. Only remnants of a path system were recorded by WPA, 1938.
1910 Reynold's horse watering trough, relocated from downtown South Bend, 1937.
Fill added and installation of double flight of concrete steps along west bank of West Lagoon, 1916.
Carriage drives redesigned, unknown date.

Leeper Park West

COA 2015-0302A approved "Create a Garden in four sections totaling about 3000 sf including all plants; include an 8 foot wide ADA standard concrete sidewalk-initially 500 feet long; one monument circle and 2 flanking garden observation/education pads to be added per diagram submitted. Install 8 +/- historic lights of the style of Leeper Park East to be installed along the 8 foot wide walk: 1 on each side of the 3 bump outs along the walk, 1 close to Lafayette and 1 close to the northwest corner end of the current phase of the walkway. 8 +/- durable quality public benches; 4+/- umbrella tables near tennis court; opportunities for public art along the garden walk. Subject to approval by the Parks Board. All the garden plant and vegetable plant options to be agreed upon by Parks Department/Board, Madison School and HPC Staff to conform to the Standards and Guidelines adopted for Leeper Park. Abstain from planting fruit trees at this time."

COA 2008-0306 approved installation of an "Odor Garden" with blower piping and underground odor control bed to treat sewer gas. Surface odor control bed planted as flower garden. Area will be restored to grass if and when the system is taken out of service.

COA 2007-0605B approved "Renovation of Tennis Courts, Pavement and Fence replacement, expansion of Court pavement approximately 20' to South; removal of 17 trees in the South per Brent Thompson and replace with 12 Cypress per Brent Thompson. Plant to the north of the fence 5 deciduous trees."

A parking lot south of the Tennis Center was added during the Madison School renovation along with lighting without COA, 1998.

The 1936 WPA shelter house was replaced with the present recreation building, 1970.

Fill added for installation of Riverside Drive, 1910 and 1938.

APPLICATION ITEMS: "New site furnishings, lighting, and planting in Leeper Park."

DESCRIPTION OF PROPOSED PROJECT: Under the direction of Venues, Parks and Arts, the work proposed to Leeper Park has been designed by Jonathon Mooney, RLA, LEED AP, Senior Landscape Architect with Lochmueller Group, having expertise with historic landscapes and specific to George Kessler's historic landscapes.

See Attachment A, Project Description:

1. Lighting
2. Interpretive sign design (content to be prepared at a later date)
3. Furnishings and garden ornaments
4. Planting design

STANDARDS AND GUIDELINES:

9.0 LANDSCAPES – STANDARDS AND CRITERIA FOR LEEPER PARK

9.1 Introduction

1. In these guidelines the verb Should indicates a recommended course of action; the verb Shall indicates those actions which are specifically required to preserve and protect significant architectural elements.
2. The intent of these standards and criteria is to preserve the overall character and appearance of Leeper Park including its spatial organization, topography, vegetation, circulation and features.
3. The standards and criteria acknowledge that there will be changes to the landscape and are intended to make the change sensitive to the historic character of the landscape.
4. Each property will be separately studied to determine if a later addition(s) and/or alteration(s) can, or should, be removed.
5. Since it is not possible to provide one general guideline, the following factors that will be considered in determining whether a later addition(s) and/or alteration(s) can, or should, be removed include:
 - a. Compatibility with the original property's integrity in scale, materials, and character.
 - b. Historic association with the property.
 - c. Quality in design and execution of the addition/alteration.
 - d. Functional usefulness.

6. Recreational facilities which exist should be allowed to remain as long as they serve substantial community functions. In some cases these features can be redesigned to be more compatible with the overall landscape.
7. Additions to existing recreational facilities shall not be allowed unless such additions make the facilities more compatible with the overall landscape.
8. The development of additional facilities for active recreation or single purpose uses for limited user groups shall not be allowed.
9. Proposals for special activities and events which cause significant impacts or require permanent or even semi-permanent (seasonal) structures or facilities shall not be permitted.
10. The Historic Preservation Commission of South Bend and St. Joseph County recommends that the work proposed to the landscape be executed with the guidance of landscape professional with expertise with historic landscapes.
11. The land, streets, island(s), street lighting, park lighting, topography, vistas, vegetation, architectural elements, structures, spatial organization, street furniture, sewer covers, electrical and water vault and/or manholes covers, parking areas are subject to the terms of the landscape guidelines herein stated.
12. Items under Historic Preservation review include but are not limited to the following:

9.2 Spatial Organization (includes, Views, Vistas, Landscape Spaces, etc.)

Refer to Sections 9.3, 9.4, 9.5, 9.6, 9.7 and 9.8 for additional Standards and Criteria that may apply.

1. Views and vistas are among the most important aspects of a landscape, therefore, they should be maintained and preserved.
2. All views, vistas, landscape spaces located in the eastern section and central section of Leeper Park shall be preserved. All views, vistas, landscape spaces located north and east and west of a line designated as the northern fence of the tennis courts located in the western section of Leeper Park shall also be preserved. This shall include the island(s) located in the St. Joseph River and the slough which lies between the island(s) and the mainland. All views, vistas, and landscape spaces shall also include the entirety of the riverbank as well as the area lying between the roadway of Riverside Drive up to and including the riverbank and cut stone wall along the riverbank.
3. Original or later contributing special organizational features shall be retained in their existing configuration and shall be maintained through proper drainage, access and erosion control, pruning and removal of invasive vegetation or otherwise using recognized horticultural and soil management practices.
4. Alteration of existing or addition of new spatial organizational features will be considered if they do not alter the basic concept of the historic landscape design.
5. Deteriorated or missing spatial organizational features shall be replaced with features that match the original in form, shape, color and texture.
6. When replacement of features is necessary, it should be based on physical or documentary evidence.
7. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.
8. Important visual connections between spaces within the landscape shall be retained by maintaining vegetation, circulation and topography features which contribute to those visual relationships.
9. The historic spatial and functional relationship of circulation systems, water features and structures shall be preserved by maintaining the massing of adjacent vegetation, vistas, or other associated features.
10. Maintenance of removal or, and additions of vegetation materials and elements should consider maintaining existing or intended vistas and spaces, screening intrusions, creating new spaces where appropriate and maintaining defined areas of shade and sun.
11. The form and shape of individual spaces and their associated vertical element shall be retained in order to preserve the historic relationships of the landscape. Examples include the relationship between open fields and hedgerows or the width and length of an alley.
12. Moving or demolishing historic structures that would alter spatial and visual relationships in the landscape shall not be allowed.
13. Construction of new structures that would alter historic spatial and visual relationships in the landscape shall not be allowed.
14. Intrusive views or new construction may be screened with compatible fencing or plant material so long as the screening would not detract from the historic character of the landscape.

9.3 Topography (includes the Shape, Slope, Elevation, Contour of landforms and Ground Plane, etc.) Refer to Sections 9.2, 9.4, 9.5, 9.8, 9.9 and 9.10 for additional Standard and Criteria that may apply.

1. All locations and items listed in 9.2.2 shall also apply to this section and shall be preserved.
2. Original or later contributing topographical features shall be retained in their existing configuration and shall be maintained through proper drainage, access and erosion control, and recognized soil management practices.
3. Alteration of existing or addition to new topographical features will be considered if they do not later the basic concept of the historic landscape design.
4. Natural features (e.g. rock outcroppings) which are integrated into the landscape shall be treated as part of the overall design and shall be retained.
5. Deteriorated or missing materials or features shall be replaced with materials that match the original in form, shape, color and texture.
6. When replacement of materials or features is necessary, it should be based on physical or documentary evidence.
7. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.
8. Whenever appropriate, plant materials, rather than structural materials should be used to solve erosion problems. Repair of WPA island and slough stone construction projects is strongly encouraged.

9.4 Vegetation (includes Trees, Shrubs, Ground Covers, Hedges, Allees, Fields, Forests, Planting Beds, etc.)

Refer to Sections 9.2, 9.3, 9.5, 9.7, 9.8, 9.9, and 9.10 for additional Standards and Criteria that may apply.

1. Refer to Section 9.2.2 for items within this section which shall be preserved. Also included in this section shall be the diverse variety of trees, shrubs, bushes and other vegetation which may or may not be indigenous to this region. List of such types of vegetation can be in lists and inventories which were published in the annual reports of both the City of South Bend and the South Bend Park Commissions from the years 1910 to 1940.
2. Original or later contributing vegetation materials and features shall be retained in their existing configuration and shall be maintained through proper horticultural management practices.
3. Alteration of existing or addition of new vegetation materials and features will be considered if they do not alter the basic concept of the historic landscape design.
4. Deteriorated or missing materials or features shall be replaced with materials that match the original in form, shape, color and texture.
5. When replacement of vegetation materials or features is necessary, it should be based on physical or documentary evidence.
6. If using the same vegetation material is not technically or economically feasible, then compatible substitute vegetation materials may be considered if they convey the same growth habit, form, foliage and bloom characteristics as the historic plant.
7. Existing vegetation material shall be retained unless it is part of a later non-compatible design or is volunteer vegetation inconsistent with the original design.
8. Consideration for removal of existing healthy vegetation materials and features will be given when it is in conflict with the original design intent of the landscape, such as when an important vista has become overgrown or when plants have grown out of scale with their intended purpose.
9. Maintenance of, removal of, and additions of vegetation materials and features should consider maintaining existing or intended vistas and spaces, screening intrusions, creating new spaces where appropriate and maintaining defined areas of shade and sun.
10. Invasive vegetation shall be removed whenever technically feasible and shall be replaced with appropriate vegetation consistent with the original design of the park and with current factors such as security, ecological conditions, and wildlife management practices.
11. Hazardous plants or portions of plants should be removed promptly.
12. Plants with diseases that are difficult or not practical to control or cure should be removed promptly to prevent their infection of other plants.
13. Mutilated or distorted plants should be removed.
14. Plant replacements should be added on a schedule that will insure a continuity in the landscape design.
15. Existing vegetation shall be protected adjacent construction activities by fencing the root system prior to the start of construction.
16. Future plantings of the main floral garden in the central section of the park shall be guided by the design of the main floral garden as laid out by George Kessler in 1912.

9.5 Circulation (includes Roads, Paths, Parkways, Drives, Trails, Walks, etc.)

Refer to Sections 9.2, 9.5, 9.6, 9.8, 9.9 and 9.10 for additional Standards and Criteria that may apply.

1. The following shall be preserved: Riverside Drive, Lafayette Boulevard, Park Lane (Foote Street), Bartlett Street, the Alleyway east of Michigan Street running north from Bartlett Street, all sidewalks, curbs, pathways around the duck pond (west lagoon), stairways, pathways in and around the Sunken Garden, and the footbridge from the mainland to the island. Alteration or addition of Roads, Paths, Parkways, Trails, Walks, etc. shall be based upon physical or historical documentation of these items as they existed from 1910 to 1940.
2. Original or later contributing layouts of walks, roads, and paved areas shall be maintained.
3. Alteration of existing or addition of new circulation layouts will be considered if it can be shown that better site circulation is necessary, and that the alteration does not alter the basic concept of the historic landscape design.
4. When replacement of circulation layouts is necessary, it should be based on physical or documentary evidence.
5. Original or later contributing circulation materials and features shall be retained and, if necessary, repaired by patching, piecing-in or reinforcing the material or feature using recognized preservation methods.
6. Deteriorated or missing circulation materials and features shall be replaced with materials that match the original in size, shape, color, profile, form, texture, and detail of installation.
7. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.
8. Alteration of existing or addition of new circulation materials and features will be considered if they do not alter the basic concept of the historic landscape design.
9. Consideration will be given to an alternate paving material if it can be shown that its properties will improve the original or later contributing design concept.
10. When replacement of circulation materials or features is necessary, it should be based on physical or documentary evidence.
11. Consideration for removal of existing circulation systems and features will be given when it is in conflict with the original design intent of the landscape or when they are no longer appropriate to their intended purposes.
12. No vehicles unless of or approved by the South Bend Parks Department shall be permitted on any part of the park surface at any time. Vehicles of American Electric Power and/or other vehicles of the City of South Bend, shall use predetermined routes to and from their destination, when said travel would cause them to cross any area of the park which is not paved and designed for vehicular traffic. Any damage caused by any vehicle, shall be repaired immediately to look as it did prior to said damage.
13. Encroachment of vehicles off the paved roadway of any area of the park shall not be permitted. Areas now used for vehicular parking which are not part of the historical design of that park shall be removed.
14. Construction of any type within the park shall be done so as not to disturb any feature of the park. Sheets of plywood or other approved material may need to be laid upon the surface of the park prior to construction equipment. Repairs which must match the original historic design concept shall be made in any and all circumstances of damage.

9.6 Water Features (includes Fountains, Pools, Irrigation Systems, Ponds, Rivers, etc.)

Refer to Sections 9.11 B, C, and D regarding treatment of materials and features; and Sections 9.2, 9.3, 9.4, 9.5, 9.7, 9.8 and 9.10 for additional Standards and Criteria that may apply.

1. Features which shall be preserved include: the duck pond (West Lagoon), the water pond in the Sunken Garden, the slough between the island and the mainland, all drinking fountains, pump houses, manhole covers, drainage grates, horse and dog fountain and path of the St. Joseph River in relation to the park.
2. Original or later contributing water features shall be retained and maintained.
3. Existing water courses or bodies should not be altered. Consideration will be given to proposals that improve site drainage, improve water quality, enhance the landscape design or improve wildlife habitat.
4. Alteration of existing or addition of new water features will be considered if they do not alter the basic concept of the historic landscape design.
5. When placement of water features and their materials are necessary, it should be based on physical or documentary evidence.
6. Original or later contributing water feature materials shall be retained and, if necessary, repaired by patching, piecing in, consolidating or reinforcing the material using recognized preservation methods.
7. Deteriorated or missing water feature materials shall be replaced with materials that match the original in size, shape, color, profile, form, texture, and detail of installation.
8. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.
9. Alteration of existing or addition of new water features will be considered if they do not alter the basic concept of the historic landscape design.
10. When appropriate from an ecological perspective, dredging of waterways shall be permitted as a means of retaining historic waterways.
11. All wetlands shall be preserved.
12. All shorelines of water courses or bodies shall be protected from erosion in a manner in keeping with the basic concept of the landscape design.
13. Consideration for removal of existing water features will be given when it is in conflict with the original design intent of the landscape or when they are no longer appropriate to their intended purposes.
14. Some areas of Leeper Park are utilized for the pumping of water for the City of South Bend, and there exists both within the park and the St. Joseph River and on the island(s) wells, well-houses and other water supply entities. Repairs that may be necessary to existing services, or additions to existing services, or the sinking or additional new wells; all such work, installations and/or repairs shall return the disturbed areas(s) of the park, island(s) and the St. Joseph River to conditions of the park as in that time period 1912 to 1940. Any new installations of any type may be considered if the alteration does not alter the basic concept of the historic landscape design.

9.7 Furnishings and Objects (includes Benches, Lights, Signs, Drinking Fountains, Trash Receptacles, Fences, Tree Grates, Flagpoles, Sculpture, Monuments, Memorials, Planters, Urns, etc.)

Refer to Sections 9.11 B, C and D regarding treatment of materials and features; and Sections 9.2, 9.3, 9.4, 9.5, 9.6, 9.8, 9.9 and 9.10 for additional Standards and Criteria that may apply.

1. All items listed herein shall be preserved:
 - a. The Duck Pond (West Lagoon), including the Island in the lagoon, the Walls, Curbing, Fence, and Shelter House.
 - b. The Stone and Plaque of the DAR, with related Tulip and Gingko Trees.
 - c. The Concrete Stairway leading west southwesterly from the Duck Pond (West Lagoon).
 - d. The High Embankment on the west-southwest side of the Duck Pond (West Lagoon).
 - e. The Pump Houses, number 2 and 3.
 - f. The Edward B. Reynolds Horse and Dog Watering Fountain.
 - g. The Drinking Fountain in the south east portion of the central section of the park.
 - h. The central section of the park, the area of the large Floral Garden and Pathways as designed by George Kessler in 1912.
 - i. All Sidewalks on Lafayette Boulevard, Riverside Drive, Park Lane (Foote Street), Bartlett Street and Michigan Street.
 - j. The Retaining Wall on the western boundary of the western section of the park.
 - k. The Wall comprised of Cut Stone, which extended west-northwest and east-southeast from the southern approach of the Leeper Park Bridge.
 - l. The Log Cabin known as the Navarre House, and the footings of the cabin/house which was burned down.
 - m. All Drinking Fountains located in the eastern section of the park and/or on the island(s).
 - n. The Sunken Garden on the eastern section of the park, along with all the Vegetation, Pathways, Stairs and the Fountain and Statues.
 - o. The WPA walls and Sloughs(s) in the eastern section of the park and the adjoining St. Joseph River.
 - p. All Park Benches.
 - q. All Manhole Covers, Sewer Covers and Grates, and all Electrical Underground Vault and/or Raceway Covers.
 - r. The north/south alleyway east of Michigan Street, running north from Bartlett Street which used to run between Lot 'A' and Lots 13, 14, 15, 16, 17, 18, 19 and part of 20 of the Rockstroh Addition.
 - s. All Plaques, Monuments, Sculptures, Memorials, Planters, Urns, Curbing, Roadways, Marker Stones, Sundials, Well-Head Covers, Fences, Trellises, Pergolas, Pathways, and Trees.
2. Original or later contributing furnishings and objects, shall be retained and, if necessary, repaired by patching, piecing in, consolidating or reinforcing the material using recognized preservation methods.
3. Deteriorated or missing furnishings and objects, materials, elements, features and details shall be replaced with materials that match the original in material, size, shape, color, profiles, form, texture, configuration and detail of installation.
4. Alteration of existing or addition of new furnishings and objects will be considered if they do not alter the basic concept of the historic landscape design.

5. When replacement of furnishings and objects and their materials is necessary, it should be based on physical or documentary evidence.
6. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.
7. Existing memorials, statues, monuments and fountains shall be carefully preserved and restored where necessary, maintaining the integrity of the original material and design. The work shall be coordinated with the Historic Preservation Commission of South Bend and St. Joseph County.
8. New furnishings and object should be designed using vandal resistant standards.
9. Location of signs shall be guided by a master plan.
10. Signs shall conform to a simple sign system.
11. Existing non-conforming signs should be removed.
12. All new monuments and fountains shall be placed so that they conform to and with the original historic landscape design of the park and park system.

9.8 Structures (includes Walls, Terraces, Arbors, Gazebos, Follies, Playground Equipment, Picnic Shelters, Plazas, Greenhouse, Steps, Bridges, Dams, Buildings, etc.)

Refer to Sections 9.11 B and D regarding treatment of materials and features; and sections 9.2, 9.3, 9.4, 9.5, 9.6, 9.7, 9.9 and 9.10 for additional Standards and Criteria that may apply.

1. The general intent is to preserve the original or later contributing structures that enhance the historic landscape.
2. Refer to Sections 9.2.2 and 9.7.1 of structures, elements and materials that need to be preserved such as wall, terraces, arbors, gazebos, follies, playground equipment, picnic shelters, plazas, greenhouses, steps, bridges, dams, building, etc. which shall be preserved.
3. Original or later contributing structures, shall be retained and, if necessary, repaired by patching, piecing in, consolidating or reinforcing the material using recognized preservation methods.
4. Deteriorated or missing structures, materials, elements, features and details shall be replaced with materials that match the original in material, size, shape, color, profiles, form, texture, configuration and detail of installation.
5. When replacement of structures is necessary, it should be based on physical or documentary evidence.
6. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.
7. New addition/alterations to the landscape (such as: parking lots, comfort stations, buildings, etc.) shall be as unobtrusive as possible and preserve and original or later contributing landscape features.
8. Removal of non-historic structures from the existing landscape is encouraged.
9. Structures shall be protected from arson and other acts of vandalism through proper monitoring procedures and methods such as; permanent installation of smoke detectors, alarms, or other security systems, or temporarily boarding up windows and openings.
10. No building(s) shall be erected in the central section of the park; the western section of the park, north of the northern fence to the tennis courts; the eastern section of the park, west of the rear set-back of the north Pumping Station, or in the area north and east of the Log Cabin.

9.9 Archeology

Refer to Section 9.11 B and C, and D regarding treatment and materials. Refer to Sections 9.3, 9.4, 9.5, 9.6, 9.7 and 9.8 for additional Standards and Criteria that may apply.

1. The landscape should be surveyed for potential archeological sites prior to the beginning of any construction project.
2. Known Archeological site(s) shall be protected during any construction project.
3. Disturbance of the terrain within the landscape shall be kept to a minimum so as not to disturb any unknown archeological materials.
4. All planning, any necessary site investigation, or data recovery shall be conducted by professional archeologist.

9.10 Accessibility

Refer to Sections 9.11 B, C and D regarding treatment of materials. Refer to Sections 9.3, 9.4, 9.5, 9.6, 9.7, and 9.8 for additional Standards and Criteria that may apply.

1. A three-step approach is recommended to identify and implement accessibility modification that will protect the integrity and historic character of the property.
 - a. Review the historical significance of the property and identify character-defining features;
 - b. Assess the property's existing and required level of accessibility;
 - c. Evaluate accessibility options within a preservation context.
2. Because of the complex nature of accessibility, the Historic Preservation Commission will review proposals on a case by case basis. The Commission recommend consulting with the following document which is available from the Commission office: U.S. Department of the Interior, National Park Service, Cultural Resources, Preservation Assistance Division; Preservation Brief 32, "Making Historic Properties Accessible" by Thomas C. Jester and Sharon C. Park, AIA.

9.11 Architectural Materials

A. General

The Historic Preservation Commission of South Bend and St. Joseph County recommend that work proposed to the materials outlined in Sections B, C, and D be executed with the guidance of a professional building material conservator.

1. Removal of the speakers atop Pump House Number 3 is encouraged.

B. Masonry (Brick, Stone, Terra Cotta, Concrete, Stucco, and Mortar)

1. [intentionally left blank]
2. Original or later contributing masonry materials, feature, details, surfaces and ornamentation shall be retained and, if necessary, repaired by patching, piecing-in, or consolidating the masonry using recognized preservation methods.
3. Deteriorated or missing masonry materials, features, details and ornamentation shall be replaced with material and elements which match the original in material, color, texture, size, shape, profile and detail of installation.
4. When replacement of materials or elements is necessary, it should be based on physical or documentary evidence.
5. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.
6. Original mortar shall be retained.
7. Deteriorating mortar shall be carefully removed by hand-raking the joints.
8. Use of mechanical saws and hammers shall not be allowed.
9. Repointing mortar shall duplicate the original mortar in strength, composition, color, texture, joint size, joint profile and method of application.
10. Sample panels of raking the joints and repointing shall be reviewed and approved by the staff of the Historic Preservation Commission of South Bend and St. Joseph County.
11. Cleaning of masonry is discouraged and should be performed only when necessary to halt deterioration.
12. If the building is to be cleaned, the mildest method possible shall be used.
13. A test patch of the cleaning method(s) shall be reviewed and approved on site by staff of the Historic Preservation Commission of South Bend and St. Joseph County. Test patches should always be carried out well in advance of cleaning (including exposure to all seasons if possible.)
14. Sandblasting (wet or dry), wire brushing, or similar abrasive cleaning methods shall not be permitted. Doing so changes the visual quality of the material and accelerates deterioration.
15. Waterproofing or water repellent are strongly discouraged. These treatments are generally not effective in preserving masonry and can cause permanent damage. The Commission does recognize that in extraordinary circumstances their use may be required to solve a specific problem. Samples of any proposed treatment shall be reviewed by the Commission before application.
16. In general, painting masonry surfaces shall not be allowed. Painting masonry surfaces will be considered only when there is documentary evidence that this treatment was used at some point in the history of the property.

C. Wood

1. [intentionally left blank]
2. Original or later contributing wood surfaces, features, details and ornamentation shall be retained and, if necessary, repaired by patching, piecing-in, consolidating or reinforcing the wood using recognized preservation methods.
3. Deteriorated or missing wood surfaces, features, details and ornamentation shall be replaced with material and elements which match the original in material, color, texture, size, shape, profile and detail of installation.
4. When replacement of materials or elements is necessary, it should be based on physical or documentary evidence.
5. If using the same materials or elements is necessary, it should be based on physical or documentary evidence.
6. Cleaning of wooden elements shall use the mildest method possible.
7. Paint removal should be considered only where there is a paint surface deterioration and as part of an overall maintenance appropriate protective coatings. Coatings such as paints help protect the wood from moisture and ultraviolet light and stripping the wood bare will expose the surface to the effects of weathering.
8. Damage or deteriorated paint should be removed to the next sound layer using the mildest method possible.
9. Propane or butane torches, sandblasting, water blasting, or other abrasive cleaning and/or paint removal methods shall not be permitted. Doing so changes the visual quality of the wood and accelerates deterioration.
10. Repainting should be based on paint sarration studies. If an adequate record does not exist repainting shall be done with the colors that are appropriate to the style and period of the building.

D. Architectural Metals (Cast Iron, Steel, Pressed Tin, Copper, Aluminum, and Zinc)

1. All metal materials, features, details and ornamentation of the buildings in the park shall be preserved. This also includes all metal parts of all fountains, monuments, memorials, plaques, street lights, drinking fountains, etc.
2. Original or later contributing metal materials, features, details, and ornamentation shall be retained and, if necessary repaired by patching, splicing or reinforcing the metal using recognized preservation methods.
3. Deteriorated or missing metal materials, features, details and ornamentation shall be replaced with material and elements which match the original in material, color, texture, size, shape, profile and detail of installation.
4. When replacement of materials or elements is necessary, it should be based on physical evidence or documentary evidence.
5. If using the same material is not technically or economically feasible then compatible substitute materials may be considered.
6. Cleaning of metal elements either to remove corrosion or deteriorated paint shall use the mildest method possible.
7. Abrasive cleaning methods, such as low pressure dry grit blasting, may be allowed as long as it does not abrade or damage the surface.

8. A test patch of the cleaning method(s) shall be reviewed and approved on site by staff of the Historic Preservation Commission of South Bend and St. Joseph County. Test patches should always be carried out well in advance of cleaning (including exposure to all seasons if possible.)
9. Cleaning to remove corrosion and paint removal should be considered only where there is deterioration and as part of an overall maintenance program which involved repainting or applying other appropriate protective coatings. Paint or other coatings help retard the corrosion rate of the metal. Leaving the metal base will expose the surface to accelerated corrosion.
10. Repainting should be based on paint seriation studies. If an adequate record does not exist repainting shall be done with colors that are appropriate to the style and period of the building.

The Landscapes- Specific Standard and Criteria was financed in part with funds from the National Park Service, U.S. Department of the Interior, through the Massachusetts Historical Commission, Secretary of State, Michael Joseph Connolly, Chairman, and adopted for use by the Historic Preservation Commission of South Bend and St. Joseph County, Indiana, by permission of the Environment Department, City of Boston, Massachusetts, by Michael A. Cannizzo, Staff Architect, 1996.

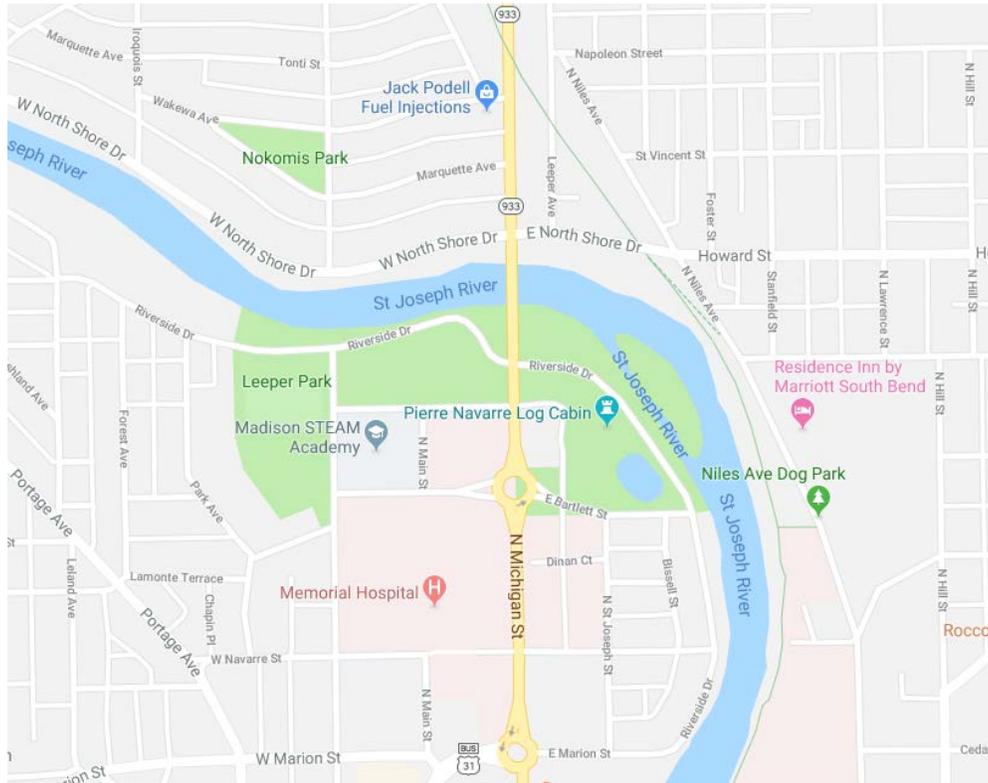
SITE VISIT REPORT: N/A

STAFF RECOMMENDATION: Staff recommends approval of the proposed projects.

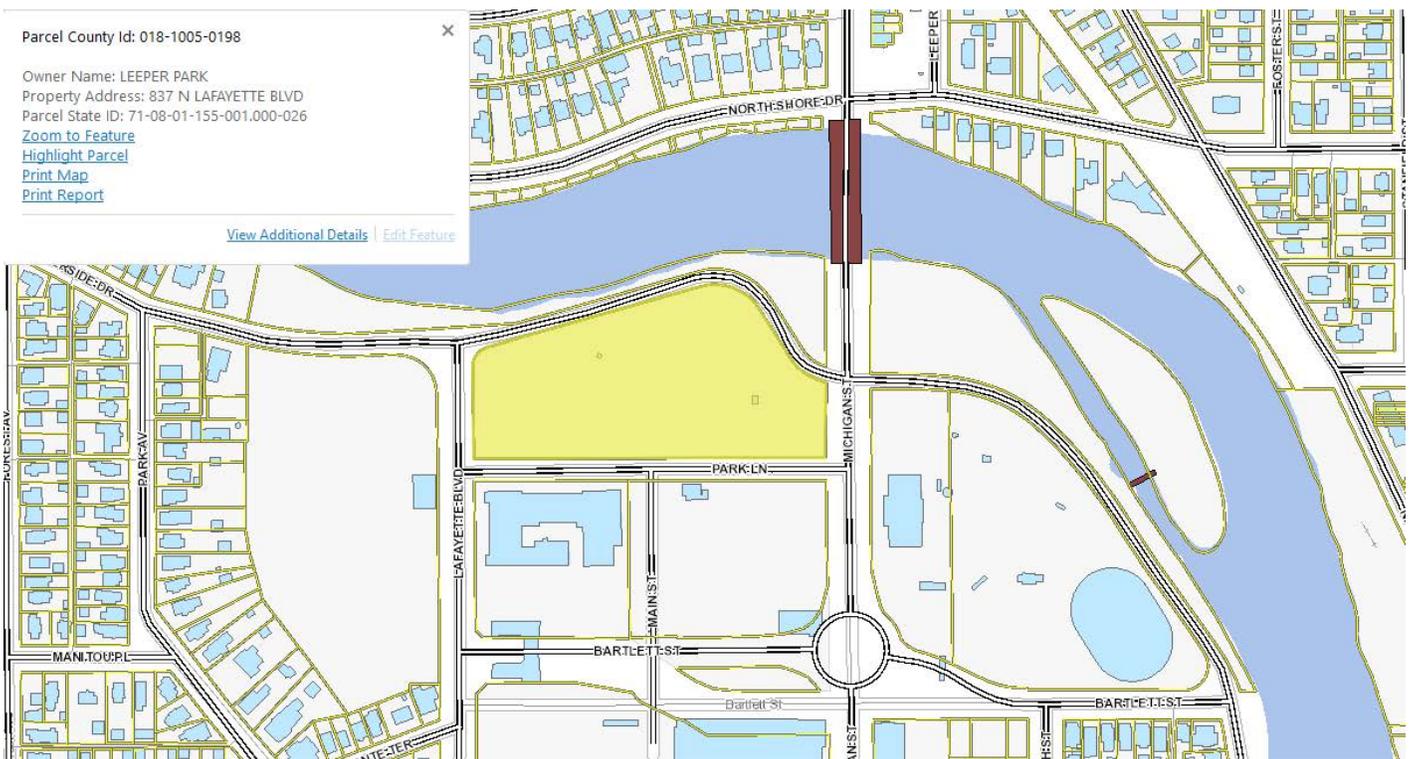
Report compiled by
Elicia Feasel, Historic Preservation Administrator

HISTORIC PRESERVATION COMMISSION OF SOUTH BEND AND ST. JOSEPH COUNTY

LOCATION MAP - Map showing location of the property and surrounding area (Google Maps)



AERIAL MAP - highlighted property on map (MACOG)



PROJECT DESCRIPTION

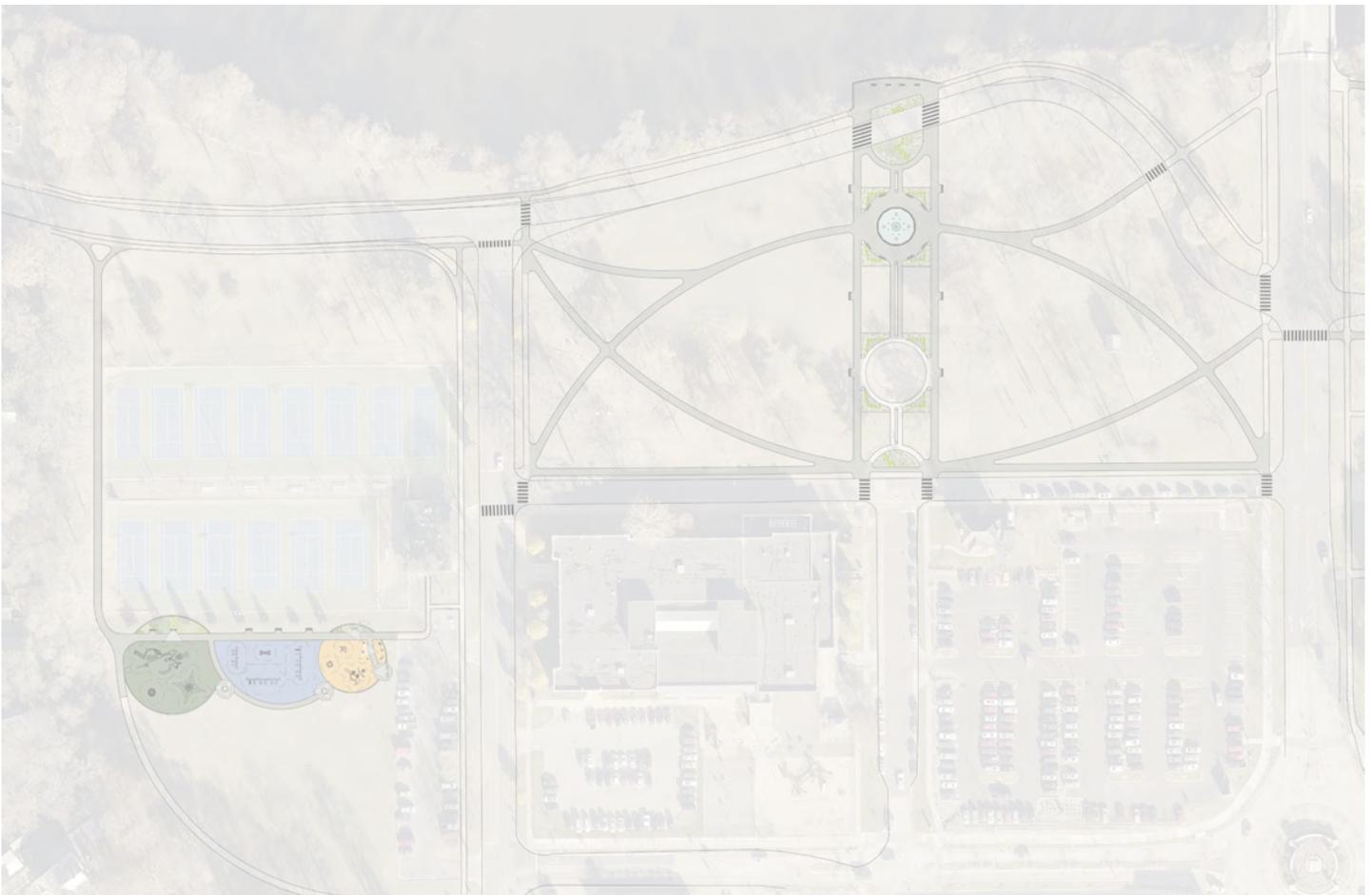
Leeper Park reflects the characteristics of an early 20th century urban park combining the concepts of a rural retreat, preservation and enhancement of natural scenery, opportunities for public gathering, and space for active recreation. Parks of this era frequently combined formal elements such as public gardens and promenades with more informal and pastoral spaces. From the 1998 Leeper Park National Register of Historic Places (NRHP) nomination, “. . . early 20th century parks were not static elements of the urban landscape; they were often overlays of sequential designs.” This concept is proven by the history of the Leeper Park and, looking forward, by the proposed improvements included in this application.

The modern visioning process for Leeper Park began in 1996 with the extensive research published by J. Edward Talley, followed by the 1998 Cultural Landscape Report, the 1998 NRHP nomination, development of site specific preservation guidelines, and the 2017 riverfront and trail framework plan. The 2018 Leeper Park Concept Plan presented in this application incorporates concepts from the above documents and draws heavily from George Kessler’s 1915 plan, itself an overlay of the 1905 Beyer Plan, to create a public space that celebrates Leeper Park’s historic integrity and functions for contemporary needs.

This application for a Certificate of Appropriateness is for the following project elements (see map on next page for the Phase 1 project area):

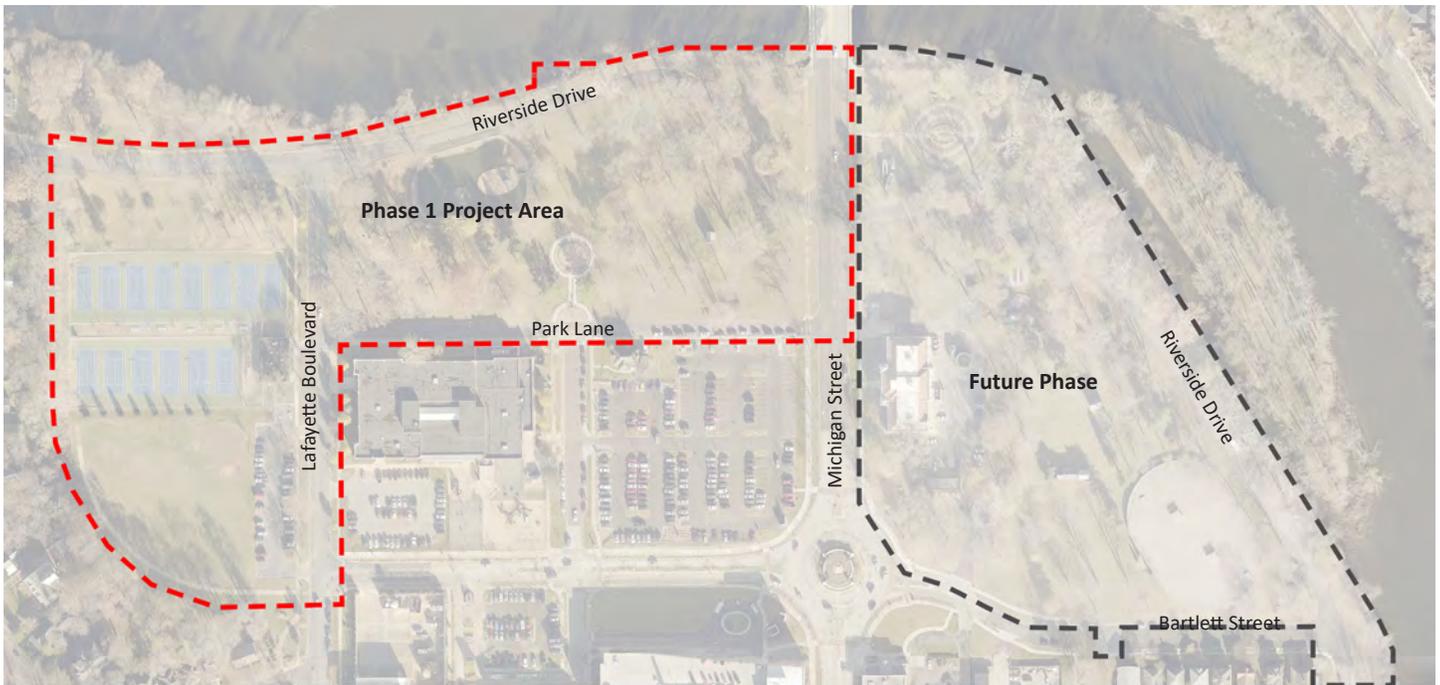
1. Lighting
2. Interpretive sign design (content to be prepared at a later date)
3. Furnishings and garden ornaments
4. Planting design

These elements are discussed in detail on the following pages and are supported by a combination of plans, photographs, narrative and additional imagery.



Leeper Park is bounded by the park's property line on the west, the St. Joseph River on the north and east, and Park Avenue and Bartlett Street on the south.

This application requests a Certificate of Appropriateness for the following Phase 1 elements:



1. Site Lighting

The proposed site lighting matches existing lighting found in the eastern section of the park and along Riverside Drive. This work will include the removal of several existing wood poles, cobra head light fixtures and runs of overhead wiring.

Proposed Lighting

- 10 foot tall, spun concrete poles. Poles are being provided by the City of South Bend from existing inventory. Poles will match those already in place along Riverside Drive. See attached photos.
- Lantern style luminaire, black finish, LED light source, Color temperature: 3,000K. See attached cut sheet.
- See location map for proposed light pole locations.

Reference

- Leeper Park Cultural Landscape Report
 - Pages 55: "The replicated exposed aggregate cast stone light standards and polycarbonated, lensed ligholiers on the upper reaches of Riverside Drive are, we believe, appropriate for the park in general."

2. Interpretive Signs

Three new interpretive signs are proposed in this phase of work. Subjects include:

- A. George Kessler and Leeper Park

- B. The Studebaker Electric Fountain
- C. The Duck Pond

Proposed Design

- Aluminum tube and panel construction, black finish. See attached details.
- See location map for proposed sign locations.

3. Furnishings and Garden Ornaments

Simple site furnishings include benches and trash cans. Two styles of cast limestone garden ornaments are proposed for the central formal garden.

Proposed Design

- New backed and backless benches, horizontal bars, donation plaques set into bench structure. Black powdercoat finish. See attached images and location maps. 6 feet long.
- Custom high backed benches, black aluminum, located along the outer edges of the formal garden. These benches are designed to replicate the benches originally found in Leeper Park. See the attached images. 8 feet long.
- Closed top trash cans, vertical bar style, black powdercoat finish. See attached images and location maps.
- Cast limestone urns, natural limestone finish located at corners of formal garden elements. See images and location maps.
- Cast limestone ball finials, natural limestone finish, located at end points of the formal garden “median”. images and location maps.

Reference

- Standards and Guidelines for Leeper Park
 - Item 9.7.4: “...addition of new furnishings and objects will be considered if they do not alter the basic concept of the historic landscape design.”

4. Planting

Shade and flowering trees will be planted throughout the park in informal groupings. Formal floral gardens of mixed perennials and annuals will be planted in the central garden and bound with buried steel edging separating the floral areas from adjacent lawn panels. See the attached planting plans.

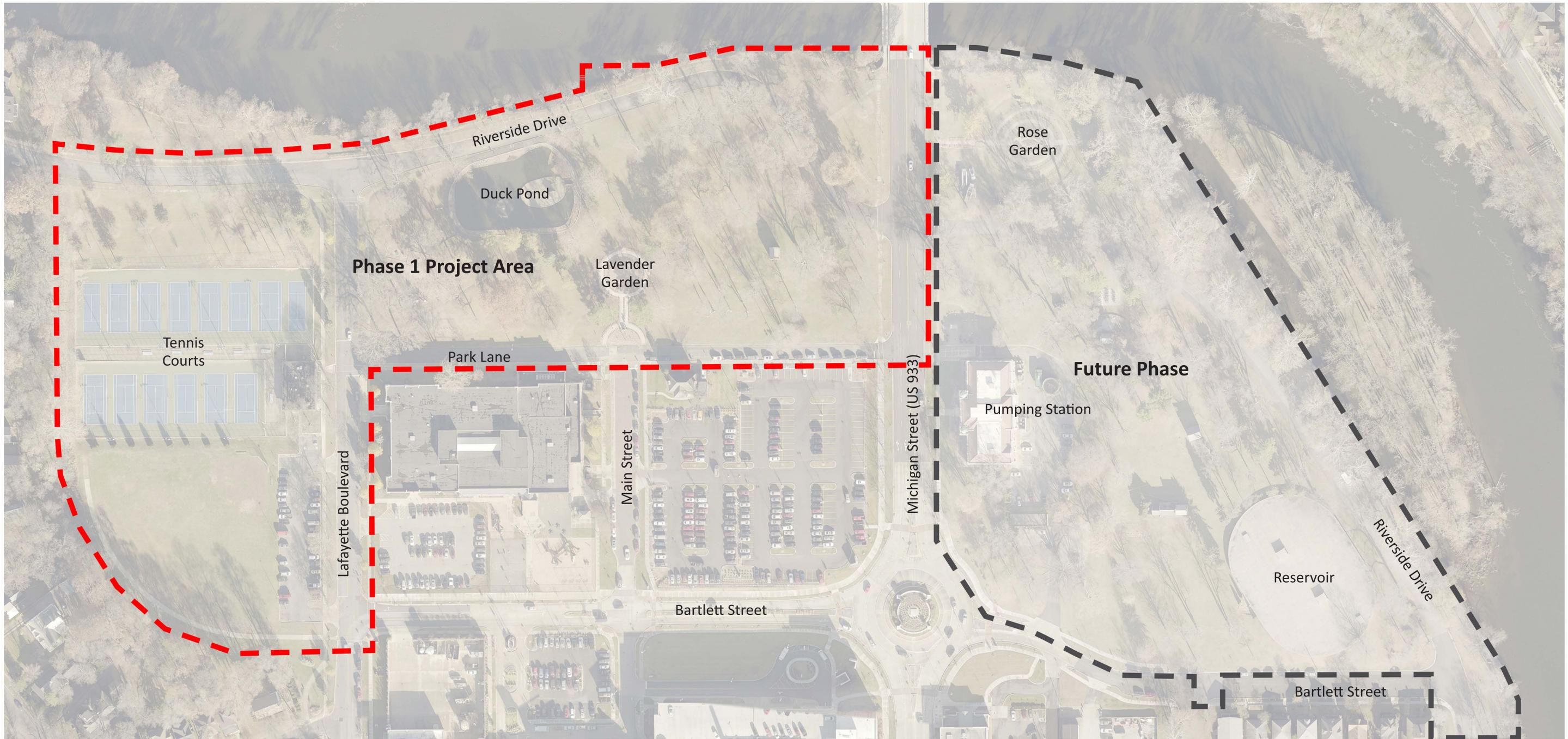
Proposed Design

- Groupings of large shade trees throughout the central section of the park.
- Groupings of flowering trees, located in the southern area of the central section to create seasonal interest and provide filtered separation from surrounding land uses.

Reference

- 1905 Beyer Plan: included a strong central axis in combination with informal tree groupings
- 1915 Kessler plan: significantly enhanced the design of the 1905 central axis and included informal tree groupings
- Leeper Park Cultural Landscape Report
 - Pages 46, 53, 54: recommendation for the restoration of the formal garden
 - Formal garden configuration apparent in 1938, 1951 and 1965 aerial photography
- NRHP Nomination
 - Section 7, Page 2: “An additional formal garden was developed in 1919, extending the axis of Main Street into the park.”

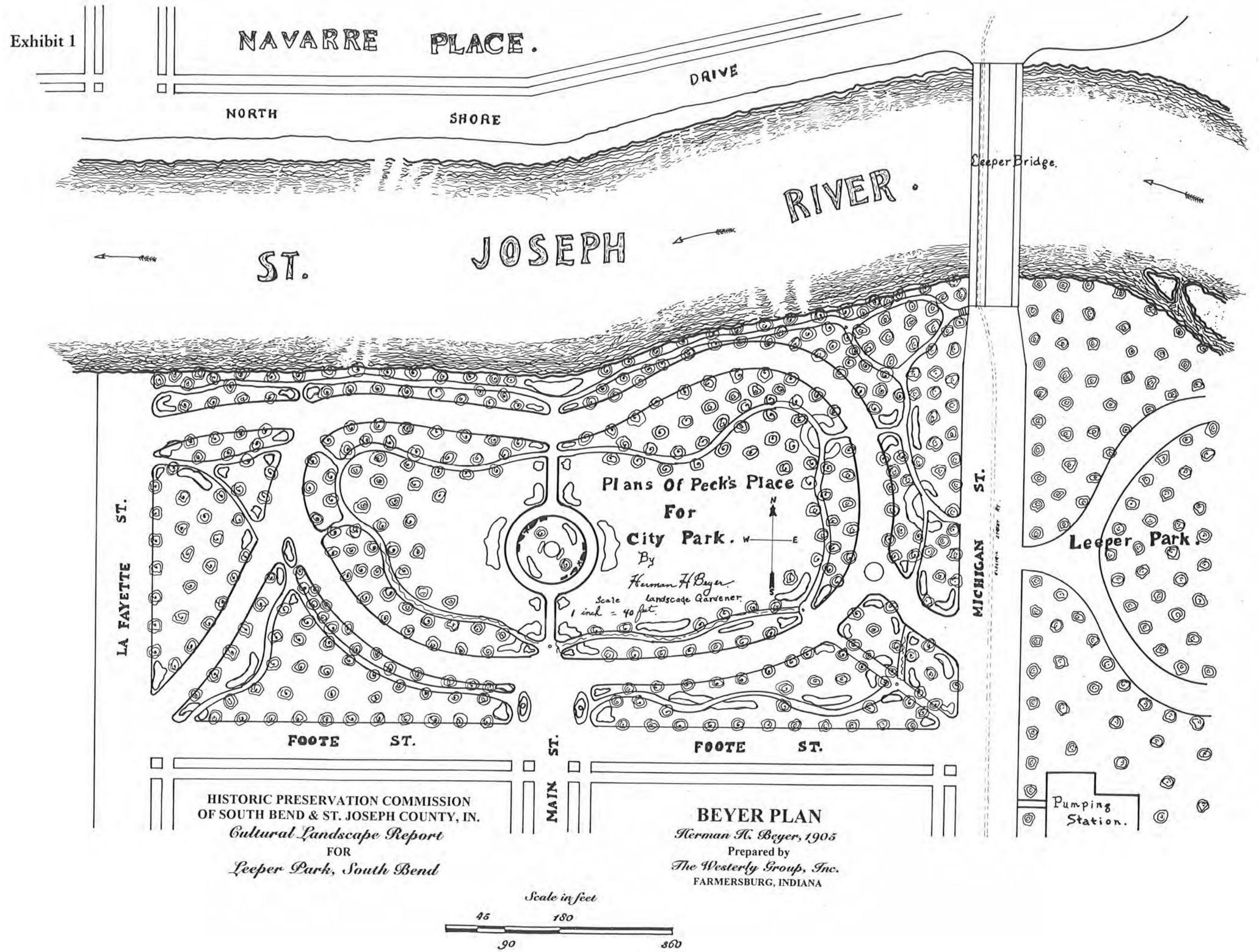
- Section 7, Page 3: “The park was designed to provide views of the river from a number of locations. Vistas include the views approaching the park from Main Street, where there is a view of the central garden . . .”
- Section 8, Page 9: “Plantings are massed to form open lawn spaces.”
- Section 8, Page 10, Statement of Significance: “The Kessler and earlier Beyer designs for Leeper Park provided the quintessential components of the City Park: . . . a system of curvilinear paths for strolling, . . . and formal landscape features such as gardens and broad terraces for gatherings.”
- Section 8, Page 11: “The garden . . extended the street vista into the park with parallel walks and central garden layout, utilizing forms similar to other Kessler formal gardens in Indianapolis at Garfield Park and University Park, both also designed in 1915.”
- Section 8, Page 12: “The details that have been lost are primarily plantings: shrub massing, ornamental trees, and the several formal garden areas of the park.”
- Standards and Guidelines for Leeper Park
 - Item 9.4.16: “Future planting of the main floral garden in the central section of the park shall be guided by the design of the main floral garden as laid out by George Kessler in 1912.”



Leeper Park Concept Development *Project Area*

NOTES:

- Curvilinear paths
- Strong north/south central axis



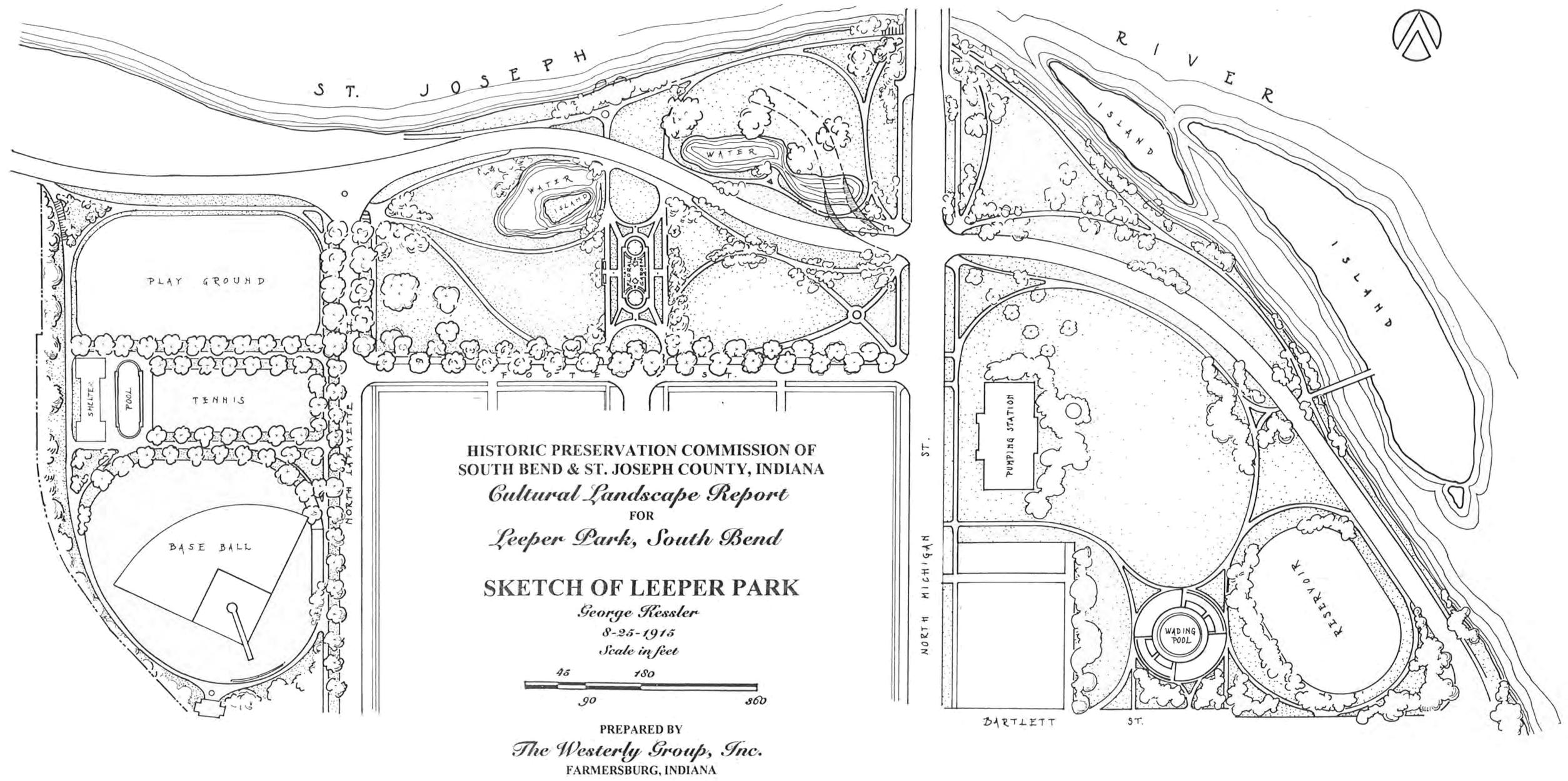
Beyer Plan, 1905



Leeper Park Concept Development

Historic Context





Kessler Plan, 1915

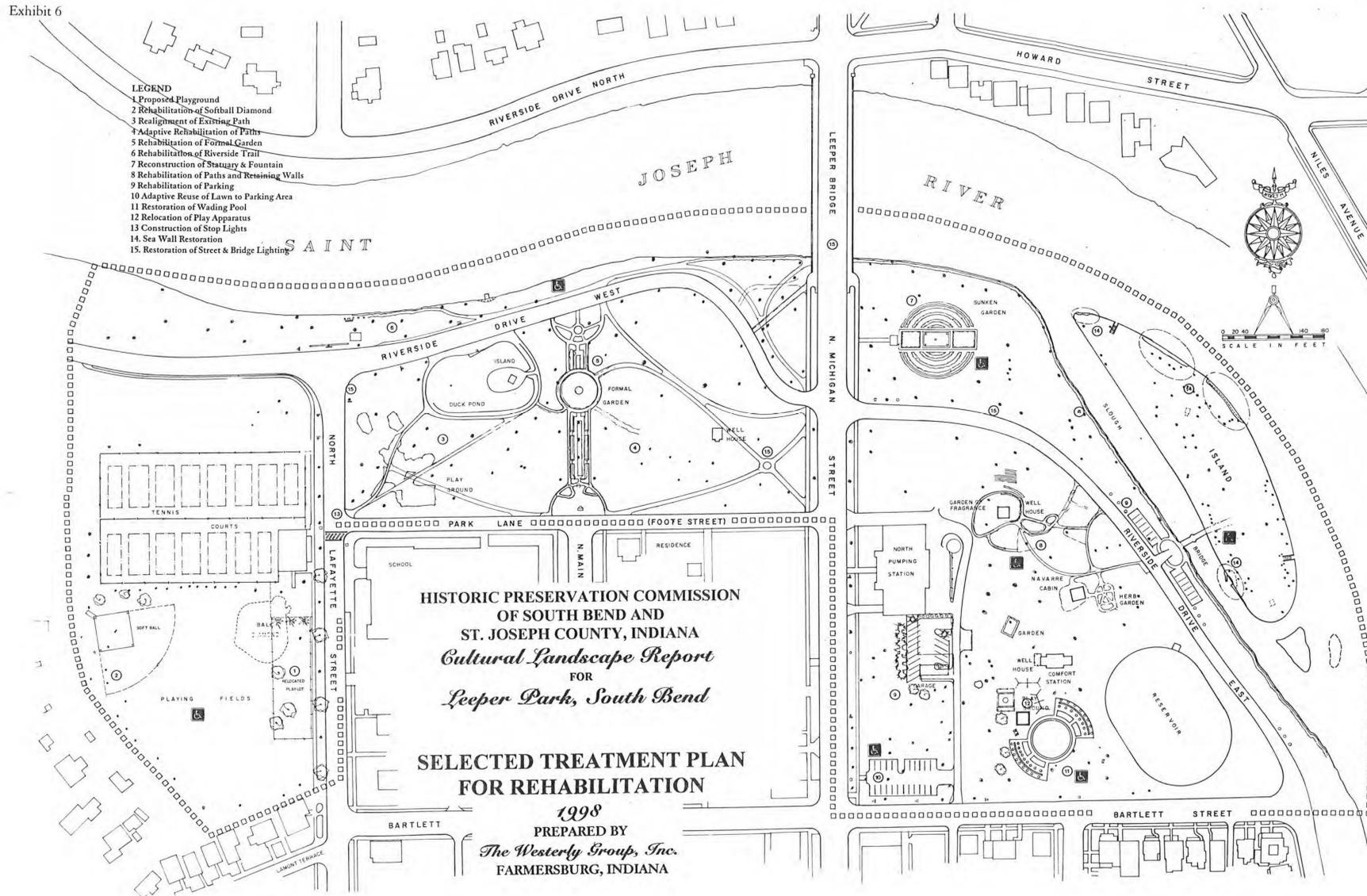
NOTES:

- Active uses including play and tennis located in the west section
- Sweeping, arced path network
- Formal garden and strong north/south central axis
- Use of tree lines to accentuate paths
- Informal planting throughout park



Leeper Park Concept Development
Historic Context





Leeper Park
CULTURAL LANDSCAPE REPORT

Prepared by
The Westerly Group, Inc.

For:
The Historic Preservation Commission
of South Bend & St. Joseph County

May, 1998

Leeper Park Cultural Landscape Report, 1998

NOTES:

- Play relocated to west section
- Recreation of a strong central axis
- Adaptive recreation of Kessler-esque path system in center section

APR-18-98 11:28 PM 1001 RIVERSIDE DRIVE 219 288 8314 P.02

9.0 LANDSCAPES - STANDARDS AND CRITERIA FOR LEEPER PARK

9.1 Introduction

1. In these guidelines the verb *Should* indicates a recommended course of action; the verb *Shall* indicates those actions which are specifically required to preserve and protect significant architectural elements.
2. The intent of these standards and criteria is to preserve the overall character and appearance of Leeper Park including its spatial organization, topography, vegetation, circulation and features.
3. The standards and criteria acknowledge that there will be changes to the landscape and are intended to make the changes sensitive to the historic character of the landscape.
4. Each property will be separately studied to determine if a later addition(s) and/or alteration(s) can, or should, be removed.
5. Since it is not possible to provide one general guideline, the following factors that will be considered in determining whether a later addition(s) and/or alteration(s) can, or should, be removed include:
 - a. Compatibility with the original property's integrity in scale, materials and character.
 - b. Historic association with the property.
 - c. Quality in design and execution of the addition/alteration.
 - d. Functional usefulness.
6. Recreational facilities which exist should be allowed to remain as long as they serve substantial community functions. In some cases these features can be redesigned to be more compatible with the overall landscape.
7. Additions to existing recreational facilities shall not be allowed unless such additions make the facilities more compatible with the overall landscape.
8. The development of additional facilities for active recreation or single purpose uses for limited user groups shall not be allowed.
9. Proposals for special activities and events which cause significant impacts or require permanent or even semi-permanent (seasonal) structures or facilities shall not be

Standards and Criteria for Leeper Park



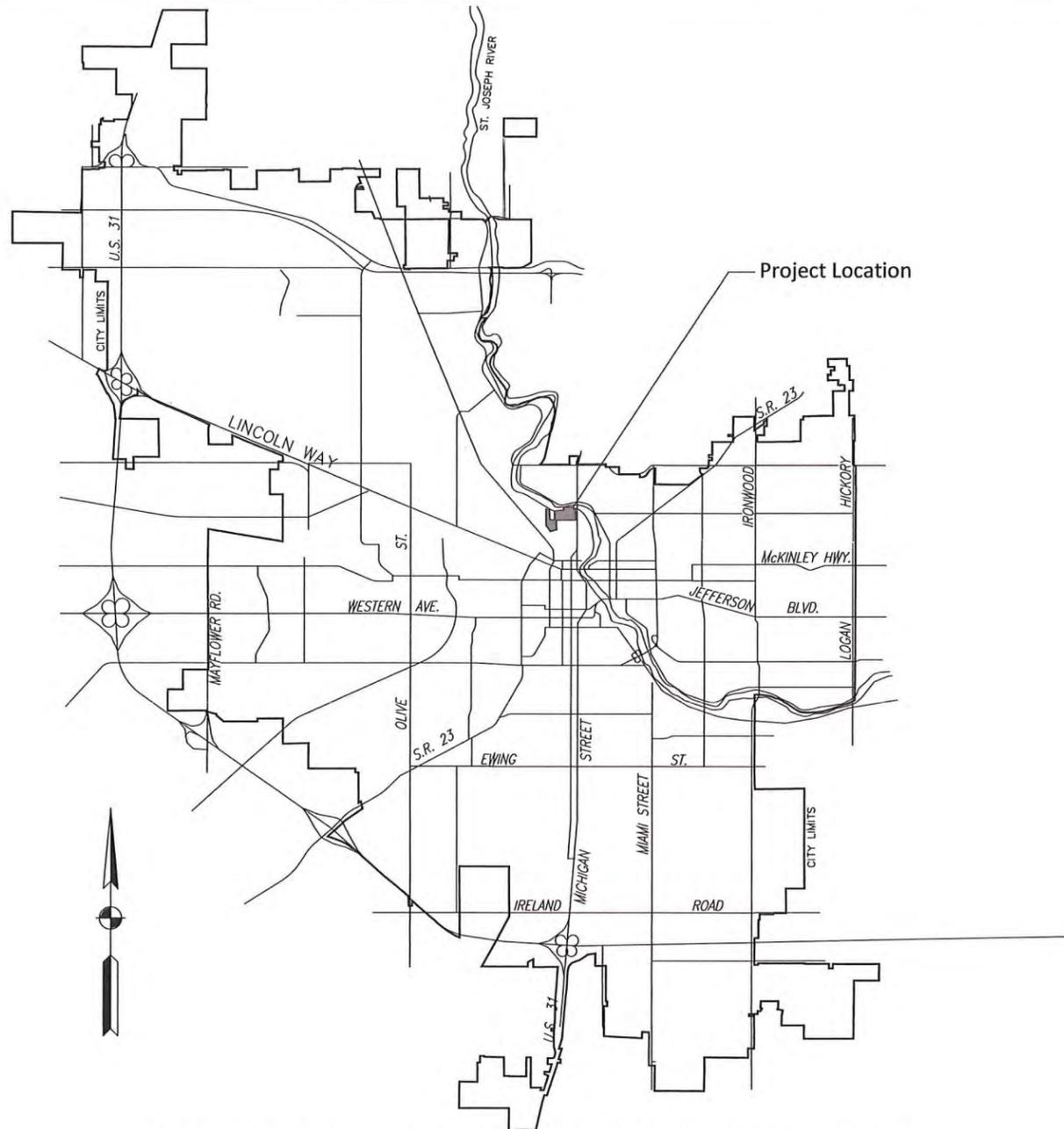
Leeper Park Concept Development
Historic Context



CITY OF SOUTH BEND, INDIANA

DEPARTMENT OF PUBLIC WORKS

PROJECT SEWER WATER TRAFFIC STREET OTHER



CITY OF SOUTH BEND, INDIANA PREVAILING SPECIFICATIONS LATEST EDITION,
TO BE USED WITH THESE PLANS.

Historic Leeper Park Improvements Bid Package 1

118-010A

March, 2019

BOARD OF PUBLIC WORKS

<i>Gary A. Girot</i> GARY A. GILOT	PRESIDENT	DATE
ELIZABETH A. MARADIK	MEMBER	DATE
<i>Therese J. Dorau</i> THERESE J. DORAU	MEMBER	DATE
<i>Laura O'Sullivan</i> LAURA O'SULLIVAN	MEMBER	DATE
SUZANNA M. FRITZBERG	MEMBER	DATE

RECOMMENDATIONS OF CITY STAFF

<i>Kyle Silveus</i> KYLE SILVEUS, PE	DESIGN AND ADMINISTRATION	3/12/19 DATE
<i>Kara M. Boyles</i> KARA M. BOYLES, PHD, PE	CITY ENGINEER	3/12/19 DATE
<i>Toy Villa</i> TOY VILLA	CONSTRUCTION MANAGER	3-12-19 DATE

TABLE OF CONTENTS

SHEET NO.	TITLE	SHEET NO.	TITLE
1	TITLE SHEET	24	EROSION CONTROL INFORMATION
2-3	SURVEY	25-27	PLANTING AND FURNISHINGS PLAN
4	OVERALL PLAN	28-29	ENLARGED PLANTING AND FURNISHINGS PLAN
5-7	DEMOLITION PLAN	30	PLAN DETAILS
8-9	ENLARGED DEMOLITION PLAN	31	CURB RAMP DETAILS
10-12	LAYOUT PLAN	32	ENLARGED PLAYGROUND PLAN
13-14	ENLARGED LAYOUT PLAN	33-35	CONCRETE JOINT LAYOUT PLAN
15-17	GRADING PLAN	36-37	ENLARGED CONCRETE JOINT LAYOUT PLAN
18-19	ENLARGED GRADING PLAN	38-39	MISCELLANEOUS DETAILS
20	FOUNTAIN UTILITY PLAN	40-41	ELECTRICAL PLANS AND DETAILS
21-23	EROSION CONTROL PLAN	42	STRUCTURAL DETAILS

STANDARD DRAWINGS



Barbara K. Shihart

PLANS PREPARED BY:



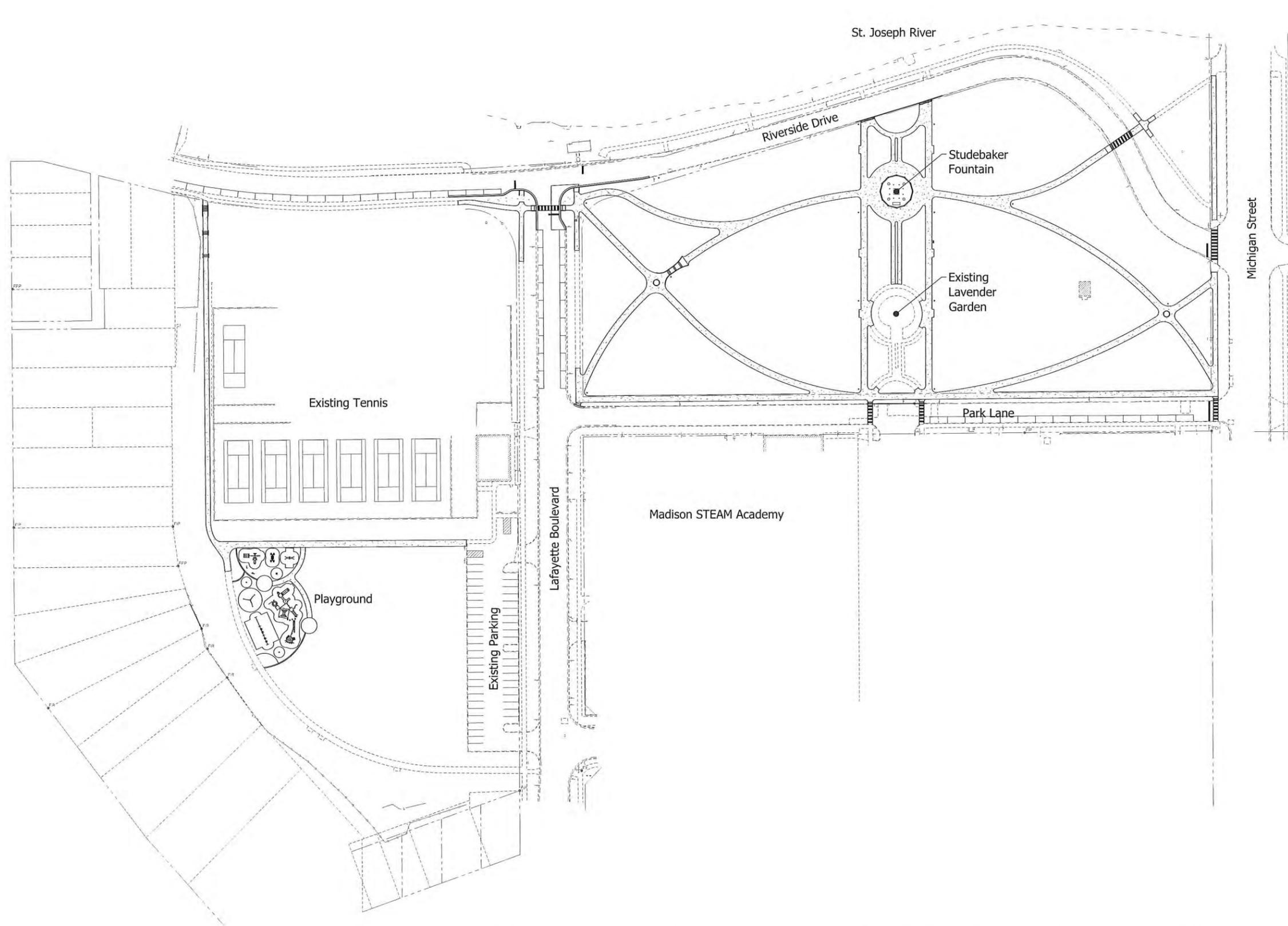
PLANS PREPARED FOR:

CITY OF SOUTH BEND
ENGINEERING DIVISION
1316 COUNTY-CITY BUILDING
SOUTH BEND, IN 46601

Jonathan Mooney
JONATHAN MOONEY, PLA

3.12.19
DATE





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SOUTH BEND INDIANA
CITY OF SOUTH BEND
HISTORIC LEEPER PARK IMPROVEMENTS - BID PACKAGE 1

KEY PLAN

DESIGNED:	CHKD:	JTM	NO.	REVISION	BY	DATE
DJG	JTM		△			
JTM	BSS		△			
DATE:	March, 2019		△			
HORIZ. SCALE:	1" = 60'		△			
VERT. SCALE:	N/A		△			
CITY PROJECT NUMBER	118-010A		△			



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SHEET 4
 OF 42

KEYNOTES

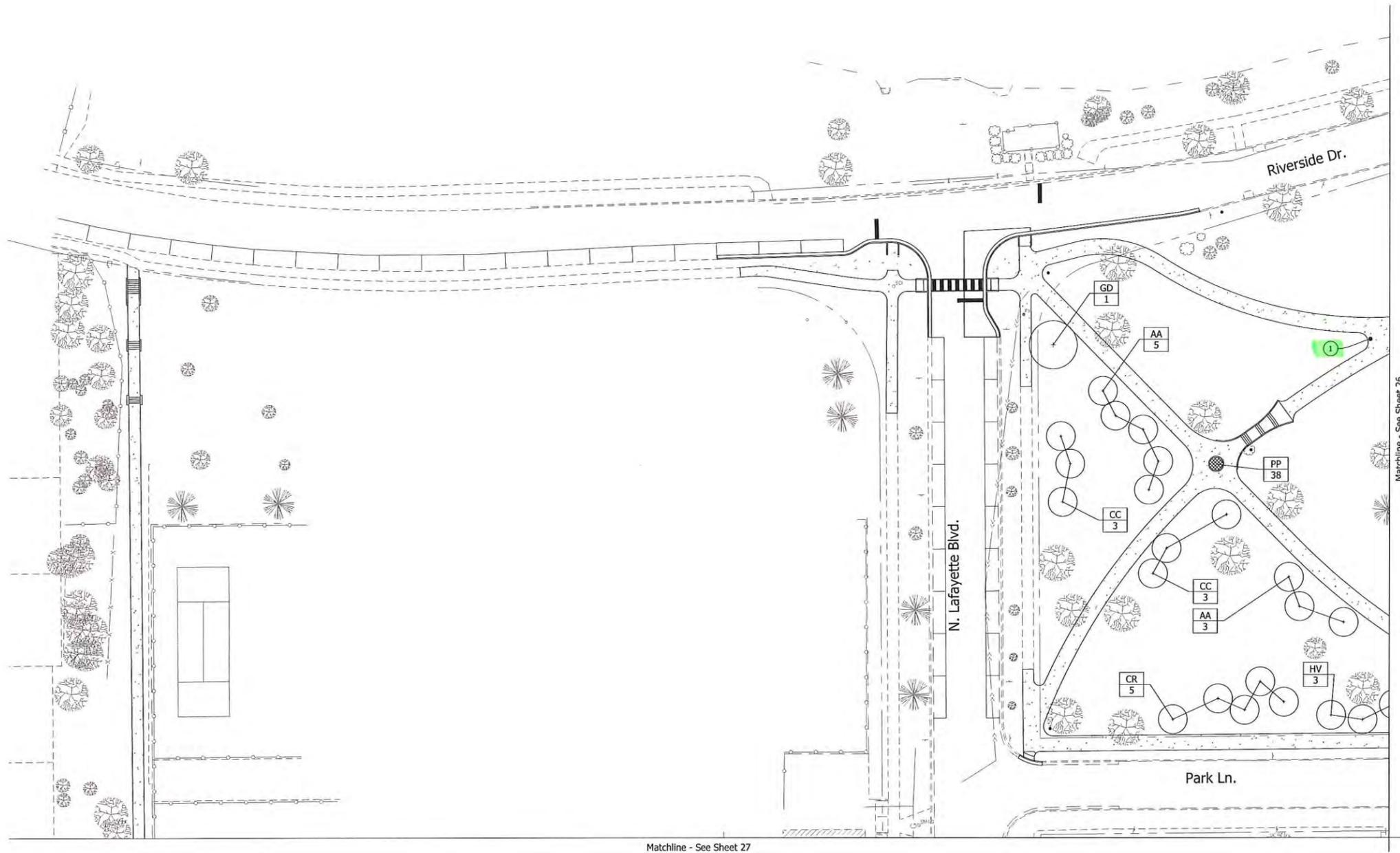
- ① New Trash Can, See Specifications

TREE, SHRUB AND PERENNIAL PLANTING

1. In case of discrepancies between the plan and the plant list, the plan shall dictate.
2. All shrub and perennial planting areas to be covered with 3" layer of shredded hardwood bark mulch. Mulch shall be approved by Landscape Architect and shall be uniform in texture and color. No utility mulch or processed tree trimmings will be allowed.
3. Final placement of plant materials, etc. shall be approved by Landscape Architect before planting operations are to proceed. All tree locations shall be marked with a wood stake indicating variety and size of tree. All ground cover and planting bed lines shall be marked w/ highly visible paint lines w/ occasional wood stakes for reference. All stakes shall be removed following planting operations. Landscape Architect reserves the right to adjust plant locations on site.
4. No substitutions of plant materials will be allowed. If plants are not available, the Contractor shall notify Landscape Architect prior to bid in writing. All plants shall be inspected and tagged with project I.D. at nursery or Contractor's operations prior to moving to job site. Plants may be inspected and approved or rejected on the job site by Landscape Architect.
5. Plants and all other materials to be stored on site will be placed where they will not conflict w/ construction operations.
6. Landscape Contractor shall notify Landscape Architect in writing prior to bid date of any plants he/she feels may not survive in locations noted on plans.
7. All landscape plantings shall be guaranteed for a period of one year following final inspection. At the end of this period, plant material termed dead or unsatisfactory shall be replaced at no additional charge by the Landscape Contractor.

TRADITIONAL LAWN SEEDING

1. All disturbed lawn areas shall be seeded. Permanent seeded areas shall be standard INDOT seed mix 'U'. Seeding Quantity includes overseeding undisturbed existing lawn areas. See Specifications.
2. General lawn seed mix shall be per Indiana Department of Transportation standard.
3. General lawn areas shall be installed and maintained per Indiana Department of Transportation standard.



Matchline - See Sheet 26

Matchline - See Sheet 27

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 574.334.5460

SOUTH BEND INDIANA
CITY OF SOUTH BEND
HISTORIC LEEPER PARK IMPROVEMENTS - BID PACKAGE 1
PLANTING AND FURNISHINGS PLAN

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DRAWN: DJG CHKD: JTM NO.
 DESIGNED: JTM APPRVD: BSS
 DATE: March, 2019
 HORIZ. SCALE: 1" = 30'
 VERT. SCALE: N/A
 CITY PROJECT NUMBER
118-010A

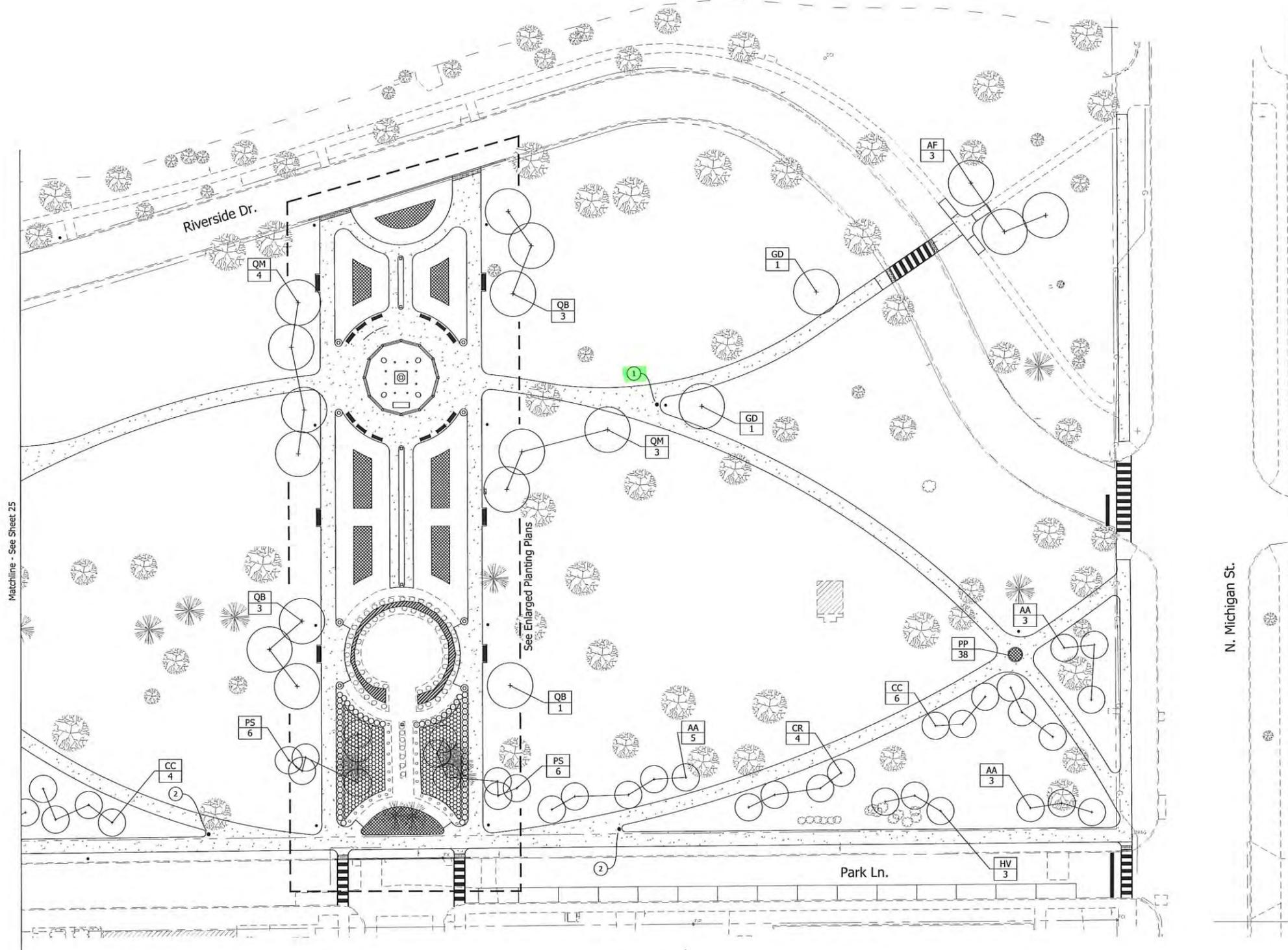
JOHATHAN THUM MODEL
 REGISTERED
 No. LA20900152
 STATE OF INDIANA
 LANDSCAPE ARCHITECT

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SHEET 25
 OF 42

KEYNOTES

- ① New Trash Can, See Specifications
- ② Relocated Trash Can, See Specifications



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PLANTING AND FURNISHINGS PLAN

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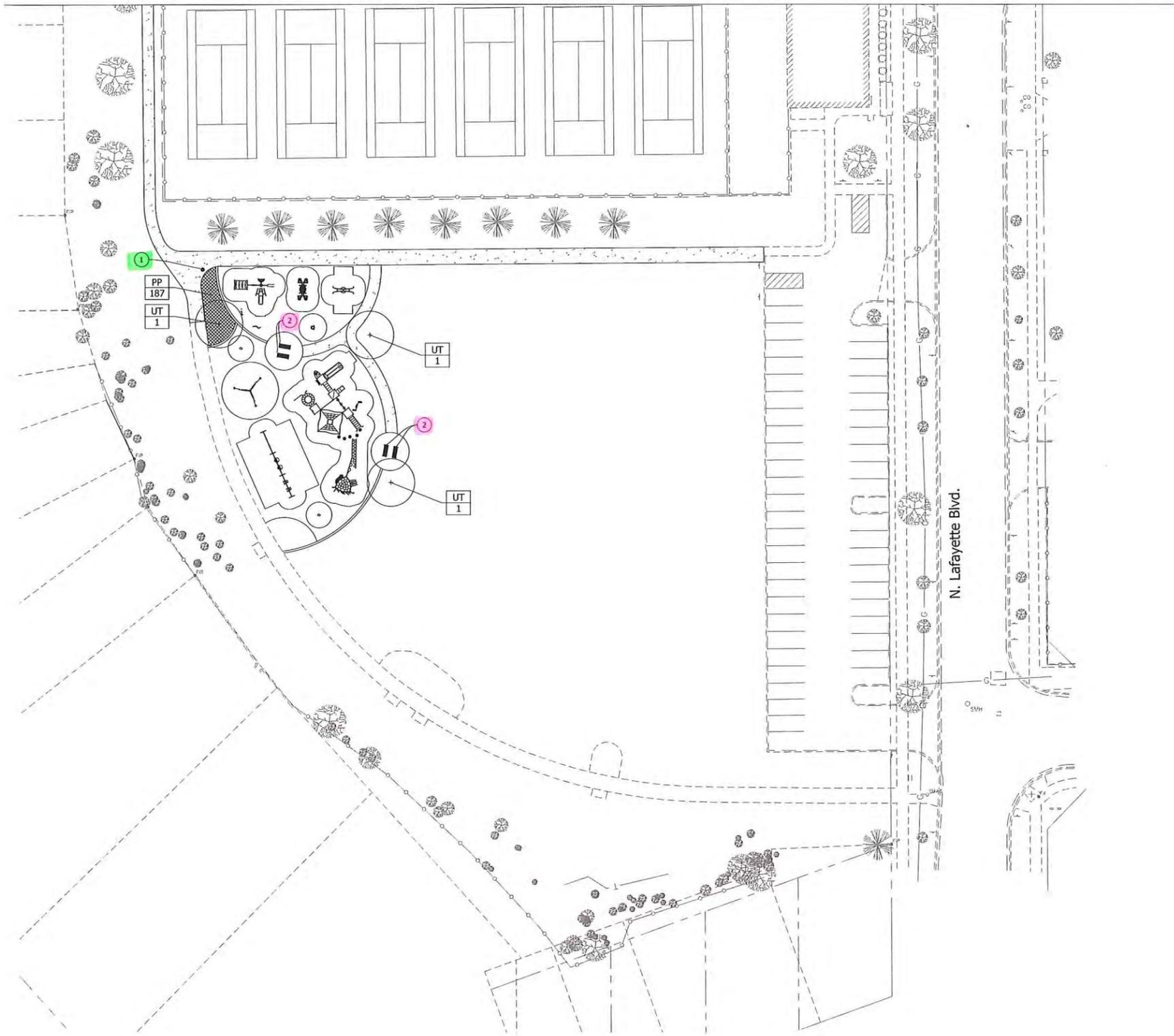
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 DESIGNED: JTM APPRVD: BSS
 DATE: March, 2019
 HORIZ. SCALE: 1" = 30'
 VERT. SCALE: N/A
 CITY PROJECT NUMBER
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SHEET 26
 OF 42

Matchline - See Sheet 25



KEYNOTES

- ① New Trash Can, See Specifications
- ② 6' Backed Bench, Typ. of 4, See Specifications

PLANT SCHEDULE

Trees and Shrubs

SYMBOL	QUANT.	LATIN	COMMON	SIZE	COND.	NOTES
AA	19	AMELANCHIER X GRANDIFLORA 'BALLERINA'	BALLERINA SERVICEBERRY	6'	B & B	CLUMP FORM
AF	3	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3" CAL.	B & B	-
BM	68	BUXUS MICROPHYLLA	BOXWOOD	3 GAL.	CONT.	36" O.C.
CC	16	CERCIS CANADENSIS	EASTERN REDBUD	1.5" CAL.	B & B	-
CR	9	CRATAEGUS CRUS-GALLI 'CRUSADER'	CRUSADER HAWTHORN	1.5" CAL.	B & B	-
GD	3	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	3" CAL.	B & B	-
HV	6	HAMAMELIS VIRGINIANA	COMMON WITCHHAZEL	4"	B & B	-
PS	12	PINUS STROBUS	EASTERN WHITE PINE	8-10'	B & B	8-10' O.C., MATCH EXISTING
QB	7	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL.	B & B	-
QM	7	QUERCUS MACROCARPA	BUR OAK	3" CAL.	B & B	-
UT	3	ULMUS 'MORTON GLOSSY'	TRIUMPH ELM	3" CAL.	B & B	-

Perennials and Grasses

SYMBOL	QUANT.	LATIN	COMMON	SIZE	COND.	NOTES
GC	2058	-	GROUND COVER	PLUG	CONT.	12" O.C.
PP	1224	-	PERENNIAL	1 GAL.	CONT.	18" O.C.

N. Lafayette Blvd.

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SOUTH BEND INDIANA
CITY OF SOUTH BEND
HISTORIC LEEPER PARK IMPROVEMENTS - BID PACKAGE 1
PLANTING AND FURNISHINGS PLAN

DRAWN:	CHKD:	JTM	NO.	REVISION	BY	DATE
DESIGNED: JTM	APPRVD: BSS					
DATE: March, 2019						
HORIZ. SCALE: 1" = 30'						
VERT. SCALE: N/A						
CITY PROJECT NUMBER						
118-010A						



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SHEET 27
OF 42

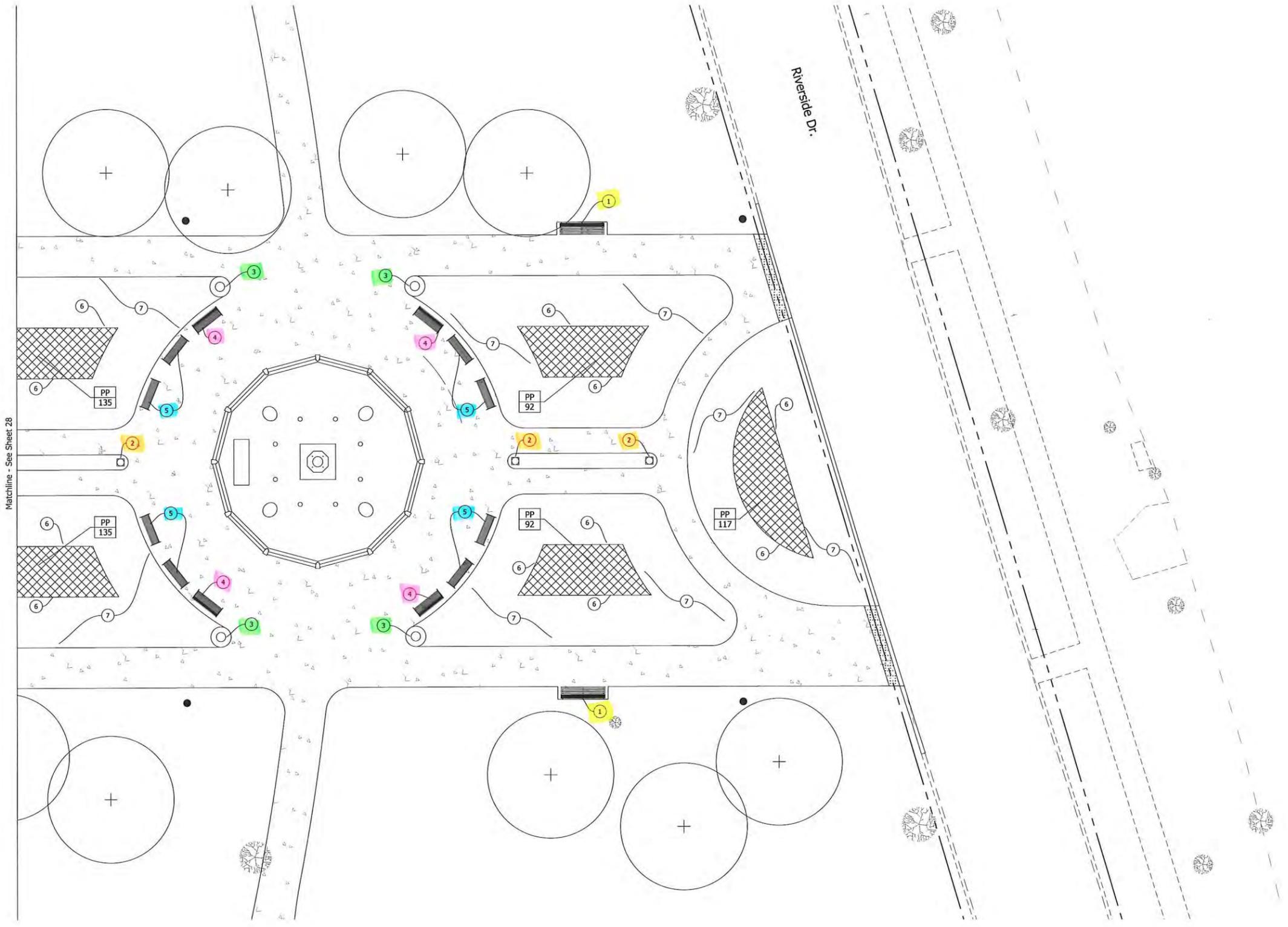


KEY

Groundcover Bed

Garden Bed

- KEYNOTES**
- 1 Custom Bench, See Details
 - 2 Cast Stone Ball Finial, See Details and Specifications
 - 3 Cast Stone Urn, See Details and Specifications
 - 4 6' Backed Bench, See Specifications
 - 5 6' Backless Bench, See Specifications
 - 6 Steel Edging, See Specifications
 - 6 Sod.



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CITY OF SOUTH BEND
HISTORIC LEEPER PARK IMPROVEMENTS - BID PACKAGE 1
 ENLARGED PLANTING AND FURNISHINGS PLAN

DESIGNED:	CHKD:	JTM	NO.	REVISION	BY	DATE
DESIGNED: JTM	APPRVD: BSS		△			
DATE: March, 2019			△			
HORIZ. SCALE: 1" = 10'			△			
VERT. SCALE: N/A			△			
CITY PROJECT NUMBER			△			
118-010A			△			



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SHEET 29
 OF 42

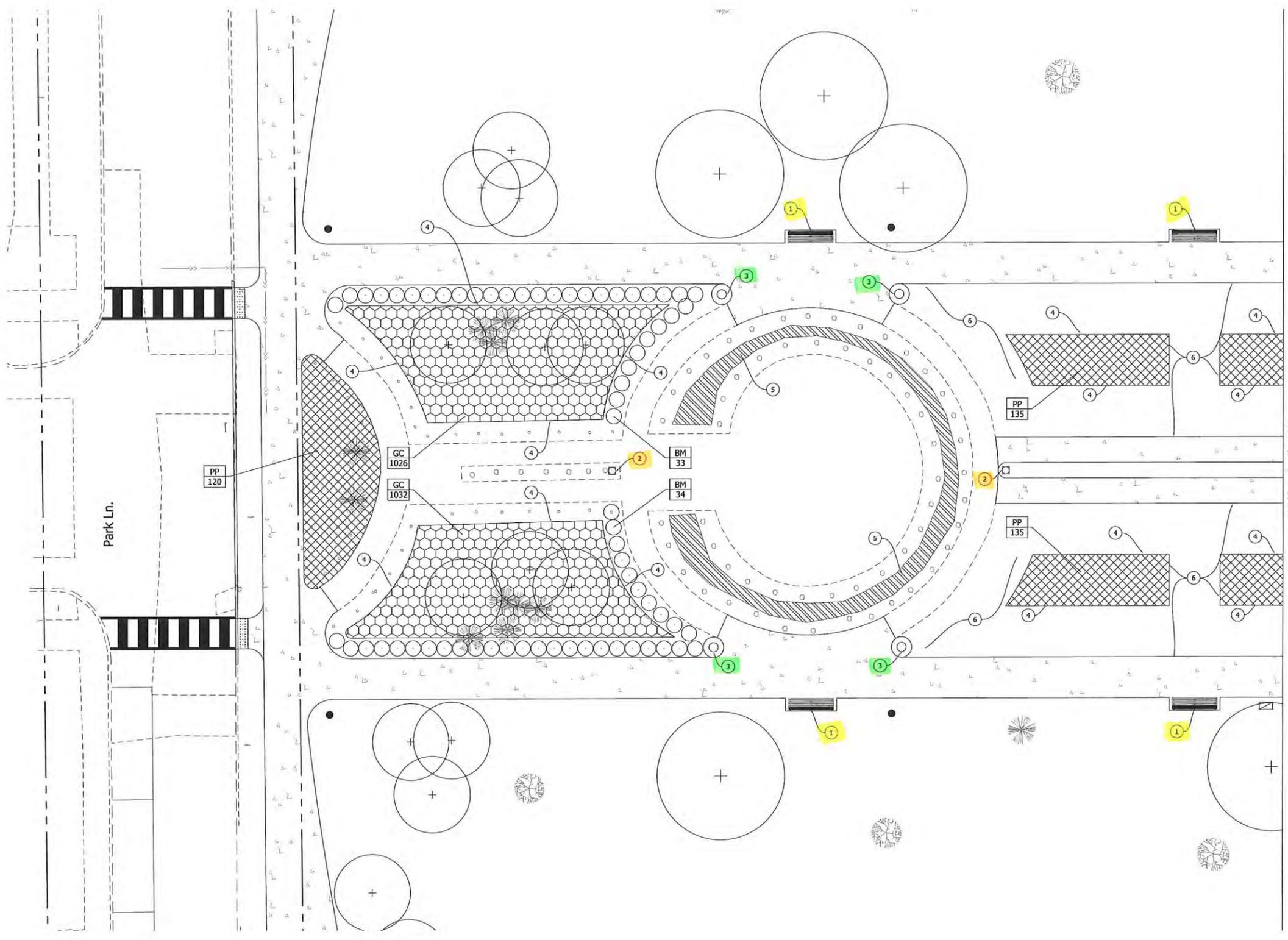


KEY

Groundcover Bed

Garden Bed

- KEYNOTES**
- 1 Custom Bench, See Details
 - 2 Cast Stone Ball Finial, See Details and Specifications
 - 3 Cast Stone Urn, See Details and Specifications
 - 4 Steel Edging, See Specifications
 - 5 Area to Receive Transplanted Perennials. Contractor to Verify Final Spacing and Layout with Landscape Architect Prior to Transplanting.
 - 6 Sod.



Date: Mar 22, 2019, 11:53am User Name: DGreen File: S:_LA2019\18-010A\Road\CD\misc\DWG\enlarger PlantingPlan.dwg

LOCHMUELLER GROUP
 112 West Jefferson Blvd, Suite 500
 South Bend, Indiana 46601
 574.334.5460

SOUTH BEND INDIANA
CITY OF SOUTH BEND
HISTORIC LEEPER PARK IMPROVEMENTS - BID PACKAGE 1
 ENLARGED PLANTING AND FURNISHINGS PLAN

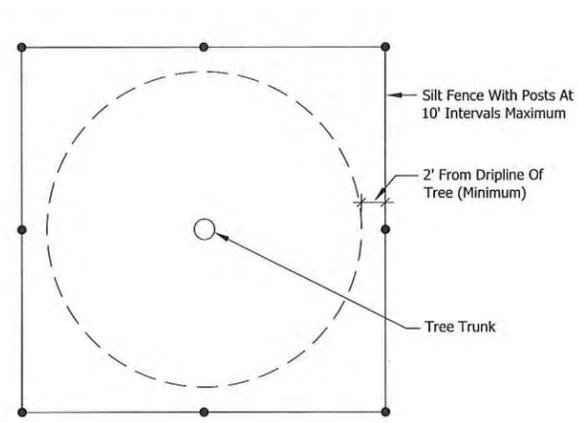
NO.	REVISION	BY	DATE
△			
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DRAWN: DJG CHKD: JTM
 DESIGNED: JTM APPRVD: BSS
 DATE: March, 2019
 HORIZ. SCALE: 1" = 10'
 VERT. SCALE: N/A
 CITY PROJECT NUMBER
118-010A

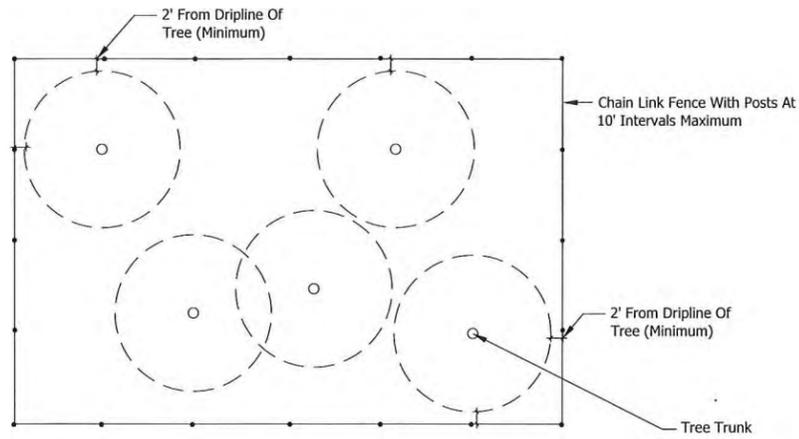


Lochmueller Group, Inc.

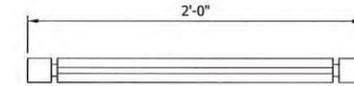
SHEET 28
 OF 42



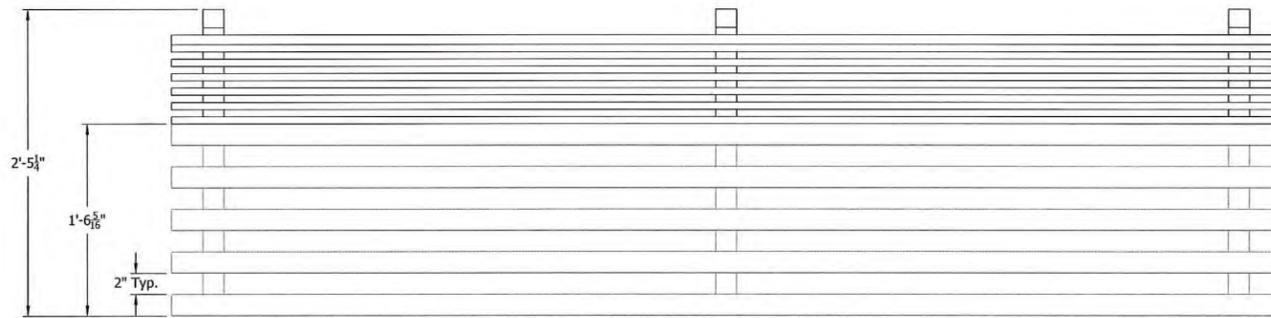
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Scale: Not to Scale



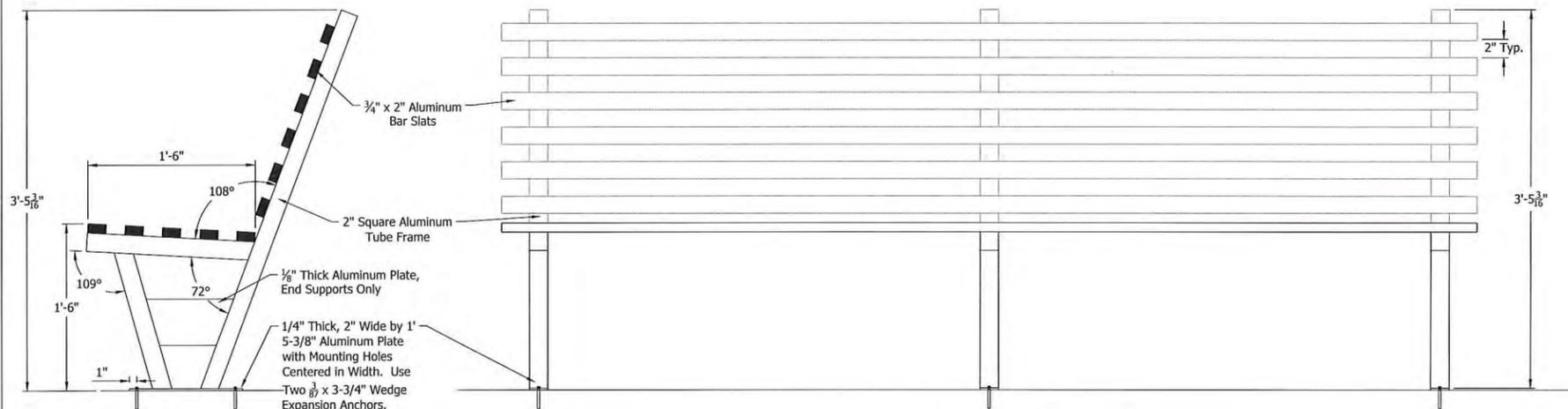
PROTECTIVE FENCING FOR EXISTING TREES - MULTIPLE
Scale: Not to Scale



TOP VIEW



TOP VIEW

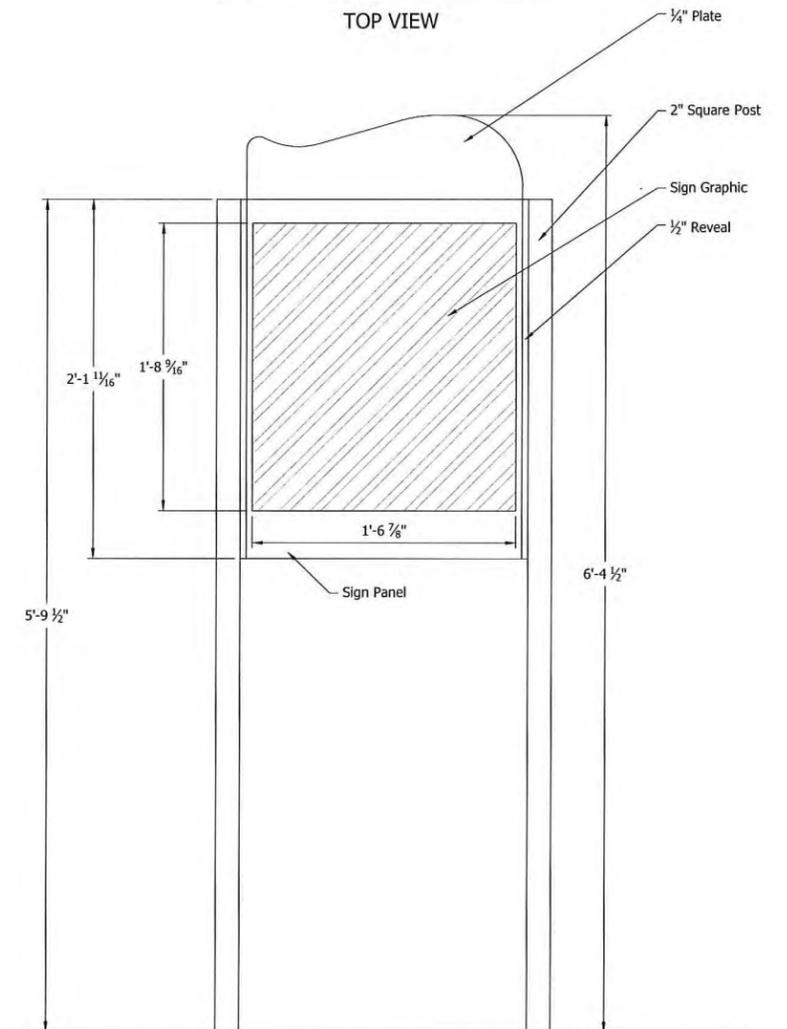


END VIEW

FRONT VIEW

BENCH
Scale: 1/8" = 1"

- Notes:**
1. Contractor to submit detailed shop drawings of proposed bench prior to fabrication.
 2. All joints to be welded and ground smooth.
 3. Entire bench to be finished in black powdercoat. Contractor to submit sample of finish prior to constructing benches.



FRONT VIEW

SIGN
Scale: 1/16" = 1"

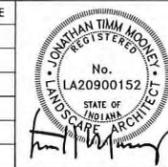
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SOUTH BEND INDIANA
CITY OF SOUTH BEND
HISTORIC LEEPER PARK IMPROVEMENTS - BID PACKAGE 1
MISCELLANEOUS DETAILS

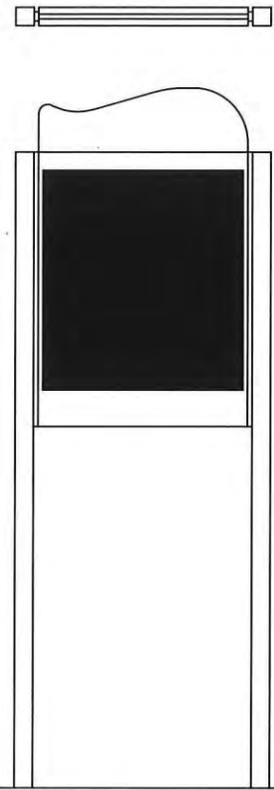
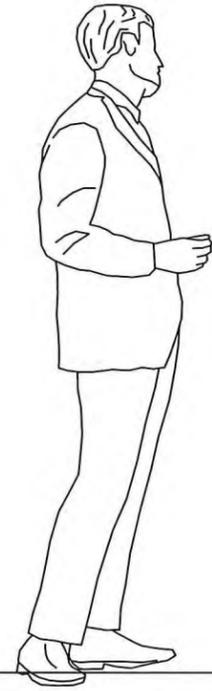
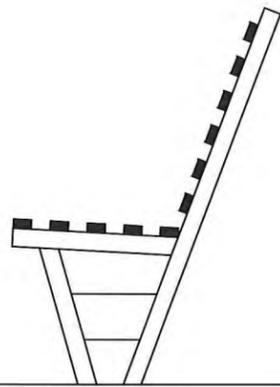
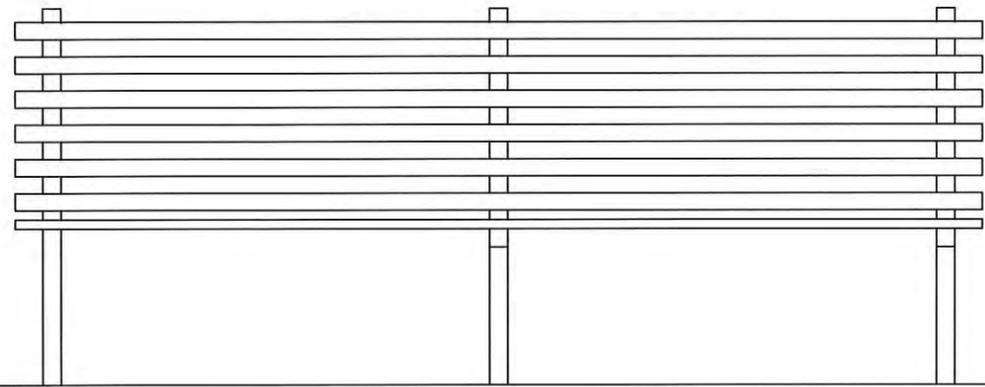
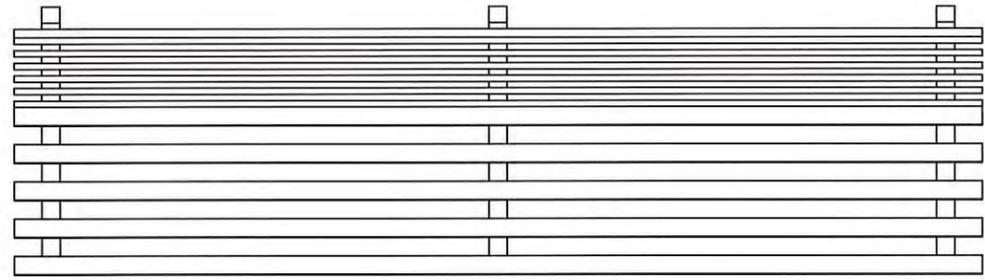
DRAWN: DJG	CHKD: JTM	NO.	
DESIGNED: JTM	APPRVD: BSS		
DATE: March, 2019			
HORIZ. SCALE: As Noted			
VERT. SCALE: N/A			
CITY PROJECT NUMBER			
118-010A			

REVISION	BY	DATE



Lochmueller Group, Inc.

SHEET **39**
OF **42**

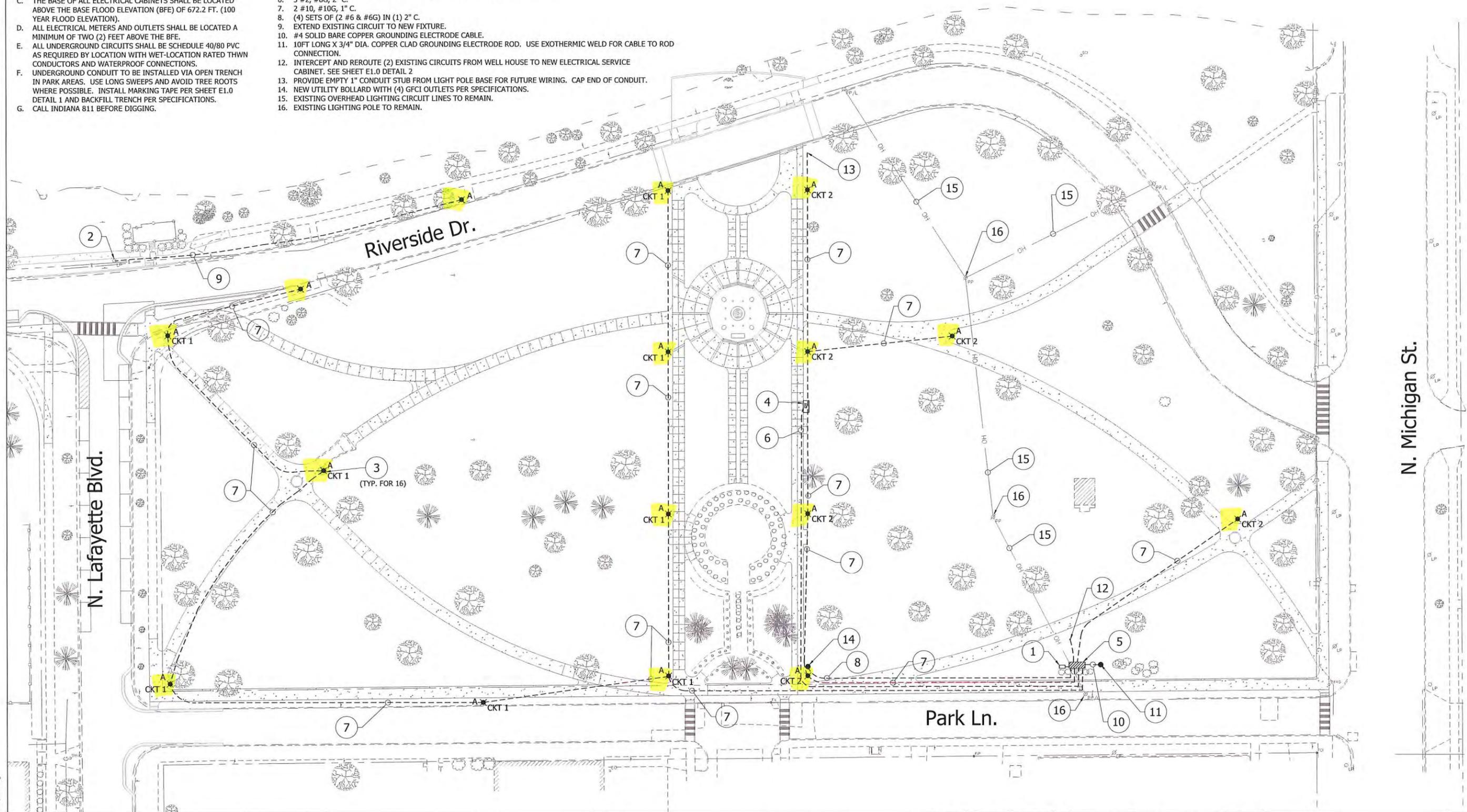


GENERAL NOTES:

- A. DRAWINGS ARE DIAGRAMMATIC. EXACT FIXTURE LOCATIONS SHALL BE VERIFIED WITH LOCHMUELLER DRAWINGS. CONDUIT ROUTINGS SHALL BE FIELD DETERMINED AND COORDINATED WITH OTHER UNDERGROUND UTILITIES. IF ACTUAL CABLE ROUTING EXCEEDS ROUTE SHOWN BY >20%, SUBMIT TO ENGINEER FOR APPROVAL.
- B. ALL WORK SHALL BE IN CONFORMANCE WITH THE NEC 2008 EDITION (WITH 2009 INDIANA ELECTRIC CODE AMENDMENTS), LOCAL/MUNICIPAL CODES, AND THE AHJ.
- C. THE BASE OF ALL ELECTRICAL CABINETS SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATION (BFE) OF 672.2 FT. (100 YEAR FLOOD ELEVATION).
- D. ALL ELECTRICAL METERS AND OUTLETS SHALL BE LOCATED A MINIMUM OF TWO (2) FEET ABOVE THE BFE.
- E. ALL UNDERGROUND CIRCUITS SHALL BE SCHEDULE 40/80 PVC AS REQUIRED BY LOCATION WITH WET-LOCATION RATED THWN CONDUCTORS AND WATERPROOF CONNECTIONS.
- F. UNDERGROUND CONDUIT TO BE INSTALLED VIA OPEN TRENCH IN PARK AREAS. USE LONG SWEEPS AND AVOID TREE ROOTS WHERE POSSIBLE. INSTALL MARKING TAPE PER SHEET E1.0 DETAIL 1 AND BACKFILL TRENCH PER SPECIFICATIONS.
- G. CALL INDIANA 811 BEFORE DIGGING.

KEY NOTES: XX

- 1. RELOCATED ELECTRICAL HANDHOLE AND NEW UNDERGROUND SERVICE CONDUCTORS (BY ELECTRIC UTILITY).
- 2. EXISTING DECORATIVE CONCRETE LIGHT POLE.
- 3. NEW CONCRETE LIGHT POLE WITH LED FIXTURE. SEE DETAIL 1 AND LIGHT FIXTURE SCHEDULE ON SHEET E1.0.
- 4. FOUNTAIN CONTROL PANEL FURNISHED BY FOUNTAIN VENDOR (GEORGIA FOUNTAIN) AND INSTALLED BY ELECTRICAL CONTRACTOR. SEE SHEET E1.0 DETAIL 3. PROVIDE GROUNDING FOR CONTROL PANEL AND FOUNTAIN PER FOUNTAIN VENDOR (GEORGIA FOUNTAIN) DRAWINGS AND NATIONAL ELECTRIC CODE (NEC) REQUIREMENTS FOR FOUNTAIN EQUIPMENT (SEE NEC ARTICLES 250 AND 680).
- 5. NEW ELECTRICAL SERVICE POINT CABINET WITH INTEGRAL UTILITY METER, PHOTOCELL AND BREAKERS. INSTALL ON NEW CONCRETE EQUIPMENT PAD. SEE DETAIL 2 ON SHEET E1.0.
- 6. 3 #2, #8G, 2" C.
- 7. 2 #10, #10G, 1" C.
- 8. (4) SETS OF (2 #6 & #6G) IN (1) 2" C.
- 9. EXTEND EXISTING CIRCUIT TO NEW FIXTURE.
- 10. #4 SOLID BARE COPPER GROUNDING ELECTRODE CABLE.
- 11. 10FT LONG X 3/4" DIA. COPPER CLAD GROUNDING ELECTRODE ROD. USE EXOTHERMIC WELD FOR CABLE TO ROD CONNECTION.
- 12. INTERCEPT AND REROUTE (2) EXISTING CIRCUITS FROM WELL HOUSE TO NEW ELECTRICAL SERVICE CABINET. SEE SHEET E1.0 DETAIL 2
- 13. PROVIDE EMPTY 1" CONDUIT STUB FROM LIGHT POLE BASE FOR FUTURE WIRING. CAP END OF CONDUIT.
- 14. NEW UTILITY BOLLARD WITH (4) GFCI OUTLETS PER SPECIFICATIONS.
- 15. EXISTING OVERHEAD LIGHTING CIRCUIT LINES TO REMAIN.
- 16. EXISTING LIGHTING POLE TO REMAIN.

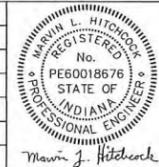


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SOUTH BEND
CITY OF SOUTH BEND
HISTORIC LEEPER PARK - PHASE 1
 ELECTRICAL
 SITE PLAN

INDIANA	DESIGNED: VVK	CHKD: MLH	NO.	REVISION	BY	DATE
	APPROV: MLH		△			
	DATE: March 21, 2019		△			
	HORIZ. SCALE: AS NOTED		△			
	VERT. SCALE: AS NOTED		△			
	CITY PROJECT NUMBER		△			
	118-010		△			



Marvin J. Hitchcock 3/21/19

SHEET 41
 OF 42

E1.1



Amelanchier x grandiflora 'Ballerina'
Ballerina Serviceberry



Acer x freemanii 'Autumn Blaze'
Autumn Blaze Maple





Buxus microphylla
Boxwood (matching existing at Lavender Garden)



Cercis canadensis
Eastern Redbud



Crataegus crus-galli 'Crusader'
Crusader Hawthorn (Thornless)



Gymnocladus dioica
Kentucky Coffeetree





December 22, 2018 - Central Park, NYC

Hammamelis virginiana
Common Witchhazel



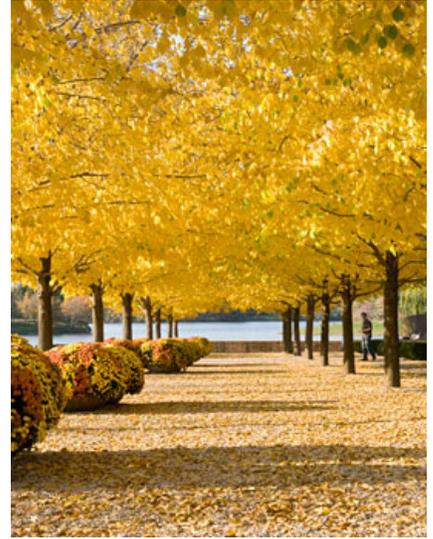
Pinus strobus
Eastern White Pine (match existing at Lavender Garden)



Quercus bicolor
Swamp White Oak



Quercus macrocarpa
Bur Oak



Ulmus 'Morton Glossy'
Triumph Elm

LIGHTING



*Existing Poles and Fixtures to be Matched
10' high pole*

FURNISHINGS



*Cast Stone Urn
37.5" tall
22" diameter at widest point*



*Cast Stone Ball Finials
30.5" tall
17" ball diameter*



*Backed and Backless Bench
6' long*



*Trash Can
40" tall
25" diameter*



*Custom Benches
8' long*

Originals appear to be wood and iron.

*New benches will be fabricated completely
in aluminum with a black finish to be
durable.*



Looking north from Park Lane



Looking north from the labyrinth



Looking east



Looking south



Leeper Park - Proposed Phase 1

Studebaker Fountain Location



Entering the park from Michigan



Walk along the top of the historic slope



Looking southeast



Area of historic steps



Leeper Park - Proposed Phase 1

Studebaker Fountain Location

CATALOG # _____

PROJECT _____

TYPE _____



This octagonal shaped luminaire consists of a luminaire base with an integral housing, an eight-sided lens frame, eight lens panels, an octagonal shaped hinged roof and a spiked finial.

- Stainless steel hardware
- 7 Different styles of bases coordinate with this luminaire
- 3" O.D. x 3" tall tenon required for mounting
- ≥ 70,000 hrs L70 25°C
- Performance Comparable to 70W-100W MH (3600-5600 delivered lumens)
- Input watts of 77 @ 700mA
- Driver life of 100,000hrs. at 25° C - all drive currents
- Optional surge protection to C62.41 C-Low (SPDL option)
- 5 year limited warranty

Max EPA: 2.56 sq feet
with SPIKE: 2.69 sq feet
Max Height: 43" (109.2cm)
with SPIKE: 43" (109.2cm)
Max Width: 16-1/8" (40.1cm)
with SPIKE: 20" (50.8cm)
Max Weight: 48 lbs (21.8 kg)

Sample Catalog number:

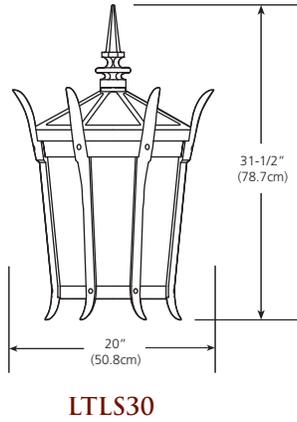
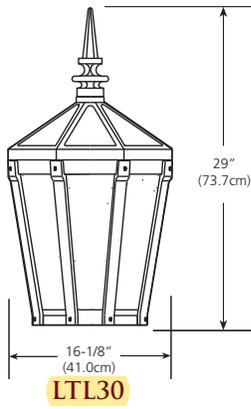
LTL30	E	32LED 525MA	3K	ACT	MVOLT	N5	SF	DBL
Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distrib.	Electrical Options	Finish

Ordering Guide:

Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distribution	Electrical Options	Finish
LTL30	A	32LED 525MA	3K	ACT	MVOLT	N5	SF	DBL
LTLS30	AU	32LED 700MA	4K		347	N3*	DF	DDB
	D	24LED 700MA	5K		480		PER	DNA
	E						PE1	DWH
	K						PE3	CS
	W						PE4	CM
	X						PE7	ANBK
							PEB1	ANDB
							PEB2	ANDG
								ANVG

*N3 distribution only available with 24 LED 700MA source and wattage selection

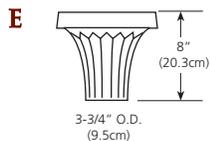
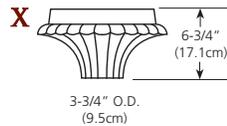
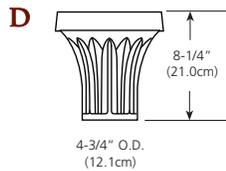
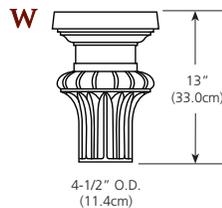
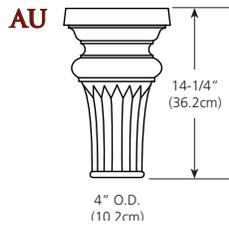
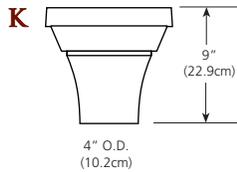
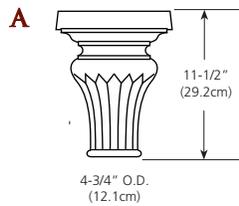
FIXTURE



SELECT YOUR CHOICE FROM

- LTL30** Luminaire, LT30
- LTLS30** Luminaire, Spikes

BASE



SELECT YOUR CHOICE FROM

Mount to 3" O.D. x 3" tall tenon: 3T3

- A** **K**
- AU** **W**
- D** **X**
- E**

Notes:

- Items in bold have shorter lead times.
- Consult factory for wattages available for LDB option.
- LDB option is not available with photocontrol options PEB1 and PEB2.

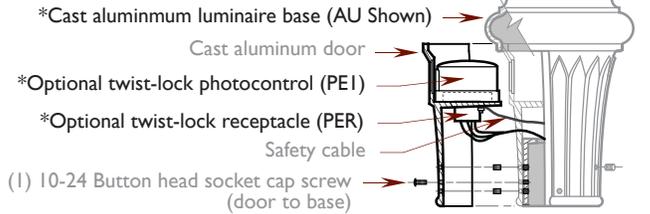
SOURCE & WATTAGE

SELECT YOUR OPTIONS FROM

- 32LED 525MA**
- 32LED 700MA**
- 24LED 700MA** (Available in N3 Distribution Only)

LTL30 LED & LTLS30 LED

ANTIQUE STREET LAMPS™



***TWIST & LOCK PHOTOELECTRIC CELL OPTIONS**
available with luminaire bases AU only.



SELECT YOUR OPTIONS FROM

- Fuse Not Included
- SF** Single Fuse
 - DF** Double Fuse
-
- PER** Twist-Lock Photocontrol Receptacle
 - PE1** NEMA Twist & Lock PE 120, 208, 240 volt
 - PE3** NEMA Twist & Lock PE 347 volt
 - PE4** NEMA Twist & Lock PE 480 volt
 - PE7** NEMA Twist & Lock PE 277 volt
 - PEB1** Cell Button 120 volt
 - PEB2** Cell Button 208, 240, 277 volt

Notes:

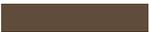
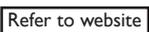
- Twist-lock photocontrol only available with AU base.
- PER is required when PE1, PE3, PE4 or PE7 is used.

FINISH

The luminaire has a powder coat finish utilizing a premium TGIC polyester powder. The finish is a three-stage process which consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.

For a complete listing of colors, visit:
www.acuitybrandslighting.com/architecturalcolors

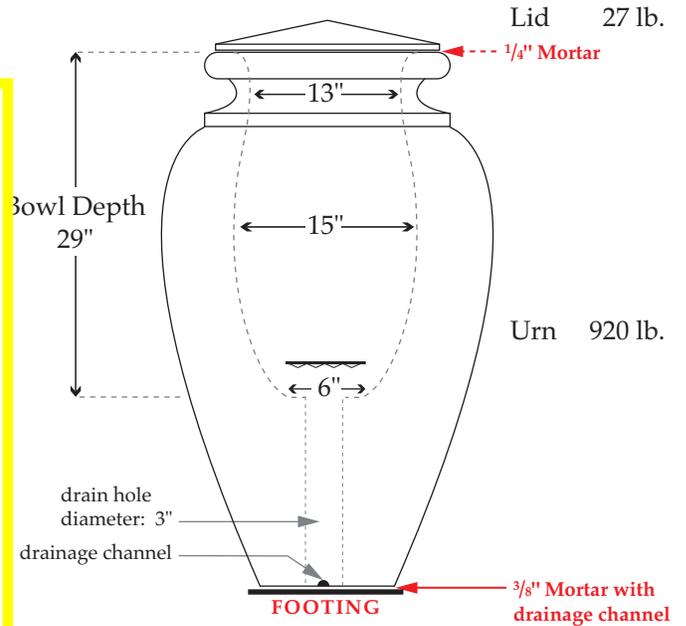
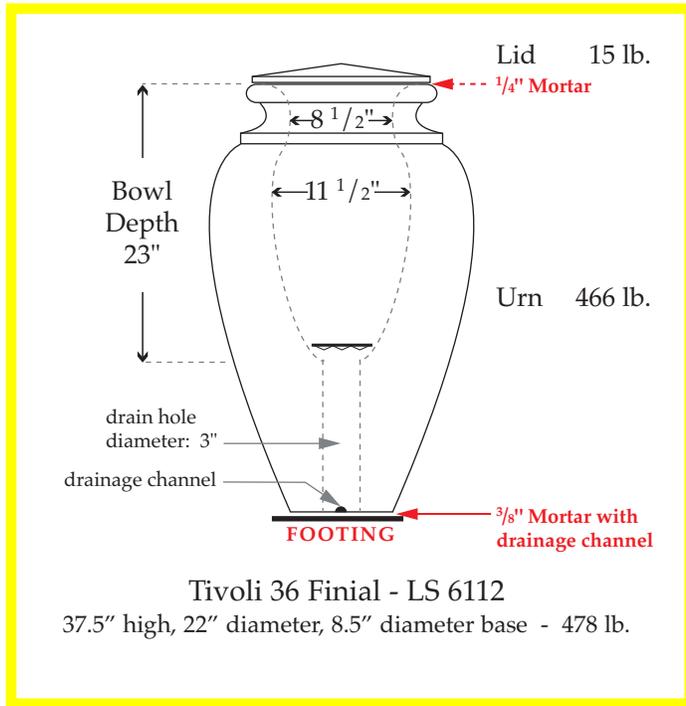
SELECT YOUR CHOICE FROM

- DBL** Black 
- DDB** Dark Bronze 
- DNA** Natural Aluminum 
- DWH** White 
- CS** Custom Select (RAL colors)
- CM** Custom Match
- ANBK** ASL Black 
- ANDB** ASL Dark Bronze 
- ANDG** ASL Dark Green 
- ANVG** ASL Verde Green 

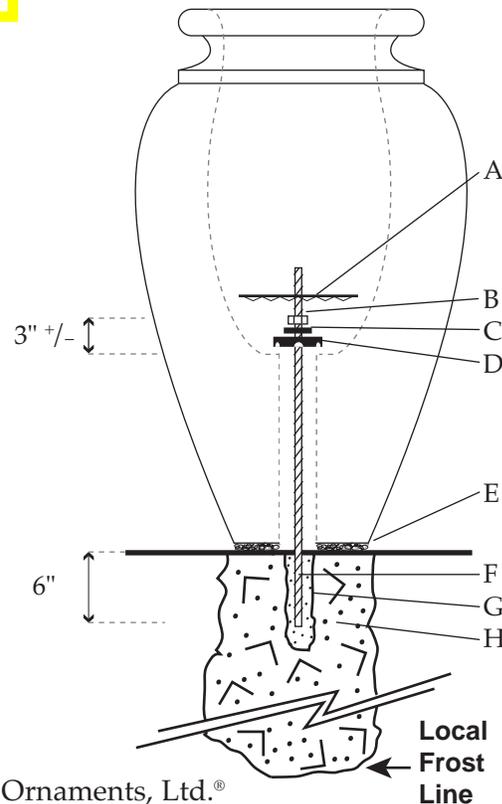
LONGSHADOW®

Tivoli 36 Finial, LS 6112 & Tivoli 45 Finial, LS 6118 SET UP INSTRUCTIONS • SHOP DRAWINGS

Scale: 3/4 inch equals one foot.



- A - soil filter square, felt side up
- B - nut
- C - flat washer
- D - flange, flat side up
- E - mortar bed, with drainage channel
- F - threaded rod:
Tivoli 36 = 24" long
Tivoli 45 = 30" long
- G - hydraulic cement or epoxy
- H - concrete Footing suitable for local conditions



Classic Garden Ornaments, Ltd.®
618 893 4831 • 618 893 2244



⚠ CAUTION: Dry cast limestone components are heavy. Assembly requires experienced riggers, masons and equipment operators. A crane is the preferred lifting apparatus.

⚠ WARNING: Do not place any part of your body beneath elevated, suspended loads. Follow all applicable ANSI, OSHA and all safety regulations.

Longshadow components arrive by common carrier tractor trailer truck in cartons attached to pallets. Unload with a forklift, unless you have requested and paid for liftgate service. Open packaging and install. **Do not store long term in original packaging or in dry conditions. Cut opening in shrink-wrap during storage.**

GUIDELINES

- Read all instructions before beginning installation.
- Lift evenly and set down squarely; do not drag the components.
- Do not put the full weight of a component on an edge or a corner.
- The corners and edges will chip if handled carelessly.
- Use padding to protect the components when moving them.

NECESSARY FOR INSTALLATION

- prepared, level Footing suitable for local conditions
- supplied 3/8" and 1/8" square **plastic shims** and a **white plastic spacer** for drainage channel
- clean padding
- planter harness
- equipment and a crew of 2 to 3 strong persons with clean hands
- 4' level and masonry tools
- a drainage plan

White Masonry Cement Type N and **well graded White Mason Sand** (the **Mortar**) as described in the following Technical Data Sheet ASTM C-91 and required for leveling and assembling. Available from masonry suppliers.

SUPPLIED WITH THE URN

- 12' sling for lifting the urn out of the packaging
- four - 24" square harness pads
- 3/4" stainless steel nuts
- 3/4" stainless steel, threaded rod:
 - Tivoli 36 = 24" long
 - Tivoli 45 = 30" long
- 3 1/2" flange, use flat side up (as marked)
- 3/4" stainless steel flat washer
- piece of hard foam 1" thick - 16" x 16"
- **plastic shims** and **white plastic spacer**
- soil filter square, use felt side up

SITE PREPARATION AND FOOTING

A level Footing, appropriate for local conditions. The 3/4" stainless steel threaded rod should be set 6"-8" in the footing. If using an existing Footing, drill 6" to 8" with a 1" masonry bit and set the rod with hydraulic cement or epoxy. The rod must be plumb.

Leave the urn in the carton until you have it near the installation site and you are ready to lift it.

Classic Garden Ornaments, Ltd.®
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Thread the 12' endless roundsling through the drain hole in the Urn.



Attach both ends of the endless roundsling to equipment used for elevating. Pad the edges of the Urn with the supplied harness pads where the endless roundsling will come in contact with the Urn. See photographs.



Using equipment, gently elevate the Urn from the packaging.



Gently lower the Urn onto a well-padded surface.



Once lowered, place the 24" x 24" square of 1.5" thick hard foam near the base of the Urn.



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Three strong persons with clean hands should carefully tilt the Urn up onto the 1.5" thick square of hard foam, being extremely careful not to chip the bottom edge of the Urn.

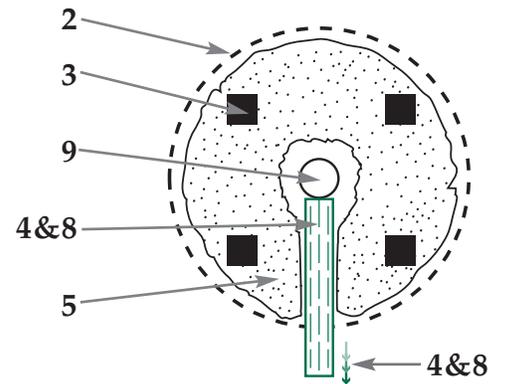


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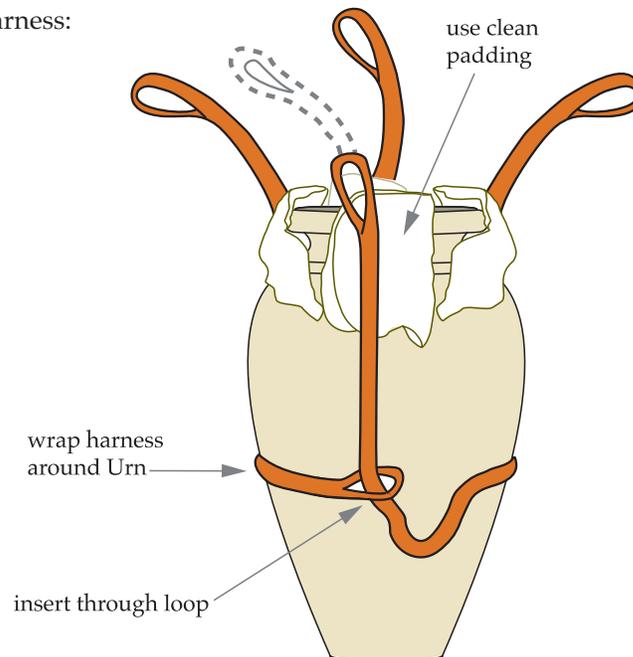
MORTAR BED PREPARATION and SETTING THE URN ON THE FOOTING

1. drainage channel and Longshadow logo should be on the side away from the main view
2. mark outline of the Urn with chalk
3. set supplied 3/8" square plastic shims within chalk outline
- stack 1/8" shims to prelevel as necessary
4. set supplied white plastic spacer for drainage channel
5. spread 3/8" bed of wet Mortar within 1/2" of chalked outline
6. elevate the Urn
- wet the Urn
- lower the Urn over the stainless steel rod onto the Mortar
- allow the Urn to settle onto the preleveled shims
7. check and adjust level, clean up excess Mortar
8. remove white plastic spacer after Mortar has stiffened
9. drain hole must remain clear



Drainage Channel should be away from main view

Diagram for using the Harness:



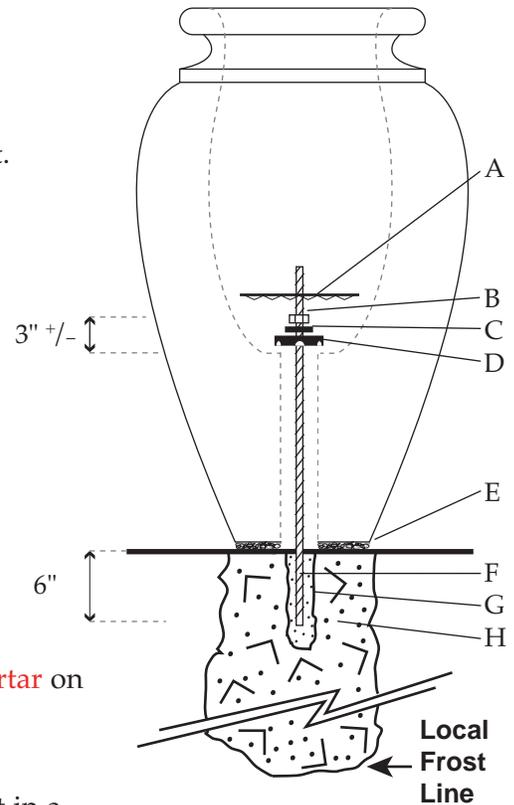
Classic Garden Ornaments, Ltd.®
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SECURITY HARDWARE ASSEMBLY

Place the flange over the threaded rod flat side up, as marked. Add the 3/4" stainless steel flat washer. Add the 3/4" stainless steel nut and hand tighten it. Thread the soil filter square felt side up, over the threaded rod above the flange, washer and nut.

- | |
|--|
| A - soil filter square, felt side up |
| B - nut |
| C - flat washer |
| D - flange, flat side up |
| E - mortar bed, with drainage channel |
| F - threaded rod: Tivoli 36 = 24" long
Tivoli 45 = 30" long |
| G - hydraulic cement or epoxy |
| H - concrete Footing suitable for local conditions |



FINIAL LID PERMANENT ASSEMBLY

Wet the Lid and the top of the Urn. Spread 1/4" bed of wet mortar on top of the Urn. Lower the Lid onto the Urn as level as possible.

FINISHING

Finish by tuck pointing and tooling all the joints. Tool each joint in a flush, concave or v-shape to compress the Mortar for a strong bond.

PLANTING

Longshadow dry cast limestone is slightly porous. This porosity reduces possible damage from freeze-thaw cycles. The supplied soil filter square should be placed, felt side up, over the drainhole. We recommend using well draining, high quality, loose growing medium.

SUMMER

The thick walls of Longshadow planters protect roots from heat and preserve moisture naturally. Good drainage is necessary for proper growing conditions. Wilting plants, soggy growing medium, staining, lime-bloom or mold on the outside of the planters are indications that drainage is blocked. If blockage is indicated, the growing medium must be removed, the drainage must be flushed out, assured and maintained.

WINTER

Good drainage is required to prevent accumulation of water inside planters. Water expands as it freezes and could cause damage. Many owners use the growing medium to anchor a display of evergreen boughs and berries. Longshadow dry cast limestone planters can withstand freeze-thaw cycles as long as drainage is assured.

FINIAL LID FOR WINTER COVER

During winter months place the Lid on the Urn. During summer months store the Lid in a safe place.

SEALING

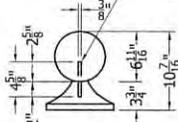
It is not necessary or desirable to seal the interior of Longshadow planters.

Classic Garden Ornaments, Ltd.®
618 893 4831 • 618 893 2244



1 E100A 6-3/4" & BASE E100B
3/4"=1'-0"

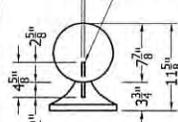
DRILL 1/2" HOLE TO RECEIVE 3/8" S.S. DOWEL.



FRONT VIEW

2 E105A 8" & BASE E100B
3/4"=1'-0"

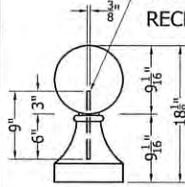
DRILL 1/2" HOLE TO RECEIVE 3/8" S.S. DOWEL.



FRONT VIEW

3 E110A 9" & BASE E110C
3/4"=1'-0"

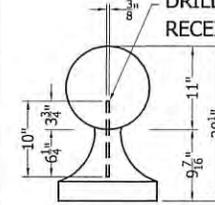
DRILL 1/2" HOLE TO RECEIVE 3/8" S.S. DOWEL.



FRONT VIEW

4 E115A 11" & BASE E120B
3/4"=1'-0"

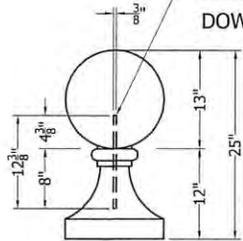
DRILL 1/2" HOLE TO RECEIVE 3/8" S.S. DOWEL.



FRONT VIEW

5 E120A 13" & COLLARED BASE E120C
3/4"=1'-0"

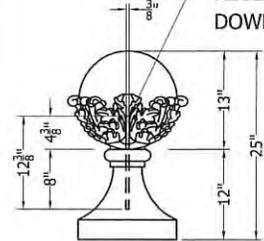
DRILL 1/2" HOLE TO RECEIVE 3/8" S.S. DOWEL.



FRONT VIEW

6 E080A ACANTHUS LEAF BALL & COLLARED BASE E120C
3/4"=1'-0"

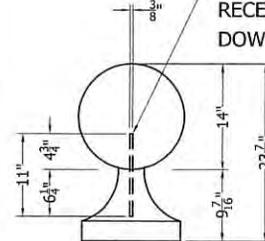
DRILL 1/2" HOLE TO RECEIVE 3/8" S.S. DOWEL.



FRONT VIEW

7 E130A 14" BALL & BASE E120B
3/4"=1'-0"

DRILL 1/2" HOLE TO RECEIVE 3/8" S.S. DOWEL.



FRONT VIEW

NOTES:

1. ALL STONE TO BE NON-STRUCTURAL.
2. STONE TO BE SUPPLIED IN NOMINAL LENGTHS CUT TO SUIT ON SITE UNLESS OTHERWISE NOTED.
3. MECHANICAL FASTENING / ANCHORING SYSTEMS TO BE DESIGNED BY STRUCTURAL ENGINEER & SUPPLIED BY BUILDER UNLESS SPECIFICALLY NOTED OTHERWISE.
4. STONE COLOR IS: _____
5. ALL JOINTS 1/2" TYPICAL.
6. SEE HADDONSTONE POINTING RECOMMENDATIONS AND TECHNICAL SHEETS.
7. HADDONSTONE SHOP DRAWINGS ARE PROVIDED FOR THE PURPOSE OF VERIFYING CAST STONE COMPONENT QUANTITIES, DIMENSIONS AND PLACEMENT IN RELATION TO STRUCTURAL ELEMENTS. HADDONSTONE SHOP DRAWINGS ARE NOT SUBMITTED WITH THE INTENDED PURPOSE OF STRUCTURAL LAYOUT OR CONSTRUCTION.

PROJECT

BALL FINIAL - DOWELS

CLIENT

HADDONSTONE

DRAWING TITLE

S.S DOWELS

SCALE

3/4"=1'-0"

DATE

01.27.10

DRAWING NO.

P1590-01

DRAWN BY

DBS

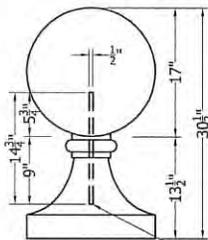
HADDONSTONE

Haddonstone Ltd.,
32207 United Ave
Pueblo CO 81001

Tel 719 948-4554
Facsimile 719 948-4285

8 E140A 17" & COLLARED BASE E140C
3/4"=1'-0"

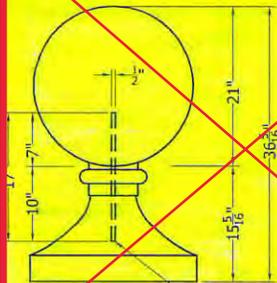
DRILL 5/8" HOLE TO RECEIVE 1/2" S.S. DOWEL.



FRONT VIEW

9 E150A 21" & COLLARED BASE E150C
1-1/2"=1'-0"

DRILL 5/8" HOLE TO RECEIVE 1/2" S.S. DOWEL.



FRONT VIEW

landscapeforms®

scarborough™



Scarborough was designed for the urban landscape. It is street smart, yet sophisticated. Lighthearted, but a true heavyweight in its class.

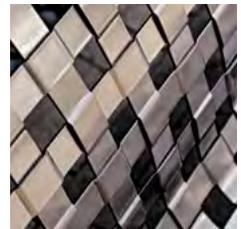






The Scarborough bench scribes a controlled curve on seat and back, then tempers restraint with the exuberant gesture of its arm. The serif-like details on back frames and feet elegantly cap the linear forms and lend a whimsical touch.

Scarborough is welcoming and comfortable in two versions. The horizontal strap seat is clean and simple. The woven seat suggests the familiar strapping fabric of patio furniture. The patented design is assembled as a warp and weft construction of pre-formed parts. The backless Scarborough bench can be used from either side and is ideal for narrow spaces. Litter receptacles with strap or square bar vertical panels are nicely scaled to the bench and the human form. Scarborough transcends categories. It is remarkably durable not only in the way it wears but in the way it remains current over time.





Our Purpose Is To Enrich Outdoor Spaces

We believe in the power of design and its ability to influence and elevate the quality of public space. High quality products and outstanding customer experience makes us one of the world's premier designers and manufacturers of outdoor commercial furnishings.

Scarborough™ Specifications

Bench

Woven and horizontal strap seat styles may be specified for backed or backless benches. Backed benches are offered in 24", 48", 72", or 96" lengths. Backless benches are offered in 48", 72", or 96" lengths. Center arm may be specified on backed or backless benches in 48", 72", or 96" lengths. Bench in 96" length available with two intermediate arms.



center arm

Support end frames are 1" x 1" solid steel, joined by 1-1/2" dia., .120" wall thickness tubular steel. Seating panels are horizontal steel straps (1-1/2" x 3/16") or woven stainless steel straps (1-1/2" x 1/8"). Scarborough bench comes standard with surface/freestanding mount support.

backed horizontal strap



96" with two intermediate arms

72" with center arm

48"

24"

28" x 34" x 96" 28" x 34" x 72" 28" x 34" x 48" 28" x 34" x 24" d x h x l

backless horizontal strap



96"

72"

48"

26" x 28" x 96" 26" x 28" x 72" 26" x 28" x 48" d x h x l

Finishes

Metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading. Call for standard color chart.

To Specify

Bench: Specify backed or backless, bench length, horizontal strap or woven seat style, with or without center/intermediate arm, and powdercoat color.

Litter receptacle: Select top- or side-opening, vertical strap or square bar side panel, powdercoat color. If optional powdercoat color is specified, select standard powdercoat color for liner. Options: keyed lock; ash pan on side-opening units.

Litter Receptacles

Metal support legs are 1" x 1" square. Vertical metal straps are 1-1/2" x 3/16". Vertical metal bars are 3/8" x 3/8" square. Straps and bars are welded to metal bands. Tubular steel collar is 1-1/4" dia., .120" wall thickness. Tops are formed of spun metal. Pop-up rod is stainless steel. Receptacles have 30-gallon capacity. Polyethylene liner color coordinates with standard powdercoat offering. Receptacles are standard with freestanding/surface mount support. Ash pan on side-opening units and keyed lock options are available.



top-opening



side-opening

25" x 33"

25" x 40"

dia x h



strap details



square bar details



ash pan

www.landscapeforms.com

Visit our website for product details, color charts, technical sheets, sales office locations. Download JPG images, brochure PDF, CAD details, CSI specifications.

Scarborough woven seat design is protected by U.S. Patent Nos. D366,773.

Scarborough is designed by Arno Yurk, AIA, IDSA.

Specifications are subject to change without notice.

Scarborough is manufactured in U.S.A.

Location photography: Country Club Plaza, Kansas City, MO.

Landscape Forms supports the Landscape Architecture Foundation

at the Second Century level.

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Powdercoat finish on metal parts contains no heavy metals, is HAPS-free and has extremely low VOCs. Bench materials are 100% recyclable. Consult our website for recycled content.

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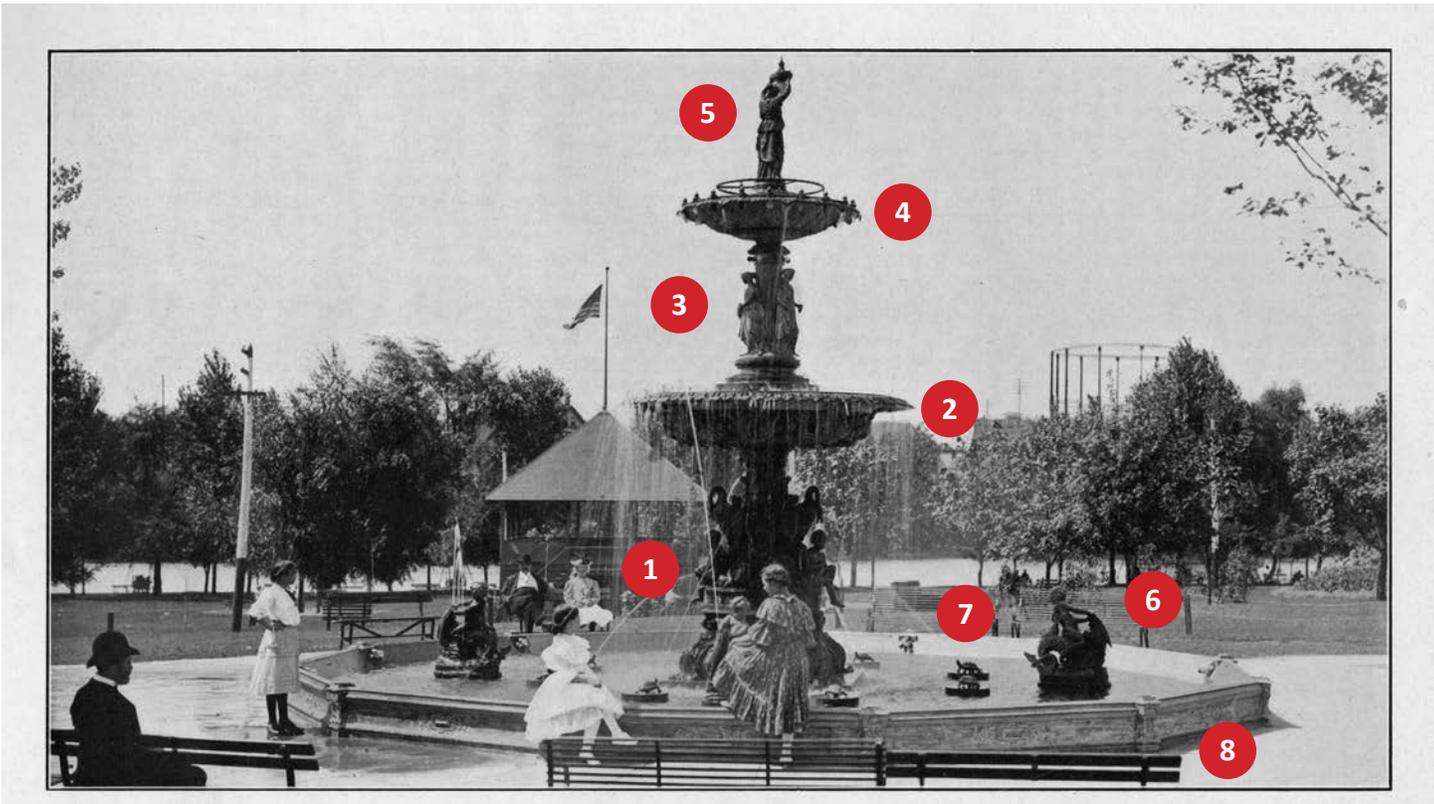
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431 Lawndale Avenue, Kalamazoo, MI 49048

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Temporary fencing to protect new trees



Historic photo of the Studebaker Fountain

1

Base pedestal



Historic Leeper Park - Bid Package 1
Addendum No. 2 - Fountain Images



2

Large bowl



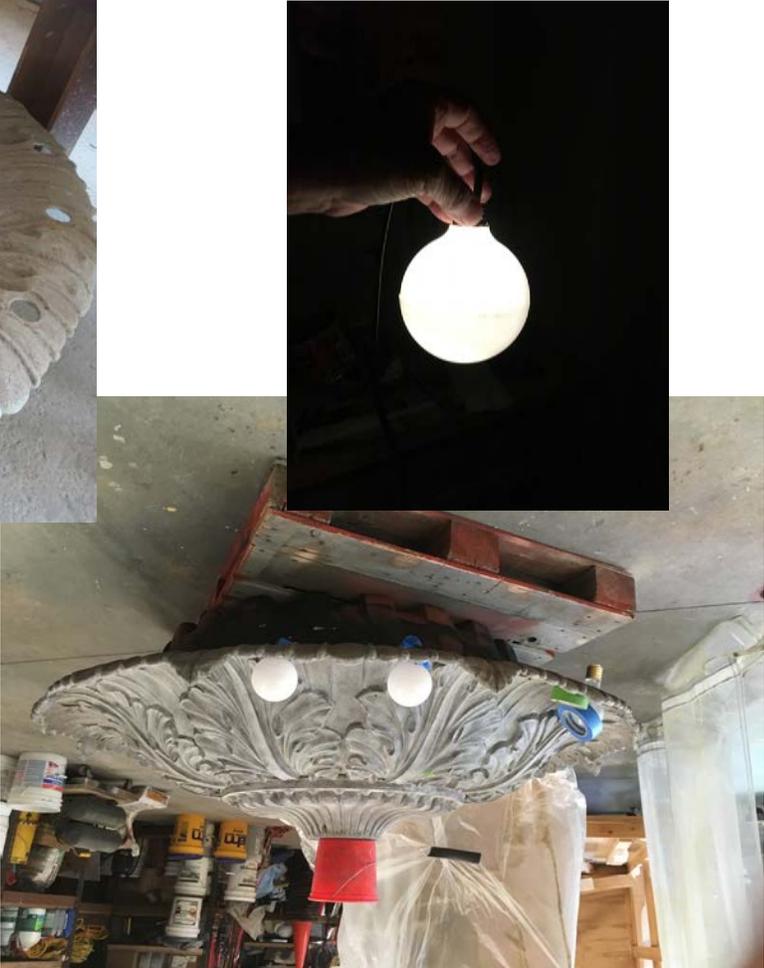
3

Portion of center pedestal (before restoration)



4

Upper bowl, fiber optic resin "bulbs"





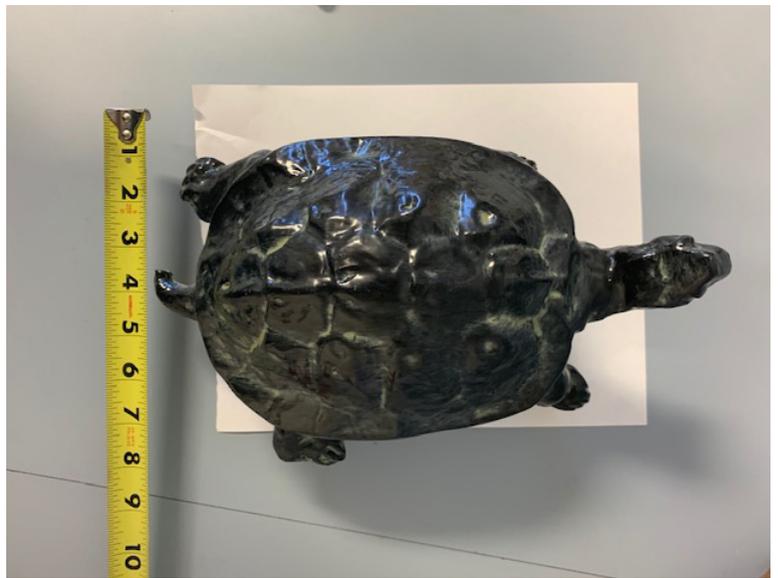
5

Top figure (before restoration)



6

Boy on dolphin - 4 total (before restoration)



7

Turtle - 8 total (before and after restoration)



8

Pool wall corner unit of dodecagon pool wall (before restoration)

Elicia Feasel

From: Mooney, Jonathan <JMooney@lochgroup.com>
Sent: Wednesday, April 3, 2019 6:06 PM
To: Elicia Feasel; Aaron Perri; Matthew Moyers
Cc: Kyle Silveus; Swihart Stutzman, Barbie; Adam Toering
Subject: RE: Draft Amenities HPC Application
Attachments: IMG_9937.JPG

See answer below in red.

Jonathan Mooney, PLA
Senior Landscape Architect, Associate
Lochmueller Group

574.334.5487 (direct)
JMooney@lochgroup.com

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From: Elicia Feasel <efeasel@southbendin.gov>
Sent: Tuesday, April 2, 2019 5:01 PM
To: Mooney, Jonathan <JMooney@lochgroup.com>; Aaron Perri <aperri@southbendin.gov>; Matthew Moyers <mmoyers@southbendin.gov>
Cc: Kyle Silveus <ksilveus@southbendin.gov>; Swihart Stutzman, Barbie <BStutzman@lochgroup.com>; Adam Toering <atoering@southbendin.gov>
Subject: RE: Draft Amenities HPC Application

Jonathon –

Please advise on the following questions/observations. Thank you in advance.

1. Are the silt fence and chain link fence around the new trees temporary? If so, for approximately how long? Please send a link to an example of both. **They are both temporary and will remain in place throughout construction. Elicia, I sent you a few links to images under separate email.**
2. I see that the lamp posts are salvaged stock. Will any be new or does the City have all that is needed in stock? **The city has all that are needed.**
3. Verifying that lanterns will be black. Are the existing green? **Some of the existing on upper Riverside are green and others are black. See the attached image for the fixtures on the east side of the park (black). This is what ours will look like – both light and pole.**
4. In a neighborhood-wide/City discussion when the Riverside Drive lights were upgraded last year, it was agreed that the Kelvin temperature would be 2,900. I am not familiar enough with this topic to know if 3,000K is different or close enough. **The available lamping for the fixtures is either 3000K, 4000K, 5000K. 3000K is the softest lamp whereas as 5000k would be the harshest and brightest white. 3000K is considered “warm white” – not too yellow, not too white.**
5. What will be the outcome of the existing Aids memorial tree? **The tree is being removed. The dedication will be relocated either to an existing tree or one of the new ones. Coordination with parks on a location is necessary.**
6. Is this the final path design? **Yes.**
7. Is this the final intersection design? **Yes. We will be filling in the missing sidewalk segment on the north side of Riverside and providing receiving ramps in Bid Package 2 (the overlook package). Design is not finalized.**

8. Playground is in a new location then approved previously. **Correct. However, the original playground concept did extend to where the current playground is shown.**
9. It is difficult to convey the plants specified. Is there any chance you could whip something up like what was given to HPC for the amphitheater plantings, see attached. **I will get something simple pulled together. It might be important to note that all of the shade and ornamental tree species selected are on the IDNR list of approved floodway/floodplain/woody riparian vegetation list. They are species you would find naturally growing next to a Indiana river.**

This is a very nice presentation! Thank you for all the details. I am able to visualize the finished park and am very excited for it.

Elicia

From: Mooney, Jonathan <JMooney@lochgroup.com>
Sent: Tuesday, April 2, 2019 11:51 AM
To: Elicia Feasel <efeasel@southbendin.gov>; Aaron Perri <aperri@southbendin.gov>; Matthew Moyers <mmoyers@southbendin.gov>
Cc: Kyle Silveus <ksilveus@southbendin.gov>; Swihart Stutzman, Barbie <BStutzman@lochgroup.com>
Subject: RE: Draft Amenities HPC Application

Elicia,

Something I did not mention in the application but could add if you think it is valuable.

We do not have much detailed documentation about the central formal garden in Leeper Park. When I was thinking about bed layout I looked back at the Sunken Gardens at Garfield Park in Indianapolis, also designed by George Kessler in 1915 and a restoration project I was fortunate enough to work on.

Historically the beds were bound by lawn areas and either shaped by simple offsets from the edges of paths or in other cases were a little more freeform. For Leeper, I similarly used offsets from the walks to form bed edges bordered by lawn panels. I did look at the idea of using more freeform beds but opted for a cleaner look that I think will also be easier to maintain and that I think is definitely historically appropriate.

See the attached images of Garfield – some historic postcards and some contemporary. This garden also inspired the use of the cast limestone pieces in Leeper at key garden nodes and entrances as Kessler did at Garfield Park.

Also perhaps noteworthy, the lighting on the upper terrace level is a lantern style luminaire on a custom limestone base. But out in the garden, the poles are a fluted concrete. Although a different base style, the poles and luminaries in the Garfield Park Sunken Garden are very similar to what we will have in the central section of the park and in our central garden giving further support to these elements as Kessler formal garden appropriate.

Jonathan Mooney, PLA
Senior Landscape Architect, Associate
Lochmueller Group

574.334.5487 (direct)
JMooney@lochgroup.com

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